

LACEY MUSEUM AND CULTURAL CENTER  
CITY OF LACEY  
5700 LACEY BLVD SE, LACEY, WASHINGTON 98503  
BID PACKAGE NO. 1

PROJECT INFORMATION

**OWNER**  
CITY OF LACEY  
420 COLLEGE STREET SE  
LACEY, WA 98503  
ASHLEY SMITH  
PROJECT MANAGER  
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ASCSMITH@CITY.LACEY.WA.US

**PROJECT LOCATION**  
LACEY MUSEUM AND CIVIC CENTER  
5700 LACEY BLVD SE  
LACEY, WA 98503

**AUTHORITY HAVING JURISDICTION**  
CITY OF LACEY  
LACEY COMMUNITY AND ECONOMIC  
DEVELOPMENT DEPARTMENT  
420 COLLEGE STREET SE  
LACEY, WA 98503  
360.491.5642

BP 1 - PROJECT DESCRIPTION

THIS PROJECT IS A DEMOLITION OF AN EXISTING 16,153 SQUARE FOOT WAREHOUSE BUILDING AND ATTACHED OFFICE SPACE FOR THE PURPOSE OF CLEARING THE EXISTING PROPERTY FOR THE CONSTRUCTION OF A NEW MUSEUM AND EVENT CENTER WITH NEW PARKING LOTS.

THE EXISTING WAREHOUSE IS AN EXISTING METAL BUILDING WITH AN EXISTING CONCRETE SLAB ON GRADE FOUNDATION SYSTEM. THE EXISTING ATTACHED OFFICE SPACE IS AN EXISTING WOOD CONSTRUCTION BUILDING WITH CONCRETE SLAB ON GRADE FOUNDATION. ALL BUILDING ELEMENTS ARE TO BE REMOVED AND INCLUDE, BUT NOT LIMITED TO, ALL ROOFS AND FRAMING MEMBERS, EXTERIOR WALLS AND FRAMING MEMBERS, INTERIOR WALLS AND FRAMING MEMBERS, DOORS, WINDOWS, STOREFRONTS, CASEWORK, PLUMBING FIXTURES, LIGHTING FIXTURES, ELECTRICAL PANELS, ELECTRICAL SWITCHES, ELECTRICAL RECEPTACLES, DATA AND TELECOMMUNICATION PORTS, EXTERIOR OVERHEAD MAIN POWER LINE AND COMMUNICATION LINES, MECHANICAL UNITS, DUCTWORK, VENTS, LOUVERS, NATURAL GAS LINES AND GAS METER, SPRINKLER SYSTEM, FIRE ALARM SYSTEM, SECURITY SYSTEM, ALL EXISTING CONCRETE SLAB ON GRADE AND FOUNDATION SYSTEM, UNDER SLAB VAPOR BARRIERS, UNDER SLAB WATER LINES, UNDER SLAB DRAIN/SEWER LINES.

THIS PROJECT ALSO INVOLVES SITE DEMOLITION AND SITE GRADING. SITE DEMOLITION INCLUDES ALL CONCRETE AND ASPHALT PAVED PARKING LOTS, GRAVEL LOTS, CONCRETE CURBS, BOLLARDS, RETAINING WALLS, ALL EXISTING UNDER GROUND AND OVERHEAD UTILITIES AND BUILDING SERVICES, EXISTING LANDSCAPING, TREES AND BUSHES.

THE EXISTING SITE IS TO BE CLEARED OF ALL EXISTING BUILDING ELEMENTS AND SITE ELEMENTS AND AMENITIES.

BP 1 - CODE ASSESSMENT

**ABBREVIATION LEGEND**  
REVISED CODE OF WASHINGTON – RCW  
WASHINGTON ADMINISTRATIVE CODE – WAC  
NATIONAL FIRE PROTECTION ASSOCIATION – NFPA  
INTERNATIONAL CODE COUNCIL – ICC  
INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS – IAPMO  
LACEY MUNICIPAL CODE – LMC

**WASHINGTON STATUTORY LAW**  
STATE BUILDING CODE CHAPTER 19.27 RCW  
ENERGY-RELATED BUILDING STANDARDS: CHAPTER 19.27A RCW  
BARRIER FREE: CHAPTER 70.92 RCW  
ARCHITECTS: CHAPTER 19.08 RCW  
ENGINEERS AND LAND SURVEYORS: CHAPTER 18.43 RCW  
ELECTRICIANS AND ELECTRICAL INSTALLATIONS 19.28 RCW

**APPLICABLE BUILDING CODES**  
ICC, INTERNATIONAL BUILDING CODE (IBC) – 2018 EDITION (51-50 WAC & LMC 14.04)  
ICC, ACCESSIBLE AND USABLE BUILDINGS – ICC A117.1 – 2009 EDITION (51-50 WAC & LMC 14.04)  
ICC, INTERNATIONAL MECHANICAL CODE (IMC) – 2018 EDITION (51-52 WAC & LMC 14.05)  
ICC, INTERNATIONAL FIRE CODE (IFC) – 2018 EDITION (51-54A WAC & LMC 14.07)  
ICC, INTERNATIONAL ENERGY CONSERVATION CODE (IECC-CE), COMMERCIAL – 2018 EDITION (51-11C WAC & LMC 14.13)  
ICC, INTERNATIONAL FUEL GAS CODE (IFGC) – 2018 EDITION (51-52 WAC)  
IAPMO, UNIFORM PLUMBING CODE (UPC) – 2018 EDITION (51-56 WAC & LMC 14.06)  
NFPA 70, NATIONAL ELECTRICAL CODE (NEC) – 2017 EDITION (296-46B WAC & LMC 14.13)  
NFPA 54, NATIONAL FUEL GAS CODE (NFGC) – 2015 EDITION (51-52 WAC)  
NFPA 58, LIQUEFIED PETROLEUM GAS CODE (LPGC) – 2014 EDITION (51-52 WAC)

**APPLICABLE BUILDING STANDARDS**  
NFPA, NATIONAL FIRE ALARM AND SIGNALING CODE – 2016 EDITION (NFPA 72)  
NFPA, STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS – 2016 EDITION (NFPA 13)  
NFPA, STANDARD FOR PORTABLE FIRE EXTINGUISHERS – 2018 EDITION (NFPA 10)  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (26 CFR 36.151 & 36 CFR PART 1191)

**EXISTING USE AND OCCUPANCY**  
ASSEMBLY GROUP – A-3  
BUSINESS GROUP – B  
MODERATE-HAZARD STORAGE – S-1

**EXISTING CONSTRUCTION CLASSIFICATION**  
TYPE V-B

**EXISTING BUILDING SYSTEMS, UTILITIES AND FEATURES**  
• WATER – EXISTING CITY CONNECTION  
• SEWER – EXISTING CITY CONNECTION  
• ELECTRICAL SYSTEMS – EXISTING OVERHEAD CONNECTION  
• TELECOMMUNICATION / LOW VOLTAGE – EXISTING OVERHEAD CONNECTION  
• AUTOMATIC SPRINKLER SYSTEM – EXISTING / MONITORED  
• FIRE ALARM & DETECTION SYSTEM – EXISTING / MONITORED

BP 1 - PROJECT TEAM

**ARCHITECT**  
KMB architects  
906 COLUMBIA ST SW, SUITE 400  
OLYMPIA, WA 98501  
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FIFE, WA 98424  
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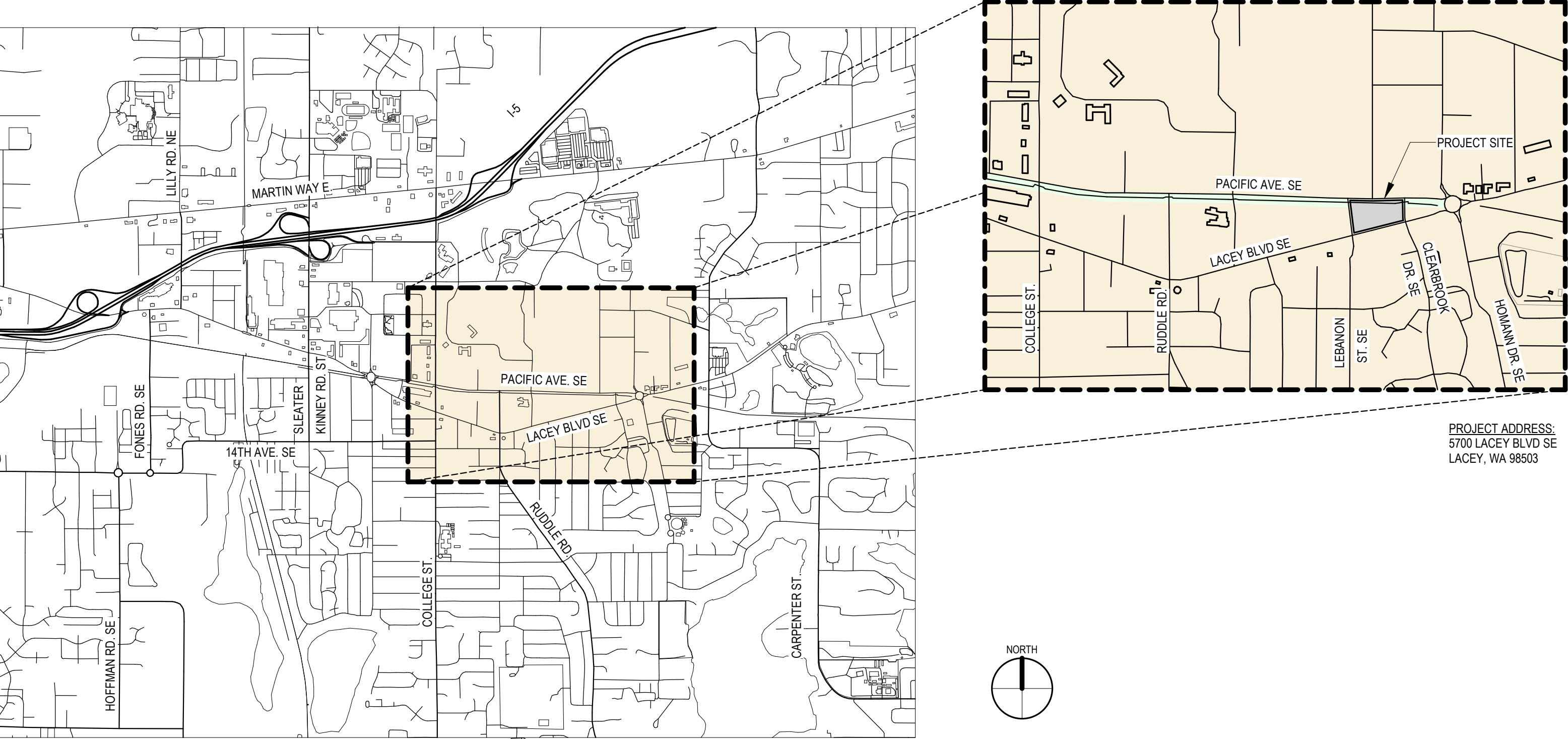
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710 SECOND AVE, SUITE 925  
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206.621.8649

BP 1 - SHEET INDEX			
Sheet Number	SHEET NAME	CURRENT REV. #	CURRENT REV. DATE
GENERAL			
GH100	BP 1 - COVER		
CIVIL			
C-000	COVER SHEET		
C-001	GENERAL NOTES		
C-100	TESC AND DEMOLITION PLAN		
C-101	TESC NOTES AND DETAILS		
C-300	ROUGH GRADING AND UTILITY PLAN		
LANDSCAPE			
L1-0	MATERIALS PLAN		
ARCHITECTURAL			
AS101	BP 1 - EXISTING ARCHITECTURAL SITE PLAN		
AD101	BP 1 - ARCHITECTURAL SITE PLAN DEMOLITION		
AD112	BP 1 - LEVEL 1 DEMOLITION FLOOR PLAN		
AD121	BP 1 - LEVEL 1 EXISTING ROOF DEMOLITION PLAN		
AD131	BP 1 - EXISTING BUILDING SECTIONS		
AD141	BP 1 - EXISTING EXTERIOR ELEVATIONS		
ELECTRICAL			
E-001	ELECTRICAL LEGEND		
E-101	ELECTRICAL SITE PLAN		
EF101	EXISTING REMO SITE PLAN		

SYMBOL LEGEND

	SHEET #	DET #	EXTERIOR ELEVATION TAG
	SHEET #	DET #	INTERIOR ELEVATION TAG
	1	AX.XX	EXTERIOR SECTION TAG
	1	AX.XX	WALL / STAIR SECTION TAG
	1	AX.XX	DETAIL SECTION TAG
			ENLARGED DETAIL REFERENCE
	1	W1A	WALL / PARTITION TYPE TAG
		W#	WINDOW TAG
		S#	STOREFRONT TAG
		##	DOOR TAG
		##	FINISH TAG
		##	FURNITURE/EQUIPMENT TAG
		##	KEYNOTE TAG
			TRANSITION LINE
			FLOOR FINISH TRANSITION (FLOOR PLAN)
		ROOM NAME ###	ROOM TAG
		CEILING TYPE (HEIGHT)	CEILING TAG
		ROOM NAME ### CEILING	ROOM TAG W/ TYPICAL CEILING FINISH (REFLECTED CEILING PLAN)
		NAME ELEVATION	DATUM TAG
		ELEVATION	SPOT ELEVATION
		A 1	GRID LINE
		RISE / RUN	SLOPE ARROW
		N	NORTH ARROW
			REVISION TAG AND CLOUD
			MATCH LINE

VICINITY MAP



LACEY CITY OFFICIALS

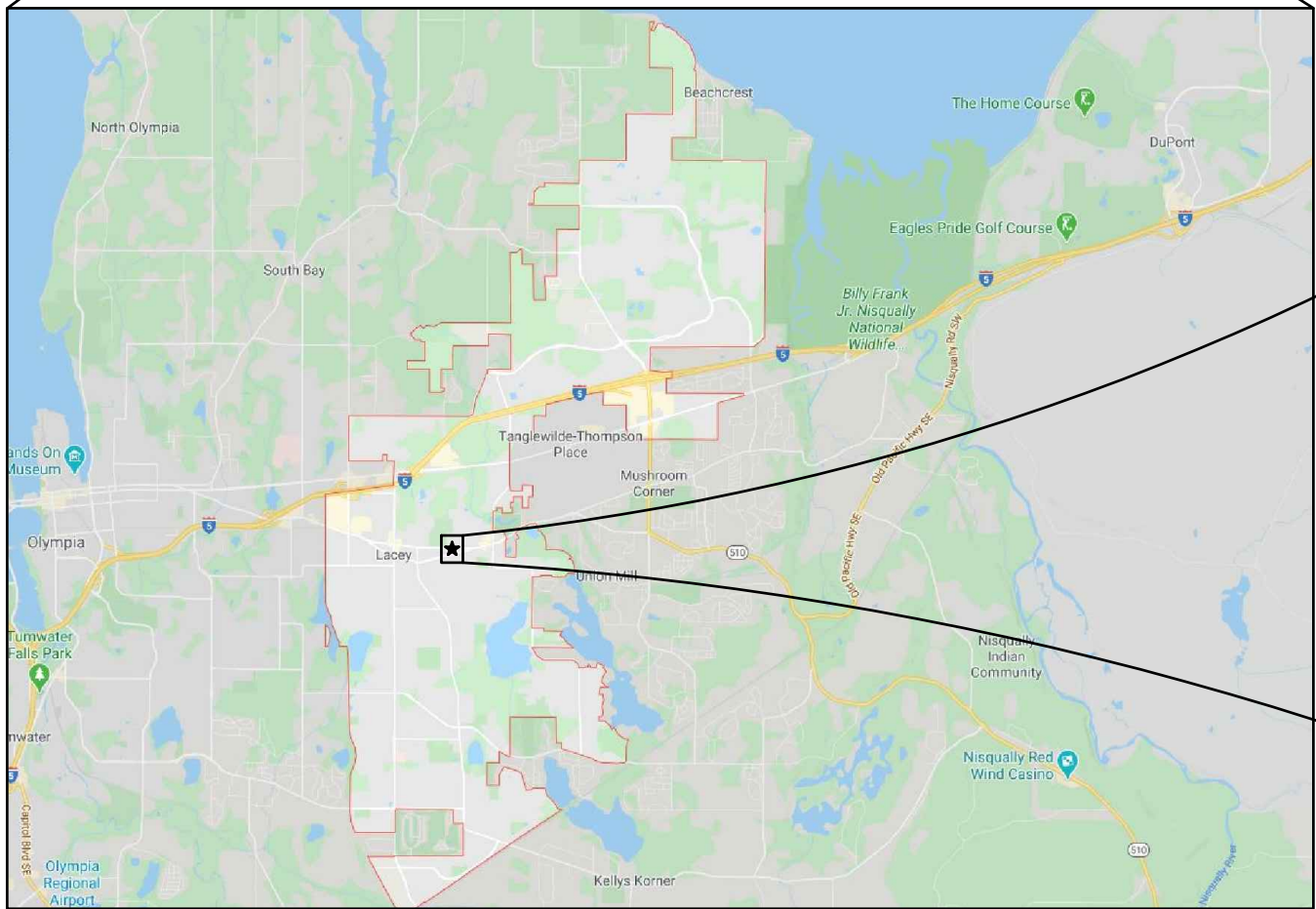
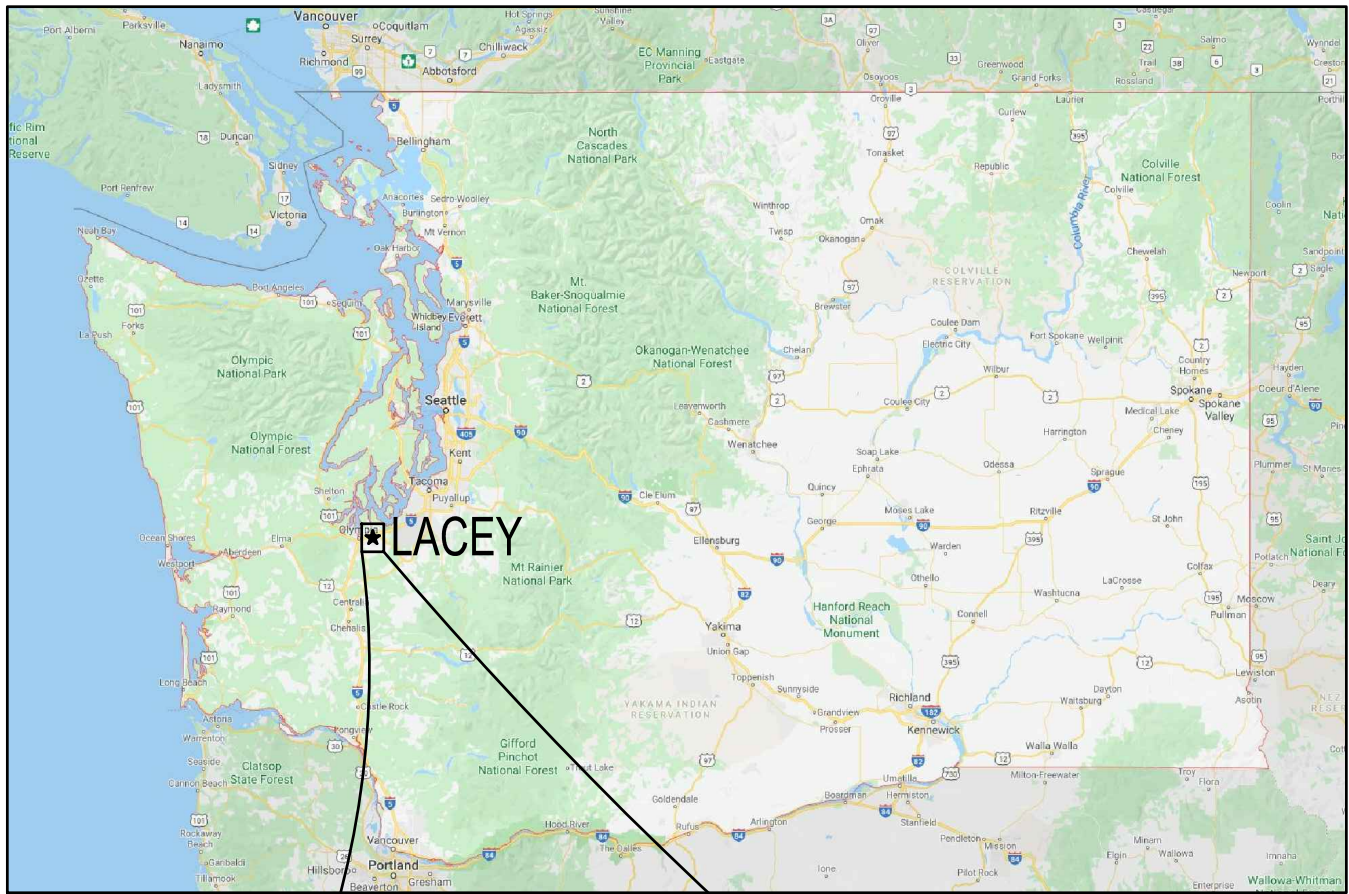
MAYOR: ANDY RYDER  
DEPUTY MAYOR: CYNTHIA PRATT  
CITY COUNCIL: LENNY GREENSTEIN  
MICHAEL STEDMAN  
CAROLYN COX  
ED KUNKEL  
MALCOM MILLER  
CITY MANAGER: SCOTT H. SPENCE  
CITY ATTORNEY: DAVID S. SCHNEIDER  
CITY ENGINEER: ROGER SCHOESSEL, P.E.  
DIRECTOR OF PUBLIC WORKS: SCOTT EGGER, P.E.

5th 9/11  
DATE 12/14/21



SEC. 21, T18N., R1W., W.M.

LACEY MUSEUM AND CULTURAL CENTER  
BID PACKAGE 1  
LACEY, WASHINGTON  
PROJECT #19-149



OWNER / APPLICANT

CITY OF LACEY  
420 COLLEGE ST. SE  
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ARCHITECT:  
KMB ARCHITECTS  
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CONTACT: RUBEN NUNEZ

SURVEYOR:  
CITY OF LACEY DEPARTMENT OF  
PUBLIC WORKS  
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CONTACT: MONTY BRYANT

GEOTECH:  
INSIGHT GEOLOGIC, INC.  
1015 4TH AVE E  
OLYMPIA WA, 98506  
CONTACT: WILLIAM HALBERT

SITE INFORMATION

PARCEL NUMBER: 37520000200 AND 09950013000  
ACRES: ±2.8 ACRES

SITE ADDRESS:

5700 LACEY BLVD SE  
LACEY WA, 98503

UTILITIES

WATER:  
CITY OF LACEY

SEWER:  
CITY OF LACEY

PHONE:  
TBD

POWER:  
PUGET SOUND ENERGY

GAS:  
PUGET SOUND ENERGY

BASIS OF BEARINGS:

MERIDIAN IS WASHINGTON COORDINATE SYSTEM OF 1983 -  
SOUTH ZONE. DISTANCES SHOWN ARE GROUND SCALE U.S.  
SURVEY FEET. COMBINED SCALE FACTOR (GROUND TO GRID)  
IS 0.999935701.

DATUM:

CITY OF LACEY BM#1141  
NORTH BASE BOLT LUM. #81  
SW CORNER OF INTERSECTION  
PACIFIC AVE SE AND CLEARBROOK AVE SE  
ELEV = 184.18 (NGVD29)

SHEET INDEX		
SHEET NO.	SHEET TITLE	SHEET DESCRIPTION
1	C-000	COVER SHEET
2	C-001	GENERAL NOTES
3	C-002	EXISTING SITE CONDITIONS
4	C-100	DEMOLITION AND TESC PLAN
5	C-101	TESC NOTES AND DETAILS
6	C-300	ROUGH GRADING AND UTILITY PLAN



**SCJ ALLIANCE**  
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COVER SHEET

LACEY MUSEUM AND CULTURAL CENTER  
PROJECT #19-149 BID PACKAGE 1 PERMIT SET  
LACEY, WASHINGTON

SHEET TITLE:

PROJECT NAME:

SEAL:



DESIGNER:  
S. EGAN

DRAWN BY:  
S. ORDONEZ

APPROVED BY:  
J. VERHEY

DATE:  
DECEMBER, 2021

JOB NO:  
0850.25

DRAWING FILE NO:  
0850.25 C-000

DRAWING NO:  
C-000

SHEET NO:  
1 OF 6

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION  
AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL  
VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING  
THE UNDERGROUND LOCATE LINE AT 811 OR (800)-424-5555 A  
MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



Dec 14, 2021 5:12:08pm - User: Jared Verhey  
N:\PROJECTS\0850\_RMB DESIGN GROUPS\850-25 LACEY MUSEUM & CIVIC CENTER\CA001\BID PACKAGE 1\0850.25 C-001.DWG

CITY OF LACEY GENERAL CONSTRUCTION NOTES (ALL PUBLIC WORKS IMPROVEMENTS):

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF LACEY STANDARDS AND THE MOST CURRENT EDITION OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (WSDOT/APWA). IN CASES OF CONFLICT, THE MOST STRINGENT STANDARD SHALL APPLY.
2. THE CONTRACTOR SHALL BE IN COMPLIANCE WITH ALL SAFETY STANDARDS AND REQUIREMENTS AS SET FORTH BY OSHA, WISHA AND THE STATE OF WASHINGTON, DEPARTMENT OF LABOR AND INDUSTRIES.
3. ALL APPROVALS AND PERMITS REQUIRED BY THE CITY OF LACEY SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
4. IF CONSTRUCTION IS TO TAKE PLACE IN THE COUNTY RIGHT-OF-WAY, THE CONTRACTOR SHALL NOTIFY THE COUNTY AND OBTAIN ALL THE REQUIRED APPROVALS AND PERMITS.
5. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF LACEY CONSTRUCTION INSPECTOR A MINIMUM 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
6. THE CITY OF LACEY CONSTRUCTION INSPECTOR SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF A TAP CONNECTION TO AN EXISTING MAIN. THE INSPECTOR SHALL BE PRESENT AT THE TIME OF THE TAP.
7. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 NOT LESS THAN TWO BUSINESS DAYS AND NOT MORE THAN 10 BUSINESS DAYS PRIOR TO ANY EXCAVATION. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR MAINTAINING ALL LOCATE MARKS ONCE THE UTILITIES HAVE BEEN LOCATED.
8. TEMPORARY STREET PATCHING SHALL BE ALLOWED FOR AS APPROVED BY THE CITY ENGINEER. TEMPORARY STREET PATCHING SHALL BE PROVIDED BY PLACEMENT AND COMPACTION OF 1 INCH MAXIMUM ASPHALT CONCRETE COLD MIX. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AS REQUIRED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE WSDOT/APWA STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (ALL APPLICABLE "K" PLANS) AND/OR THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). PRIOR TO DISRUPTION OF ANY TRAFFIC, A TRAFFIC CONTROL PLAN SHALL BE PREPARED AND SUBMITTED TO THE CITY FOR APPROVAL. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
10. EROSION CONTROL/WATER POLLUTION MEASURES SHALL BE REQUIRED IN ACCORDANCE WITH THE WSDOT/APWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND THE CITY OF LACEY 2010 STORMWATER DESIGN MANUAL. AT NO TIME WILL SILTS AND DEBRIS BE ALLOWED TO DRAIN INTO AN EXISTING OR NEWLY INSTALLED FACILITY UNLESS SPECIAL PROVISIONS HAVE BEEN DESIGNED.
11. ALL SURVEYING AND STAKING SHALL BE PERFORMED PER THE CORRESPONDING CHAPTER OF THE CITY OF LACEY DEVELOPMENT GUIDELINES AND PUBLIC WORKS STANDARDS.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A COPY OF AN APPROVED SET OF PLANS ON THE CONSTRUCTION SITE AT ALL TIMES.
13. ANY CHANGES TO THE DESIGN SHALL FIRST BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER AND THE CITY OF LACEY.
14. IF CONSTRUCTION IS TO TAKE PLACE IN OTHER JURISDICTION'S RIGHT-OF-WAY (I.E., THE COUNTY, THE STATE, THE CITY OF OLYMPIA, OR OTHER ADJACENT MUNICIPALITIES), THE CONTRACTOR SHALL NOTIFY THE JURISDICTION AND OBTAIN ALL THE REQUIRED APPROVALS AND PERMITS.
15. PRIOR TO BACKFILL ALL MAINS AND APPURTENANCES SHALL BE INSPECTED AND APPROVED BY THE CITY OF LACEY CONSTRUCTION INSPECTOR. APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FOR CORRECTION OF ANY DEFICIENCIES AND/OR FAILURES AS DETERMINED BY SUBSEQUENT TESTING AND INSPECTIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CITY OF LACEY FOR THE REQUIRED INSPECTIONS.
16. THE CITY WILL BE GIVEN 72 HOURS NOTICE PRIOR TO SCHEDULING A SHUTDOWN. WHERE CONNECTIONS REQUIRE "FIELD VERIFICATION", CONNECTION POINTS SHALL BE EXPOSED BY THE CONTRACTOR AND FITTINGS VERIFIED 72 HOURS PRIOR TO DISTRIBUTING SHUT-DOWN NOTICES.

REVISED: 03/2014

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 OR (800)-424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

SEC. 21, T18N., R1W., W.M.

ABBREVIATIONS

&	AND	LB(S)	POUND(S)
∅	ANGLE	LF	LINEAR FEET
±	APPROXIMATELY	LP	LOW POINT ELEVATION
⊖	AT	LT	LEFT
•	CENTERLINE	MAX	MAXIMUM
°	DEGREE	MFR	MANUFACTURER
=	EQUALS	MH	MANHOLE
'	FOOT	MIN	MINIMUM, MINUTE
>	GREATER THAN	MISC	MISCELLANEOUS
"	INCH	MON	MONUMENT IN CASE
#	NUMBER		
%	PERCENT	N	NORTH, NORTHING
AC	ASPHALTIC CONCRETE	N/A	NOT APPLICABLE
ADD'L	ADDITIONAL	NE	NORTHEAST
ADJT	ADJACENT	NEMA	NATIONAL ELECTRICAL MANUFACTURES ASSOCIATION
AFF	ABOVE FINISH FLOOR		
AP	ANGLE POINT	NIC	NOT IN CONTRACT
APPROX	APPROXIMATE	NO, No	NUMBER
ARCH	ARCHITECT	NTS	NOT TO SCALE
ATB	ASPHALT TREATED BASE COURSE	NW	NORTHWEST
AVE	AVENUE	OC, oc	ON CENTER
		OD	OUTSIDE DIAMETER
BC	BOTTOM OF CURB ELEVATION	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION
BCR	BEGIN CURB RETURN		
BFV	BUTTERFLY VALVE		
BGS	BELOW GROUND SURFACE	P	POWER, POWER VAULT
BLK	BLOCK(S)	PC	POINT OF CURVATURE
BLDG	BUILDING	PCC	POINT OF COMPOUND CURVE
BM	BENCHMARK	PED	PEDESTAL
BVC	BEGIN VERTICAL CURB	PI	POINT OF INTERSECTION
BW	BOTTOM OF WALL ELEVATION	ℓ	PROPERTY LINE
C	CONDUIT	POC	POINT OF CONNECTION
CB	CATCH BASIN	PP	POWER POLE
CF	CUBIC FEET	PRC	POINT OF REVERSE CURVATURE
CIRC	CIRCUIT, CIRCULE(R, TION)	PROP	PROPERTY
CIP	CAST-IN-PLACE	PSE	PUGET SOUND ENERGY
CIP MON	CAST-IN-PLACE MONUMENT	PSI	POUNDS PER SQUARE INCH
CJ	CENTER JOINT	PT	POINT OF TANGENCY
℄	CENTER LINE	PVC	POINT OF VERTICAL CURVE
CL	CROWNLINE	PVI	POINT OF VERTICAL INTERSECTION
CLR	CLEAR	PVMT	PAVEMENT
CO	CLEANOUT	PWR	POWER
COL	CITY OF LACEY		
COMM	COMMUNICATION	QTY	QUANTITY
COMPT	COMPACTED	R	RADIUS
CONC	CONCRETE	RD	ROAD, ROADWAY
CONST	CONSTRUCT	REF	REFERENCE
CONT	CONTINUE(E, ED, OUS, ATION)	REINF	REINFORCE(E, ED, ING, MENT)
COORD	COORDINATE	REQ'D	REQUIRED
CSBC	CRUSHED SURFACING BASE COURSE	REV	REVISION
CSTC	CRUSHED SURFACING TOP COURSE	RIM	STRUCTURE RIM ELEVATION
CULV	CULVERT	RT	RIGHT
CU YD	CUBIC YARD	R/W, ROW	RIGHT OF WAY
D/W	DRIVEWAY	S	SOUTH OR SLOPE
DEF	DEFLECTION	SCHED	SCHEDULE
DEG	DEGREE	SD, SDMH	STORM DRAIN, STORM DRAIN MANHOLE
DEMO	DEMOLISH/DEMOLITION	SE	SOUTHEAST
DIA	DIAMETER	SECT	SECTION(S)
DIM	DIMENSION(S)	SHT	SHEET
DIP	DUCTILE IRON PIPE	SP	SPRINKLER
DR	DRIVE	SQ	SQUARE
DWG(S)	DRAWING(S)	SQ FT	SQUARE FEET
		SQ IN	SQUARE INCH
E	EAST OR ELECTRICAL	SS	SANITARY SEWER
EA	EACH	SSMH	SANITARY SEWER MANHOLE
ECR	END CURB RETURN	ST	STREET
EHH	ELECTRICAL HANDHOLE	STA	STATION
EL, ELEV	ELEVATION	STD	STANDARD
ELEC	ELECTRIC(AL)	STRUCT	STRUCTURE(E, AL)
ENGR	ENGINEER	SW	SOUTHWEST
EOP	EDGE OF PAVEMENT	SYS	SYSTEM
EQ	EQUAL(LY)		
EQUIP	EQUIPMENT	T	TELEPHONE OR TELEPHONE VAULT
ESMT	EASEMENT	TBD	TO BE DETERMINED
EVC	END VERTICAL CURVE	TBM	TEMPORARY BENCH MARK
EX, EXIST	EXISTING	TC	TOP OF CURB ELEVATION
EXP	EXPANSION	TELE	TELEPHONE
		TEMP	TEMPORARY
FDC	FIRE DEPARTMENT CONNECTION	TW	TOP OF WALL ELEVATION
FDN	FOUNDATION	TP, T/P	TOP OF PIPE
FES	FLARED END SECTION	TYP	TYPICAL
FF	FINISH FLOOR	UDG	UNDERGROUND
FG	FINISH GRADE ELEVATION		
FH	FIRE HYDRANT	VAP	VERTICAL ANGLE POINT
FIN	FINISH(ED)	VC	VERTICAL CURVE
FL	FIRE LINE/FLANGE	VERT	VERTICAL
FT	FOOT/FEET	VOL	VOLUME
		W	WEST, WIDTH, WIDE OR WATER
G	GAS	W/	WITH
GALV	GALVANIZED	W/O	WITHOUT
GB	GRADE BREAK	WM	WATER MAIN OR WILLAMETTE MERIDIAN
GRND	GROUND	WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
GV	GATE VALVE		
HH	HANDHOLE	WV	WATER VALVE
HP	HIGH POINT ELEVATION	XFMR	TRANSFORMER
HORIZ	HORIZONTAL		
HT	HEIGHT		
IE	INVERT ELEVATION		
IN	INCH		
JB, J-BOX	JUNCTION BOX		
JT	JOINT TRENCH		
KV	KILOVOTS		
KW	KILOWATT		
KWH	KILOWATT HOURS		
L	LENGTH		

BID PACKAGE 1  
100% CONSTRUCTION DOCUMENTS

BY

DATE

REVISIONS

△

SCJ ALLIANCE  
CONSULTING SERVICES

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GENERAL NOTES

LACEY MUSEUM AND CULTURAL CENTER  
PROJECT #19-149 BID PACKAGE 1 PERMIT SET  
LACEY, WASHINGTON

SHEET TITLE

PROJECT NAME

SEAL

JARED JASON VERHEY

STATE OF WASHINGTON

REGISTERED PROFESSIONAL ENGINEER

46937

12/3/2021

DESIGNER:

S. EGAN

DRAWN BY:

S. ORDONEZ

APPROVED BY:

J. VERHEY

DATE:

DECEMBER, 2021

JOB NO:

0850.25

DRAWING FILE NO:

0850.25 C-001

DRAWING NO:

C-001

SHEET NO:

2 OF 6

SEC. 21, T18N., R1W., W.M

PACIFIC AVE SE

CLEARBROOK DR SE

LACEY BLVD SE

## LEGEN

- |                          |                     |
|--------------------------|---------------------|
| ---X---X---X---X---      | FENCE               |
| .....                    | DITCH               |
| ---SD---SD---SD---       | STORM LINE          |
| ---SS---SS---SS---       | SEWER LINE          |
| -----                    | RIGHT OF WAY LINE   |
| ---C---C---C---C---      | CABLE LINE          |
| ---G---G---G---G---      | GAS LINE            |
| ---T-OH---T-OH---T-OH--- | OVERHEAD PHONE LINE |
| ---T---T---T---T---      | TELEPHONE LINE      |
| ---FO---FO---FO---FO---  | FIBER OPTIC LINE    |
| ---OH---OH---OH---       | OVERHEAD POWER LINE |
| ---P---P---P---P---      | POWER LINE          |
| ---W---W---W---W---      | WATER LINE          |

0 30

SCALE IN FEET

# A P I

BID PACKAGE  
N DOCUMENT

## CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 OR (800)-424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

## EXISTING SITE CONDITIONS

LACEY MUSEUM AND CULTURAL CENTER  
PROJECT #19-149 BID PACKAGE 1 PERMIT SET  
LACEY, WASHINGTON



**SCJ ALLIANCE**  
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WA 98503  
P: 360.352.1465 F: 360.352.1509  
SCJALLIANCE.COM

[illegible]

DRAWN BY:  
S. ORD

APPROVED BY  
J. VERH

DATE: DECEN

JOB NO:  
0850.25

DRAWING FILE  
0850.2

DRAWING NO  
C-0

SHEET NO: 3

6



SEC. 21, T18N., R1W., W.M.

TEMPORARILY ADJUST SILT FENCE AND CLEARING AND GRADING LIMITS AS REQUIRED TO ACCOMMODATE TREE REMOVAL, IRRIGATION REMOVAL AND POWER SERVICE WORK ADJUNCT TO THE EXISTING DEPOT BUILDING. PERMIT MODIFICATION MAY BE REQUIRED - COORDINATE WITH ECOLOGY

PACIFIC AVE SE

CLEARROCK DR SE

LEBANON ST SE

LACEY BLVD SE

CONTINGENCY FOR UNKNOWN CONTAMINATION:

IF ADDITIONAL BLACK MOTTLED SOIL, SHEEN ON STANDING WATER, ODOOR OF PETROLEUM, OR UNDERGROUND STORAGE TANKS ARE DISCOVERED, THE CONTRACTOR SHALL IMMEDIATELY HALT ALL WORK AND NOTIFY THE OWNER AND CAROL SERDAR AT (360) 742-9751

NOTE TO CONTRACTOR:

IF ANY SUSPECTED CULTURAL ARTIFACTS ARE LOCATED DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY HALT ALL WORK AND NOTIFY THE OWNER IN ACCORDANCE WITH THE DAHP INADVERTANT DISCOVERY PLAN

XX EROSION CONTROL NOTES

1. CONSTRUCTION FENCE/SILT FENCE, SEE DETAILS ON SHEET C-101
2. INLET SEDIMENT PROTECTION, SEE DETAIL ON SHEET C-101
3. TOPSOIL STOCKPILE LOCATION. SEE GENERAL EROSION CONTROL NOTES FOR ADDITIONAL INFORMATION
4. STABILIZED CONSTRUCTION ENTRANCE, SEE DETAIL ON SHEET C-101

XX DEMOLITION NOTES

1. EXISTING BUILDING, FOUNDATION AND SLAB TO BE DEMOLISHED, SEE ARCHITECTURAL PLANS
2. REMOVE EXISTING BOLLARDS, BACKFILL PER PROJECT SPECIFICATIONS
3. REMOVE EXISTING GAS METER AND REMOVE/ABANDON EXISTING GAS SERVICE, COORDINATE WITH UTILITY PURVEYOR
4. PROTECT AND PRESERVE EXISTING STORM STRUCTURE AND INFILTRATION TRENCH
5. PROTECT AND PRESERVE EXISTING SANITARY CLEANOUT AND SERVICE
6. PROTECT AND PRESERVE EXISTING WATER SERVICE
7. PROTECT AND PRESERVE EXISTING STORM CLEANOUT
8. MODIFY EXISTING POWER SERVICE, COORDINATE WITH ELECTRICAL PLANS. MINIMIZE DISRUPTION TO GREATEST EXTENT FEASIBLE. COORDINATE WITH CITY FOR TIMING OF DISCONNECTION OF SERVICE.
9. REMOVE EXISTING MAILBOX AND POST, BACKFILL PER PROJECT SPECIFICATIONS.
10. REMOVE/ABANDON EXISTING TELEPHONE/COMMUNICATIONS SERVICE, COORDINATE LIMITS WITH UTILITY PURVEYOR
11. PROTECT AND PRESERVE EXISTING HYDRANT
12. LOCATE EXISTING BURIED VALVES/PIPES AND COMPLETELY REMOVE. CUT AND CAP LINES AT PROJECT BOUNDARY. BACKFILL IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
13. DISCONNECT EXISTING OVERHEAD POWER SERVICE, COORDINATE WITH ELECTRICAL PLANS.
14. NOT USED
15. LOCATE AND REMOVE EXISTING IRRIGATION SYSTEM
16. REMOVE WATER SERVICE TO BUILDING, CAP AT NEAREST VALVE
17. SAWCUT AT BACK OF SIDEWALK TO ENSURE EXISTING SIDEWALK IS NOT DAMAGED DURING EXISTING ASPHALT PAVEMENT REMOVAL
18. REMOVE AND DISPOSE OF EXISTING CONCRETE RETAINING WALL
19. PROTECT AND PRESERVE EXISTING MONITORING WELL
20. LOCATE SANITARY SEWER SERVICE LATERAL AND COMPLETELY REMOVE TO BACK OF CURB. PLUG AND CAP LINE AT BACK OF CURB. IDENTIFY LOCATION ON AS-BUILTS.

GENERAL NOTES

1. COVERAGE UNDER THE DEPARTMENT OF ECOLOGY'S CONSTRUCTION GENERAL PERMIT WILL BE REQUIRED. PROVIDE PROOF OF PERMIT TO THE CITY OF LACEY PRIOR TO START OF CONSTRUCTION.
2. CONSTRUCTION RELATED STORMWATER MUST NOT BE DISCHARGED OFF THE SITE. SEE 'DISCHARGE OF CONSTRUCTION STORMWATER' FOR ADDITIONAL NOTES AND REQUIREMENTS.
3. SILT FENCE SHALL BE LINE WITH PLASTIC SHEETING AND KEYED IN AROUND SITE.
4. ADDITIONAL BMPs NOT SHOWN ON THESE PLANS MAY BE REQUIRED TO PREVENT CONTAMINATED STORMWATER AND DEWATERING WATER FROM DISCHARGING FROM THE SITE (I.E., A WHEEL WASH). FURNISH & INSTALL AS NECESSARY TO MEET PERMIT REQUIREMENTS.
5. STREET SWEEPING SHALL BE DONE DAILY OR, AS SOON AS THERE IS SEDIMENT ON THE ROAD.

DISCHARGE OF CONSTRUCTION STORMWATER

1. ROUTE CONSTRUCTION STORMWATER TO THE LOW POINT SHOWN ON THIS PLAN AND INFILTRATE ON-SITE. OFF-SITE DISCHARGE WITHOUT TREATMENT, INCLUDING "TRACK-OUT" IS NOT ALLOWED. IF ADDITIONAL EROSION CONTROL MEASURES ARE NECESSARY, THEN;
2. PUMP CONSTRUCTION STORMWATER INTO A VEHICLE (I.E., VACUUM FLUSH TRUCK) FOR TEMPORARY HOLDING. ONCE ON-SITE AREA IS AVAILABLE FOR INFILTRATION, SLOWLY RELEASE BACK ON-SITE FOR INFILTRATION. IF ADDITIONAL EROSION CONTROL MEASURES ARE NECESSARY, THEN;
3. CONTINGENCY: PUMP CONSTRUCTION STORMWATER TO ON-SITE "BAKER TANKS" FOR WATER QUALITY TREATMENT. AFTER TREATMENT, DISCHARGE OFF-SITE. AN ADMINISTRATIVE ORDER (COMPANION ORDER) FROM THE DEPARTMENT OF ECOLOGY IS REQUIRED FOR DISCHARGING OFF-SITE. CONTRACTOR SHALL APPLY FOR ADMINISTRATIVE ORDER IF NEEDED.

LEGEND

- INLET SEDIMENT PROTECTION, SEE DETAIL ON SHEET C-101
- CONSTRUCTION FENCE/SILT FENCE, SEE DETAILS ON SHEET C-101
- TREE PROTECTION FENCING, SEE DETAIL ON SHEET C-101
- STABILIZED CONSTRUCTION ENTRANCE, SEE DETAIL ON SHEET C-101
- EXISTING TREE AND ROOTBALL TO BE REMOVED. CUT 12" BELOW GRADE
- SAWCUT
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED

SCALE IN FEET

BID PACKAGE 1  
100% CONSTRUCTION DOCUMENTS

REVISIONS	DATE	BY

**SCJ ALLIANCE**  
CONSULTING SERVICES  
8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516  
P: 360.352.1465 F: 360.352.1509  
SCJALLIANCE.COM

DEMOLITION AND TESC PLAN  
LACEY MUSEUM AND CULTURAL CENTER  
PROJECT #19-149 BID PACKAGE 1 PERMIT SET  
LACEY, WASHINGTON

SHEET TITLE: PROJECT NAME: SEAL: JARED JASON VERHEY  
12/3/2021  
DESIGNER: S. EGAN  
DRAWN BY: S. ORDONEZ  
APPROVED BY: J. VERHEY

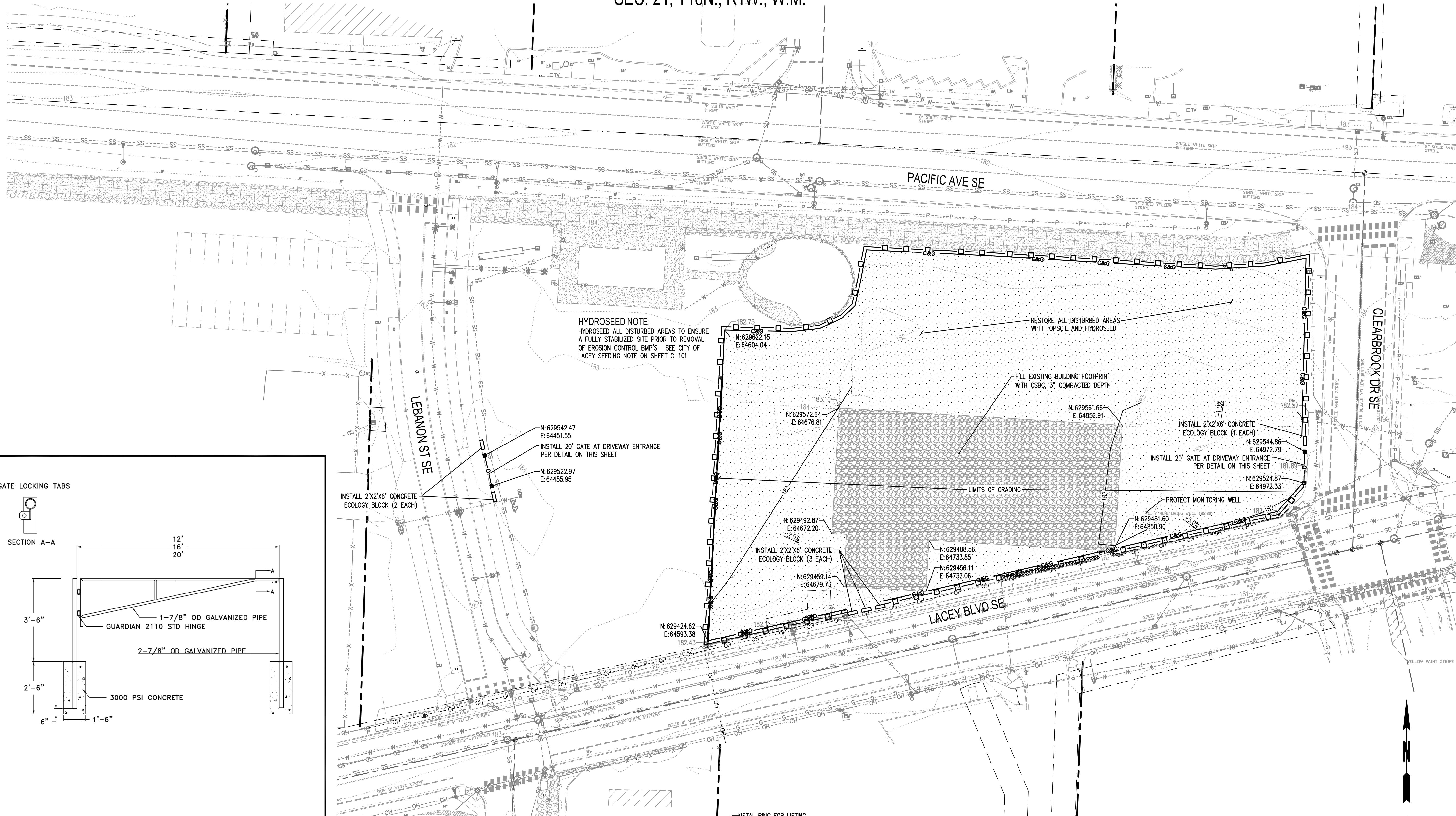
DATE: DECEMBER, 2021  
JOB NO: 0850.25  
DRAWING FILE NO: 0850.25 C-100  
DRAWING NO: C-100  
SHEET NO: 4 OF 6



- THE CONTRACTOR SHALL FOLLOW EROSION CONTROL PRACTICES OUTLINED IN THE WASHINGTON STATE DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON.
2. EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. NO SILTATION OF EXISTING OR PROPOSED DRAINAGE FACILITIES SHALL BE ALLOWED. CARE SHALL BE TAKEN TO PREVENT MIGRATION OF SILTS FROM THE LIMITS OF IMPROVEMENTS.
3. USE SPILL PREVENTION AND CONTROL MEASURES AS REQUIRED TO PROHIBIT ALL ENVIRONMENTALLY HARMFUL DISCHARGES FROM THE SITE. USE APPROPRIATE MEASURES WHEN CONDUCTING FUELING, MAINTENANCE AND REPAIR OF EQUIPMENT, HYDRAULIC AND FUEL TANK DRAIN DOWNS, DEGREASING AND CLEANING. CLEAN ALL CONTAMINATED SURFACES IMMEDIATELY FOLLOWING ANY SPILL OR DISCHARGE AND NOTIFY THE CITY OF LACEY AND APPROPRIATE AGENCY SHOULD A SPILL OR DISCHARGE OCCUR.
4. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE BEGINNING OF CONSTRUCTION. THE PROJECT ENGINEER AND THE REVIEWING AGENCY SHALL INSPECT AND APPROVE THE INSTALLATION OF EROSION CONTROL MEASURES PRIOR TO BEGINNING CONSTRUCTION.
  - A. INSTALL INLET SEDIMENTATION AS SPECIFIED AT ALL CATCH BASIN LOCATIONS IMMEDIATELY UPON ARRIVAL AT PROJECT/CONSTRUCTION SITE OR INSTALLATION.
  - B. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL INGRESS/EGRESS POINTS TO CONSTRUCTION SITE.
5. ALL EROSION/SEDIMENTATION CONTROL FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETE AND THE SITE HAS BEEN STABILIZED. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE SYSTEM AS REQUIRED BY THE OWNER, ENGINEER, OR CITY OF LACEY.
6. THE CONTRACTOR SHALL MINIMIZE AND CONTROL DUST ON ALL DISTURBED SURFACES THROUGHOUT THE PROJECT DURATION. THE USE OF OILS AND OTHER PETROLEUM BASED TOXIC CHEMICALS FOR DUST SUPPRESSION IS PROHIBITED. DUST CONTROL MEASURES MAY INCLUDE SOME OR ALL OF THE FOLLOWING: MINIMIZING WORK LIMITS, VEGETATE AREAS THAT WILL NOT RECEIVE TRAFFIC, CONSTRUCT TEMPORARY WIND BREAKS, PERIODICALLY SPRINKLE WITH WATER UNTIL SURFACE IS WET, AND SPRAY EXPOSED SURFACES WITH ECOLOGY APPROVED DUST PALIATIVE. THE CONTRACTOR SHALL COMPLETE AS FREQUENTLY AS REQUIRED TO KEEP DUST TO A MINIMUM.
7. THE CONTRACTOR SHALL MAKE A DAILY SURVEILLANCE OF ALL EROSION CONTROL MEASURES AND MAKE ANY NECESSARY REPAIRS OR ADDITIONS TO THE EROSION CONTROL MEASURES AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS DETERMINED NECESSARY BY THE INSPECTOR AND/OR PROJECT ENGINEER. FAILURE TO COMPLY WITH ALL LOCAL AND STATE EROSION CONTROL REQUIREMENTS MAY RESULT IN CIVIL PENALTIES BEING LEVIED AGAINST THE CONTRACTOR.
8. ALL STORM DRAINAGE INLETS RECEIVING RUNOFF FROM THE PROJECT DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL BE FILTERED BEFORE ENTERING THE CONVEYANCE SYSTEM.
9. ALL OFF-SITE CATCH BASINS IMMEDIATELY ADJACENT TO THE PROPOSED SITE SHALL BE PROTECTED FROM SILTATION.
10. TRENCH Dewatering DEVICES SHALL BE DISCHARGED IN A MANNER THAT WILL NOT ADVERSELY AFFECT STREAMS, DRAINAGE SYSTEMS, OR OFF-SITE PROPERTIES.
11. TRACKING OF SOIL, MUD, OR DEBRIS OFF-SITE IS NOT ALLOWED. SOIL, MUD, OR DEBRIS TRACKED ONTO A PUBLIC ROADWAY, SHALL BE REMOVED BY THE END OF THAT WORKING DAY. TO PREVENT THE TRACKING OF SOIL, MUD, OR DEBRIS ONTO PUBLIC ROADWAYS, SWEEPING OR WASHING OF THE VEHICLE'S TIRES MAY BE REQUIRED PRIOR TO ENTERING A PUBLIC ROADWAY.
12. ALL DISTURBED AREAS SHALL BE HYDROSEEDED WITH EROSION CONTROL SEED MIX, INCLUDING BUT NOT LIMITED TO ROADWAY EMBANKMENTS, SHOULDERS, UTILITY EASEMENTS, STAGING AREAS, CONSTRUCTED WETLANDS AND CUT/FILL SLOPES.
13. ALL SEEDED OR SODDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE VEGETATIVE COVERAGE IS COMPLETE. AREAS SHALL BE REPAIRED, RESEDED, AND FERTILIZED AS REQUIRED.
14. TO MAINTAIN FUNCTION, THE CONTRACTOR SHALL REMOVE AND CLEAN OR REPLACE CATCH BASIN INSERT FILTERS AFTER EACH STORM EVENT. CONTACT THE JURISDICTION TO DETERMINE ITS ACCEPTANCE OF SPECIFIC FILTER PRODUCTS, PRIOR TO INSTALLATION.
15. NO MATERIAL SHALL BE STOCKPILED ON PAVEMENT WITHOUT AUTHORIZATION FROM THE PROJECT ENGINEER OR OWNERS REPRESENTATIVE WHICH WILL BE CONDITIONAL ON IMPLEMENTATION OF A PROCEDURE TO PREVENT SEDIMENT TRANSPORT.
16. THE TOPSOIL STOCKPILE LOCATION IDENTIFIED ON THESE PLANS SHALL BE PROTECTED FROM EROSION. THE STOCKPILE LOCATION MAY BE RELOCATED OR ADJUSTED AS REQUIRED TO ACCOMMODATE CONTRACTOR PHASING. COORDINATE NEW STOCKPILE LOCATION WITH ENGINEER AND CITY OF LACEY.
17. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED OR AFTER THE MEASURES ARE NO LONGER NEEDED. SEDIMENT COLLECTED IN TRAPS, PONDS, OR SILT FENCE SHALL BE REMOVED AND DISPOSED IN AN APPROVED MANNER OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM SEDIMENT REMOVAL SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN (7) DAYS.

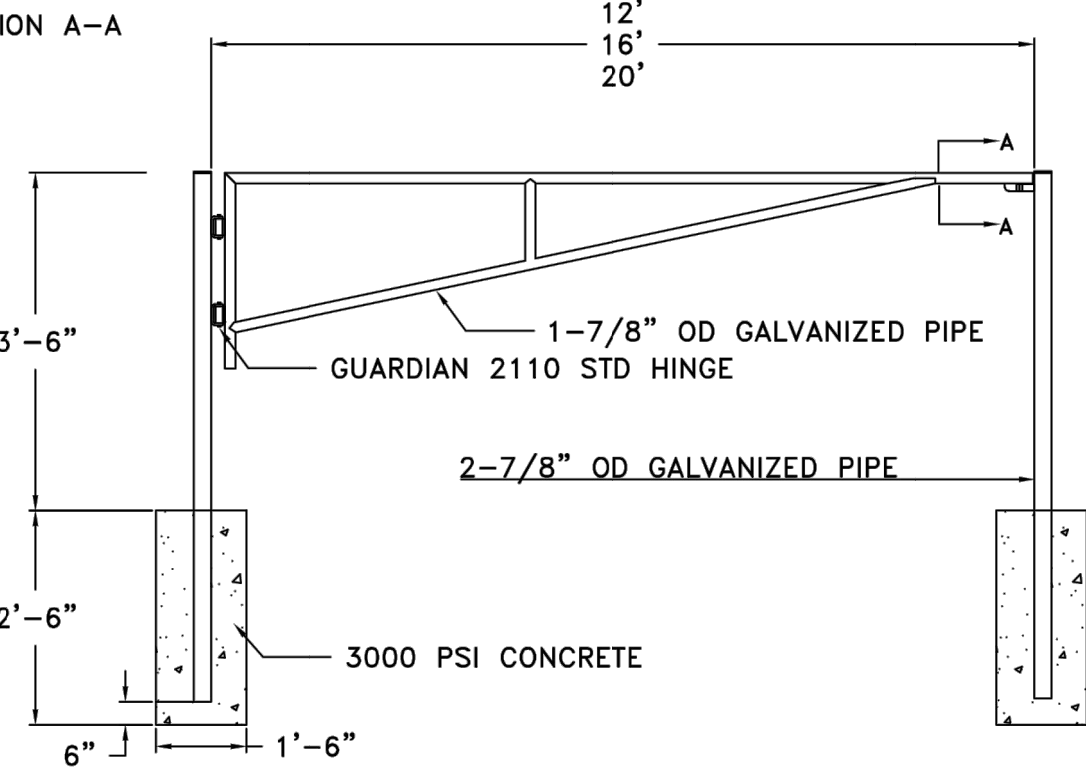


SEC. 21, T18N., R1W., W.M.



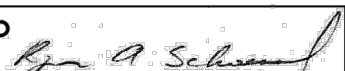
GATE LOCKING TABS

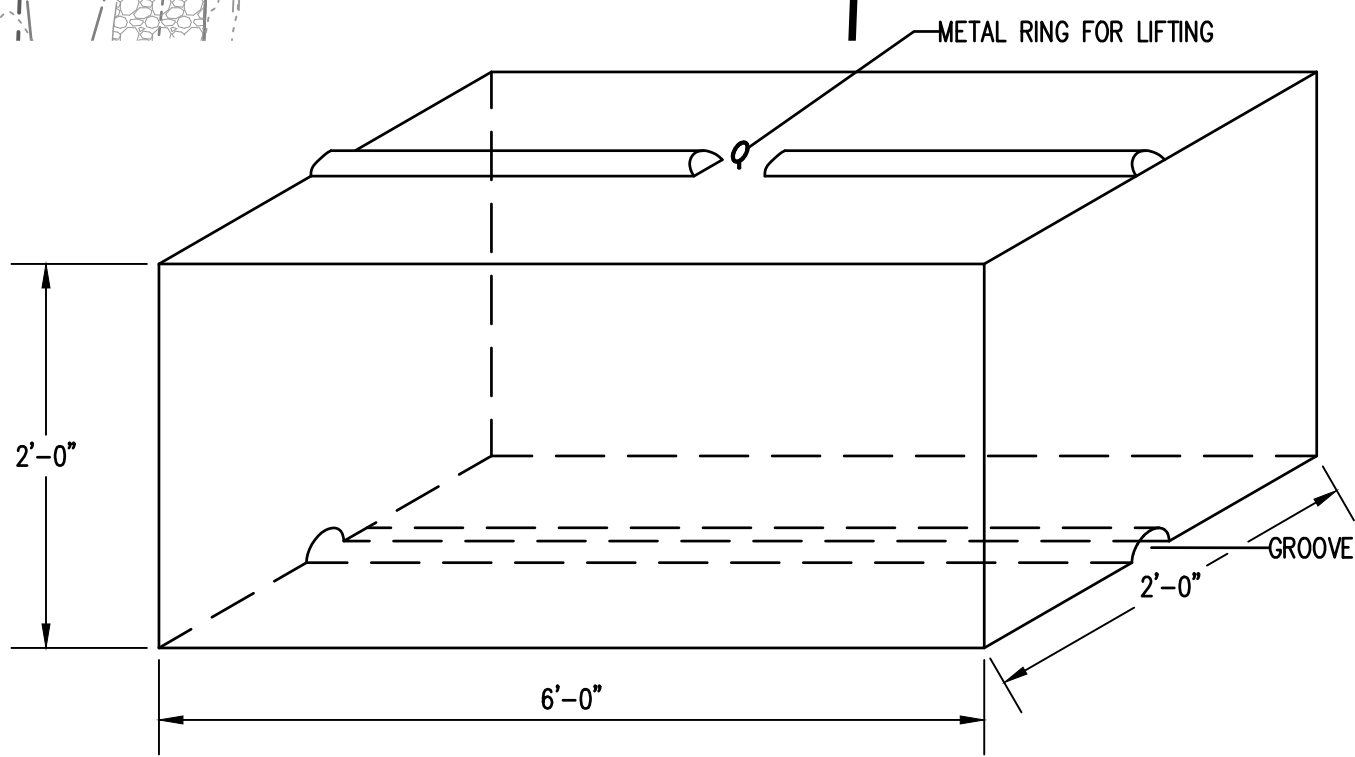
SECTION A-A



- GENERAL NOTES:
1. THE FOUNDATION IS DESIGNED FOR 2000 PSF AVERAGE SOIL LATERAL BEARING PRESSURE.
  2. FOR DETAILS NOT SHOWN USE MANUFACTURER'S SPECIFICATIONS AND DETAILS.
  3. POST HOLES SHALL BE AUGERED. IF HOLES ARE DUG, BACKFILL SHALL MEET WSDOT SECTION 8-12.
  4. FINISHED CONCRETE SHALL BE FLUSH WITH GROUND LEVEL.
  5. THIS DETAIL IS FOR 12', 16', AND 20' GATES.

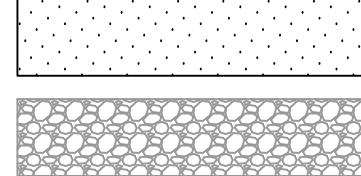
CITY OF LACEY, WASHINGTON  
DEPT. OF PUBLIC WORKS  
PARK ENTRANCE GATE

APPROVED 		DWG. NO.
CITY ENGINEER		4-41
DES.	DWN.	OKD.
ACS	ACS	JK
DATE		12/04/20



ECOLOGY BLOCK  
NTS

LEGEND


- |   |  |
|---|--|
| XX  | EXISTING CONTOURS (MAJOR/MINOR)                    |
| XX  | PROPOSED CONTOURS (MAJOR/MINOR)                    |
| XX  | CLEAR AND GRUB LIMITS                              |
| —C&G—   | CONSTRUCTION FENCE PER DETAIL ON SHEET C-101       |
| □-□-□-□   | HYDROSEED  |
|  | CRUSHED SURFACE BASE COURSE (CSBC), DEPTH PER PLAN |

BID PACKAGE 1  
100% CONSTRUCTION DOCUMENTS

REVISIONS	DATE	BY

**SCJ ALLIANCE**  
CONSULTING SERVICES  
8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516  
P: 360.352.1465 F: 360.352.1509  
SCJALLIANCE.COM

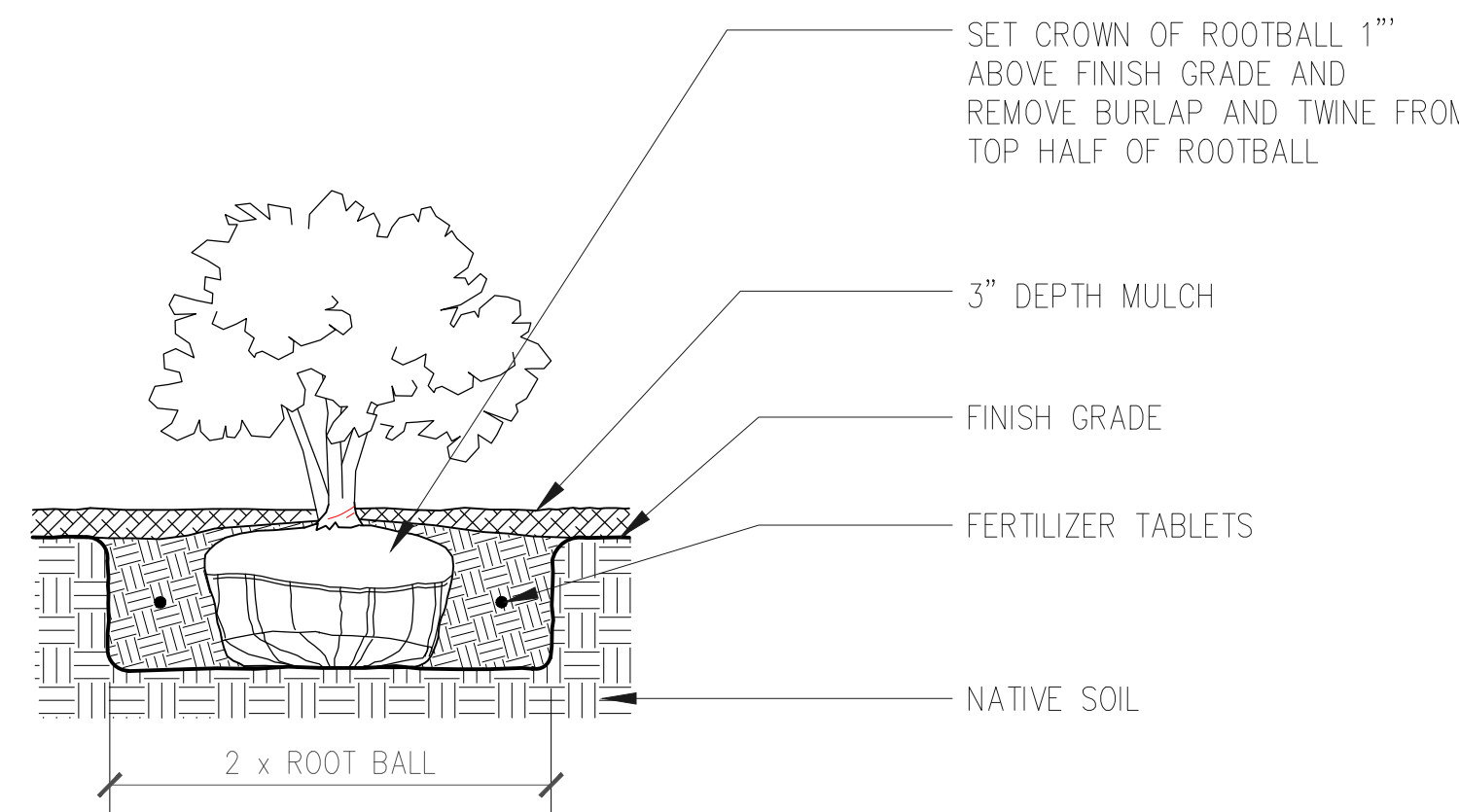
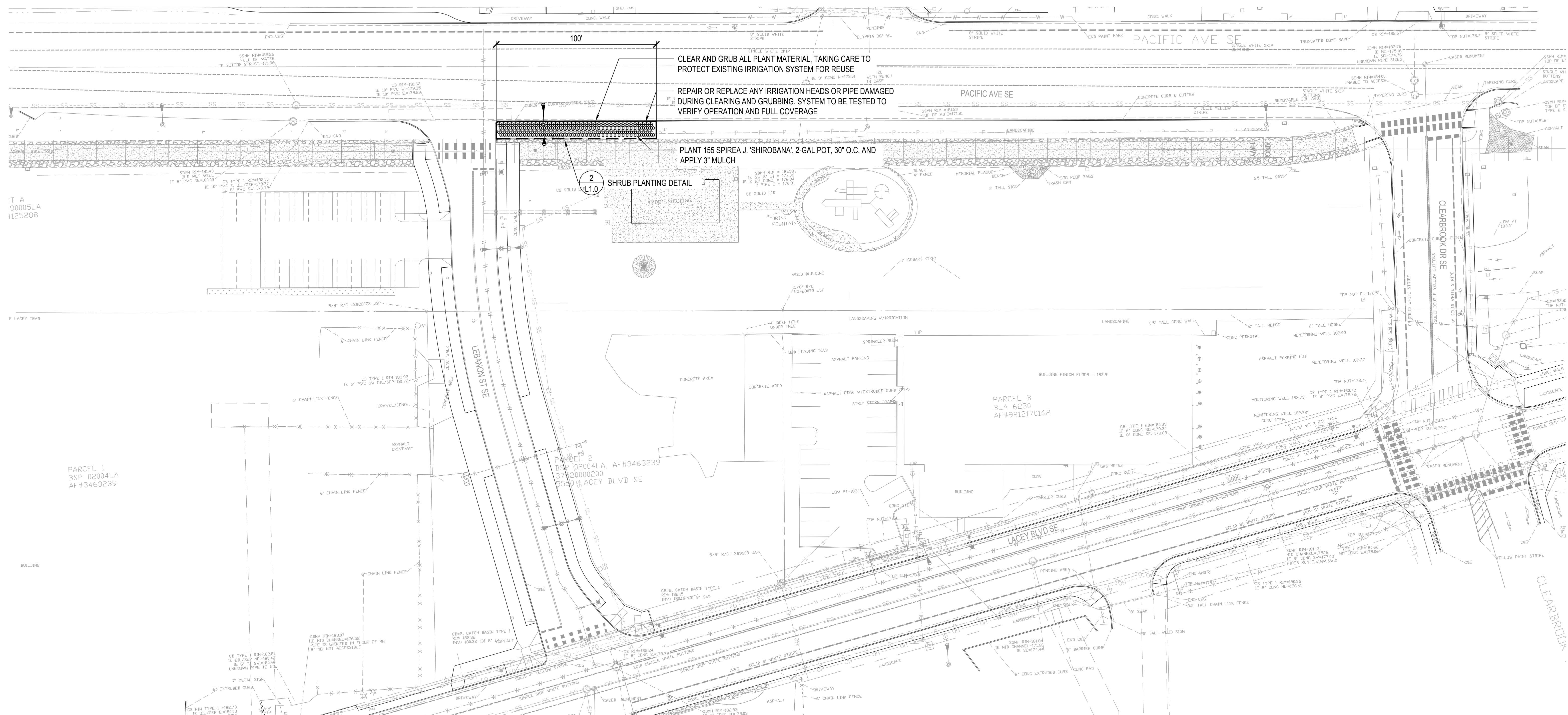
ROUGH GRADING AND UTILITY PLAN  
LACEY MUSEUM AND CULTURAL CENTER  
PROJECT #19-149 BID PACKAGE 1 PERMIT SET  
LACEY, WASHINGTON

SHEET TITLE  
PROJECT NAME  
SEAL  
  
12/3/2021

DESIGNER:  
S. EGAN  
DRAWN BY:  
S. ORDONEZ  
APPROVED BY:  
J. VERHEY  
DATE:  
DECEMBER, 2021  
JOB NO:  
0850.25  
DRAWING FILE NO:  
0850.25 C-300  
DRAWING NO:  
C-300  
SHEET NO:  
6 OF 6

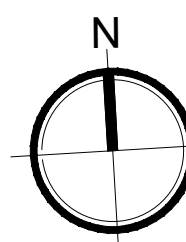
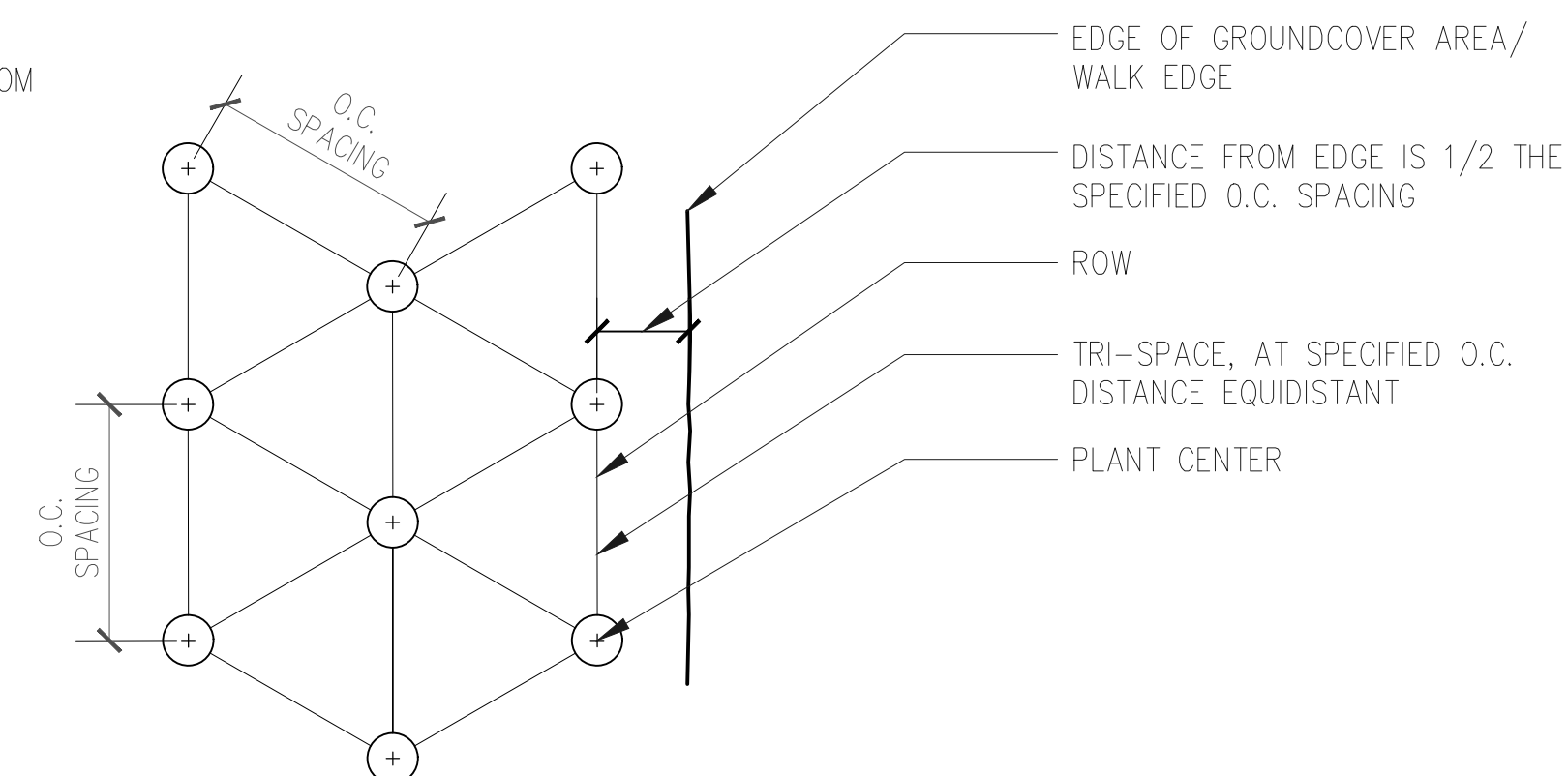
**CALL BEFORE YOU DIG**  
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 OR (800)-424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



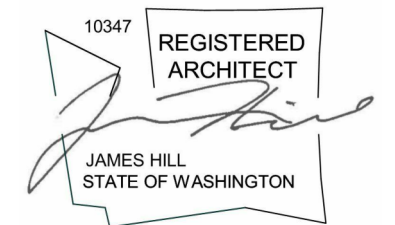


## 2 SHRUB PLANTING

SCALE NTS







KMB Project No. D1952

LACEY MUSEUM AND CULTURAL CENTER  
CITY OF LACEY  
5700 LACEY BLVD SE, LACEY, WASHINGTON 98503

ORIGINAL SHEET SIZE = 30 x 42  
HALF SIZE REDUCTIONS = 15 x 21  
REVISIONS:

DATE:  
12/16/2021  
BID SET  
SHEET NO:  
**AS101**  
BP 1 - EXISTING  
ARCHITECTURAL SITE  
PLAN

BP 1 - EXISTING PROPERTY INFORMATION

PARCEL # 11821222101

GENERAL PROPERTY INFORMATION

PROPERTY OWNER:  
CITY OF LACEY  
420 COLLEGE STREET SE  
LACEY, WA 98503

PROPERTY ADDRESS:  
5555 PACIFIC AVENUE SE  
LACEY, WA 98503

PARCEL #:  
11821222101

ABBREVIATED LEGAL DESCRIPTION:  
SECTION 21 TOWNSHIP 18 RANGE 1W QUARTER N2  
BLA09003LA TR A DOCUMENT 4125288

LOT ACREAGE:  
10.32 ACRES  
(471,200 SQ. FT.)

PROPERTY TYPE:  
XMP

USE CODE:  
91 UNDEVELOPED LAND

FIRE DISTRICT:  
FIRE DISTRICT #3

COUNTY:  
THURSTON COUNTY

ZONE:  
CBD-P (CENTRAL BUSINESS DISTRICT 5)  
(Reference: Thurston Count Zoning Map, UGA Zoning Map &  
City of Lacey Zoning Map)

SCHOOL DISTRICT:  
NORTH THURSTON S.D. #3

WATER SOURCE:  
PUBLIC WATER

SEWER TYPE:  
PUBLIC SEWER

EXISTING BUILDING INFORMATION

CURRENT BUILDINGS ON SITE:  
NONE - NOT APPLICABLE

YEAR BUILT:  
NONE - NOT APPLICABLE

FLOORS:  
NONE - NOT APPLICABLE

FOUNDATION:  
NONE - NOT APPLICABLE

FRAMING TYPE:  
NONE - NOT APPLICABLE

EXISTING UTILITIES:  
NONE - NOT APPLICABLE

AUTOMATIC FIRE SUPPRESSION SYSTEM:  
NONE - NOT APPLICABLE

ALARM SYSTEMS:  
NONE - NOT APPLICABLE

PARKING LOTS:  
EXISTING PARKING LOT: 6,084 SQ. FT. (ASPHALT)  
TOTAL EXISTING: 6,084 SQ. FT.

PARCEL # 37520000200

GENERAL PROPERTY INFORMATION

PROPERTY OWNER:  
CITY OF LACEY  
420 COLLEGE STREET SE  
LACEY, WA 98503

PROPERTY ADDRESS:  
5555 LACEY BOULEVARD SE  
LACEY, WA 98503

PARCEL #:  
37520000200

ABBREVIATED LEGAL DESCRIPTION:  
SECTION 21 TOWNSHIP 18 RANGE 1W QUARTER NW NE  
& SW NE BINDING SITE PLAN BSP020004LA LT 2 3463239

LOT ACREAGE:  
1.02 ACRES  
(44,580 SQ. FT.)

PROPERTY TYPE:  
XMP

USE CODE:  
91 UNDEVELOPED LAND

FIRE DISTRICT:  
FIRE DISTRICT #3

COUNTY:  
THURSTON COUNTY

ZONE:  
CBD-5 (CENTRAL BUSINESS DISTRICT 5)  
(Reference: Thurston Count Zoning Map, UGA Zoning Map &  
City of Lacey Zoning Map)

SCHOOL DISTRICT:  
NORTH THURSTON S.D. #3

WATER SOURCE:  
PUBLIC WATER

SEWER TYPE:  
PUBLIC SEWER

EXISTING BUILDING INFORMATION

CURRENT BUILDINGS ON SITE:  
NONE - NOT APPLICABLE

YEAR BUILT:  
NONE - NOT APPLICABLE

FLOORS:  
NONE - NOT APPLICABLE

FOUNDATION:  
NONE - NOT APPLICABLE

FRAMING TYPE:  
NONE - NOT APPLICABLE

EXISTING UTILITIES:  
NONE - NOT APPLICABLE

AUTOMATIC FIRE SUPPRESSION SYSTEM:  
NONE - NOT APPLICABLE

ALARM SYSTEMS:  
NONE - NOT APPLICABLE

PARKING LOTS:  
EXISTING PARKING LOT: 6,889 SQ. FT. (CONCRETE)  
TOTAL EXISTING: 6,889 SQ. FT.

PARCEL # 09950013000

GENERAL PROPERTY INFORMATION

PROPERTY OWNER:  
CITY OF LACEY  
420 COLLEGE ST SE  
LACEY, WA 98503

PROPERTY ADDRESS:  
5700 LACEY BOULEVARD SE  
LACEY, WA 98503

PARCEL #:  
09950013000

ABBREVIATED LEGAL DESCRIPTION:  
SECTION 21 TOWNSHIP 18 RANGE 1W DONATIONG LAND  
CLAIM WOOD, ISACC #39 DOL BLA-9230 TR B  
DOUCUMENT 013121 (S PAC HW & N LACEY BLVD)

LOT ACREAGE:  
1.01 ACRES  
(43,836 SQ. FT.)

PROPERTY TYPE:  
XMP

USE CODE:  
67 SERVICE - GOVERNMENTAL

FIRE DISTRICT:  
FIRE DISTRICT #3

COUNTY:  
THURSTON COUNTY

ZONE:  
CBD-5 (CENTRAL BUSINESS DISTRICT 5)  
(Reference: Thurston Count Zoning Map, UGA Zoning Map &  
City of Lacey Zoning Map)

SCHOOL DISTRICT:  
NORTH THURSTON S.D. #3

WATER SOURCE:  
PUBLIC WATER

SEWER TYPE:  
PUBLIC SEWER

EXISTING BUILDING INFORMATION

CURRENT BUILDINGS ON SITE:  
15,976 SQ. FT. WAREHOUSE AND ADMINISTRATION BUILDING

YEAR BUILT:  
C. 1970'S

FLOORS:  
SINGLE STORY

FOUNDATION:  
CONCRETE SLAB ON GRADE

FRAMING TYPE:  
WAREHOUSE - METAL/STEEL  
ADMINISTRATION - WOOD

EXISTING UTILITIES:  
PUBLIC WATER, PUBLIC SEWER, NATURAL GAS

AUTOMATIC FIRE SUPPRESSION SYSTEM:  
EXISTING SPRINKLER SYSTEM - WATER - MONITORED

ALARM SYSTEMS:  
EXISTING FIRE ALARM SYSTEM - MONITORED  
EXISTING SECURITY SYSTEM - MONITORED

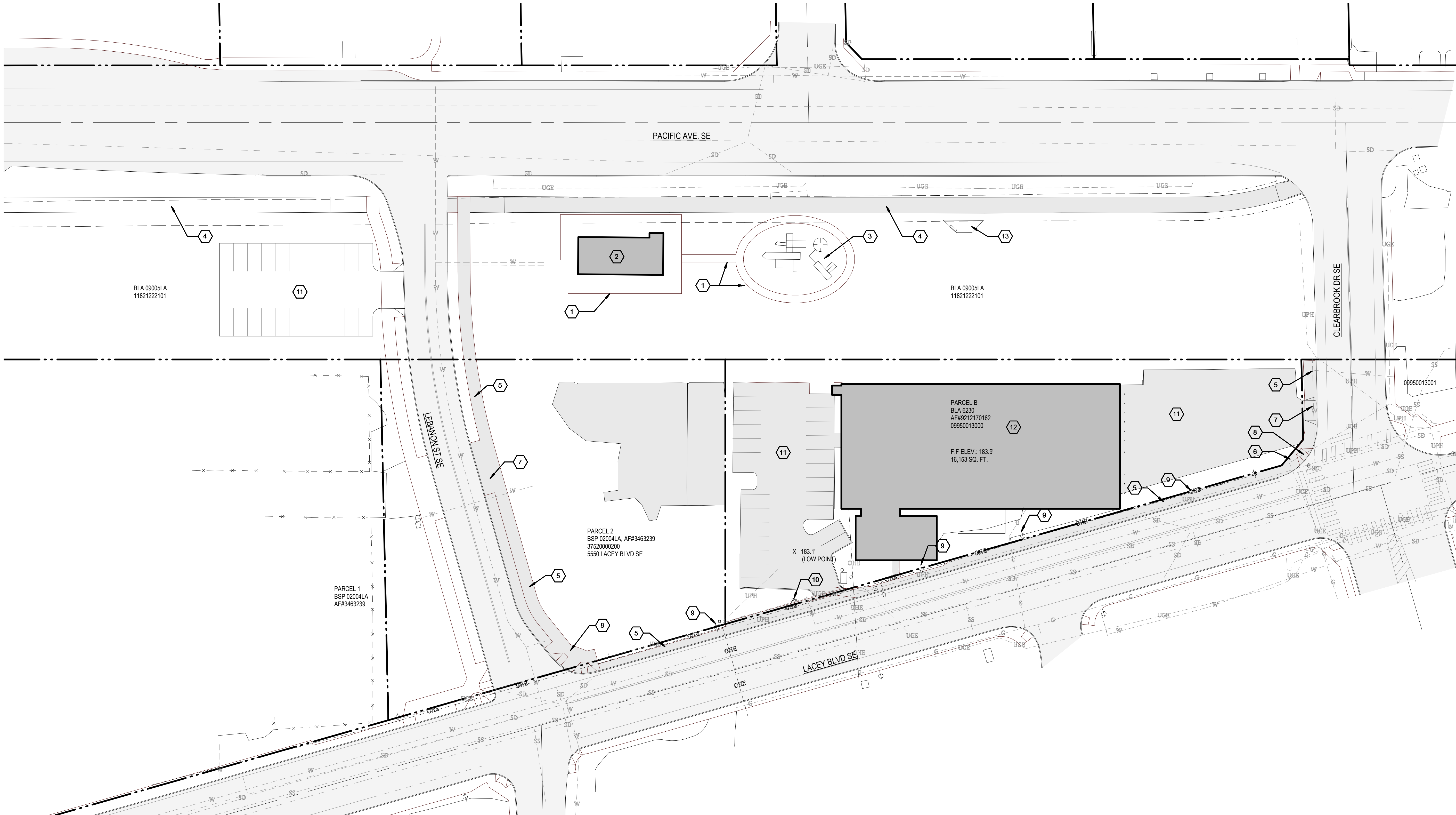
PARKING LOTS:  
WEST PARKING LOT: 8,207 SQ. FT. (ASPHALT)  
EAST PARKING LOT: 7,384 SQ. FT. (ASPHALT)  
TOTAL EXISTING: 15,591 SQ. FT.

BP 1 - EXISTING SITE PLAN KEY NOTES

- 1 EXISTING CONCRETE WALKWAY
- 2 EXISTING TRAIN DEPOT STATION BUILDING
- 3 EXISTING PLAYGROUND AND PLAYGROUND SET
- 4 EXISTING LACEY WOODLAND TRAIL
- 5 EXISTING CONCRETE SIDEWALK
- 6 EXISTING PUSH BOTTON PEDESTRIAN CROSS WALK AND SIGN
- 7 EXISTING DRIVEWAY APRON AND DEPRESSED CURB
- 8 EXISTING PEDESTRIAN RAMP AND DEPRESSED CURB
- 9 EXISTING POWER POLE AND OVERHEAD POWER LINES
- 10 EXISTING FIRE HYDRANT
- 11 EXISTING ASPHALT PARKING LOT
- 12 EXISTING BUILDING
- 13 EXISTING CONCRETE SLAB

BP 1 - EXISTING SITE PLAN GENERAL NOTES

1. REFER TO AD101 FOR SITE DEMOLITION PLAN
2. REFER TO AD112 FOR DEMOLITION FLOOR PLAN
3. REFER TO CIVIL FOR SETBACKS, GRADING, AND UTILITIES

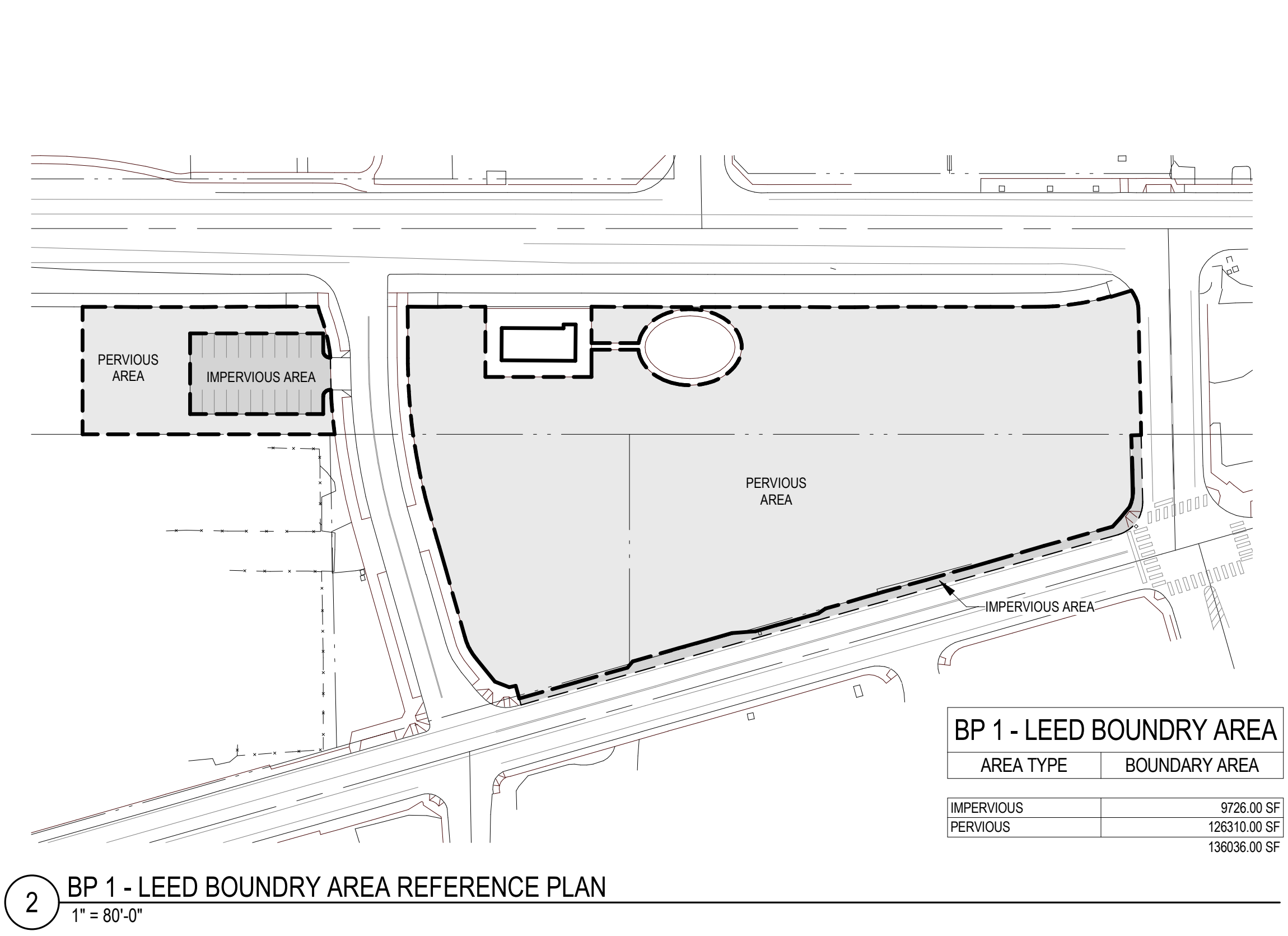


1 BP 1 - EXISTING ARCHITECTURAL SITE PLAN  
1/32" = 1'-0"

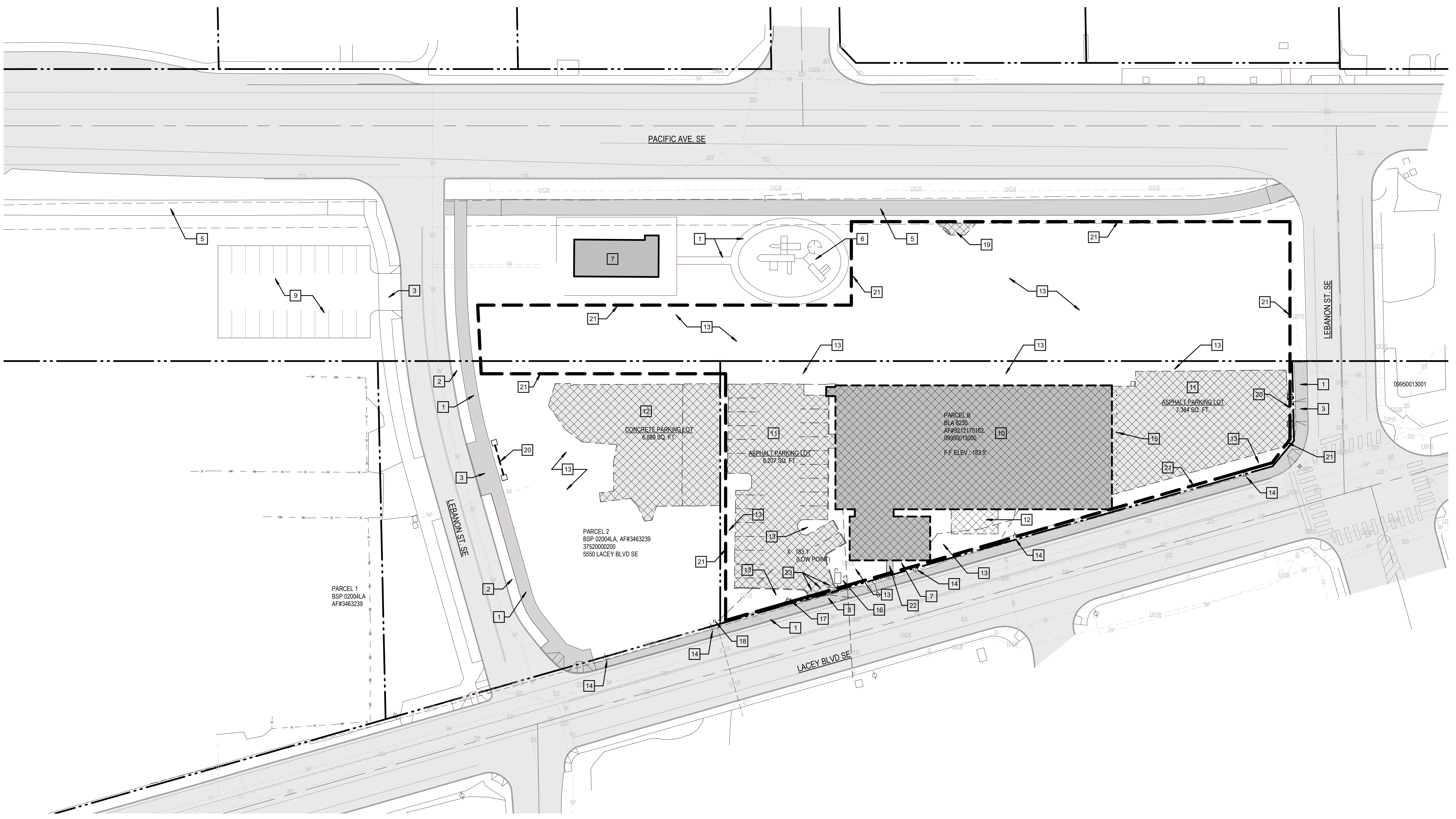




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2 BP 1 - LEED BOUNDARY AREA REFERENCE PLAN  
1" = 80'-0"



1 BP 1 - ARCHITECTURAL SITE PLAN DEMOLITION  
1/32" = 1'-0"

### BP 1 - SITE DEMOLITION PLAN KEY NOTES

- |   |  |
|---|--|
| 1 EXISTING CONCRETE SIDEWALK AND CURB TO REMAIN THIS PHASE                                      | 14 EXISTING UTILITY POLE TO BE DEMOLISHED PER ELECTRICAL DRAWINGS  |
| 2 EXISTING LANDSCAPE PARKWAY TO REMAIN THIS PHASE   | 15 EXISTING CONCRETE FILLED BOLLARDS AT EAST SIDE OF BUILDING TO BE REMOVED - APPROXIMATELY (1/2) TOTAL - FIELD VERIFY |
| 3 EXISTING CONCRETE DRIVEWAY APRON AND DEPRESSED CURB TO REMAIN THIS PHASE                      | 16 EXISTING CONCRETE UNDERGROUND VAULT AND FDC CONNECTIONS TO BE REMOVED THIS AREA                                     |
| 4 EXISTING ONE WAY SIGNAGE ON METAL POST TO REMAIN THIS PHASE                                   | 17 EXISTING FIRE HYDRANT TO REMAIN THIS PHASE  |
| 5 EXISTING LACEY WOODLAND TRAIL TO REMAIN THIS PHASE  | 18 EXISTING TELECOMMUNICATION POST TO BE REMOVED   |
| 6 EXISTING PLAYGROUND AND PLAYGROUND SET TO REMAIN THIS PHASE                                   | 19 EXISTING CONCRETE SLAB TO BE REMOVED - PREPARE AREA FOR REGRADING - REFER TO CIVIL DRAWINGS                         |
| 7 EXISTING TRAIN DEPOT STATION BUILDING TO REMAIN THIS PHASE                                    | 20 CONTRACTOR PROVIDED SITE ACCESS SWING GATE W/ LOCK - REFER TO CIVIL DRAWINGS FOR DETAILS AND ELEVATIONS             |
| 8 EXISTING CONCRETE PEDESTRIAN RAMP AND DEPRESSED CURB TO REMAIN THIS PHASE                     | 21 CONTRACTOR PROVIDED TEMPORARY CONSTRUCTION SITE FENCING W/ OBSCURE NETTING THIS PHASE                               |
| 9 EXISTING ASPHALT PARKING LOT TO REMAIN THIS PHASE   | 22 EXISTING CONCRETE WALKWAY TO BE REMOVED   |
| 10 EXISTING 16,153 SQ. FT., SINGLE STORY BUILDING TO BE REMOVED                                 | 23 INSTALL NEW CONCRETE BARRIERS - REFER TO CIVIL DRAWINGS   |
| 11 EXISTING ASPHALT PARKING LOT AND CONCRETE CURBS TO BE REMOVED                                |  |
| 12 EXISTING CONCRETE SLAB TO BE REMOVED   |  |
| 13 EXISTING LANDSCAPING, IRRIGATION AND TREES THIS AREA TO BE REMOVED - REFER TO CIVIL DRAWINGS |  |

### SITE DEMOLITION PLAN GENERAL NOTES

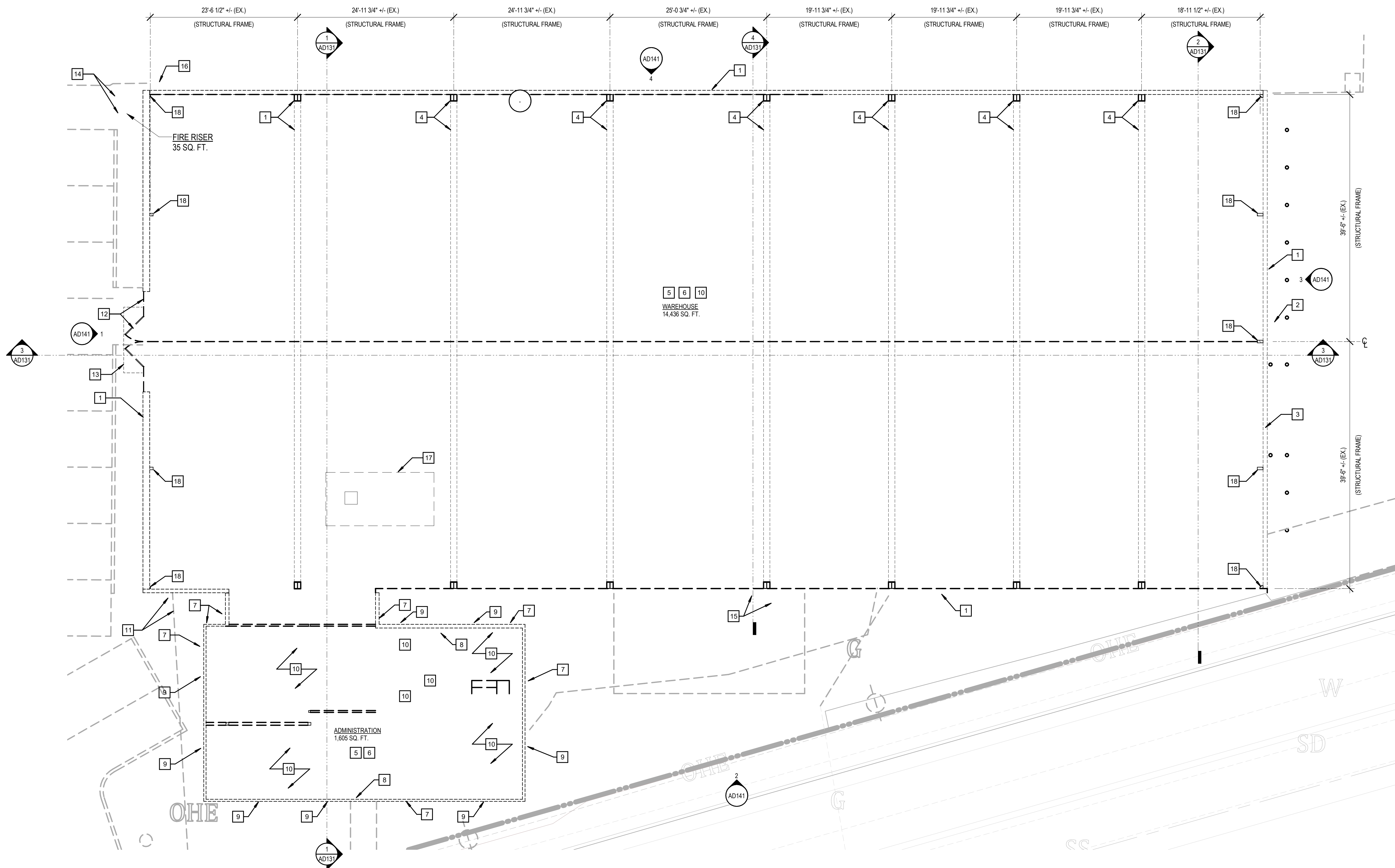
- DEMOLISH ALL ITEMS AS NOTED. CONTRACTORS SHALL EXERCISE THEIR DISCRETION REGARDING THE EXTENT OF DEMOLITION SUBSEQUENT TO FIELD INSPECTION OF EXISTING CONDITIONS AND A THOROUGH ASSESSMENT OF NEW WORK TO BE PERFORMED.
- ALL DEMOLITION ITEMS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- MAINTAIN EXISTING EMERGENCY EGRESS EXITS AND ACCESS WAYS THROUGHOUT CONSTRUCTION.
- REFER TO CIVIL DRAWINGS FOR EXTENT OF DEMOLITION AND SCOPE OF WORK.
- REFER TO ELECTRICAL DRAWINGS FOR EXTENT OF DEMOLITION AND SCOPE OF WORK.
- RECYCLING REQUIREMENTS:
  - CONTRACTOR TO FOLLOW LEED REQUIREMENTS AND GUIDELINES FOR RECYCLING OR SALVAGE OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION MATERIALS PER LEED V4

### BP 1 - DEMOLITION SITE PLAN LEGEND

TO BE DEMOLISHED



PLOT DATE: 12/14/2021 4:39:23 PM



1 BP 1 - LEVEL 1 DEMOLITION FLOOR PLAN  
1/8" = 1'-0"

#### BP 1 - DEMOLITION FLOOR PLAN KEY NOTES

- EXISTING EXTERIOR WALL W/ METAL EXTERIOR PANELS OVER METAL 2" FRAMING W/ BATT INSULATION AT WAREHOUSE AREA TO BE REMOVED AND BE FIELD VERIFIED
- EXISTING METAL DOOR AND DOOR FRAME TO BE REMOVED
- EXISTING CORRUGATED METAL ROLL-UP DOOR W/ OVERHEAD UNIT TO BE REMOVED
- EXISTING METAL CLEAR SPAN GABLE SYMMETRICAL FRAME TO BE REMOVED
- ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM SYSTEM, FIRE SPRINKLER SYSTEM, SECURITY SYSTEM AND LOW VOLTAGE SYSTEMS TO BE COMPLETELY REMOVED INCLUDING ALL HVAC UNITS, HEATING UNITS, ELECTRICAL PANELS, SUB-PANELS, PIPES, DRAINS CONDUITS AND WIREWAYS
- ALL EXISTING CONCRETE SLAB ON GRADE AND FOUNDATION SYSTEM INCLUDING BELOW SLAB VAPOR BARRIERS, PERIMETER INSULATIONS, PLUMBING LINES, SEWER AND DRAIN LINES AND CONDUITS TO BE REMOVED
- EXISTING EXTERIOR WALL W/ WOOD T1-11 EXTERIOR SIDING OVER WRB OVER 2X WOOD STUDS W/ BATT INSULATION OVER 8" CWB AT ADMINISTRATION AREA TO BE REMOVED - EXISTING EXTERIOR WALL CONSTRUCTION TO BE FIELD VERIFIED
- EXISTING EXTERIOR WOOD DOOR AND DOOR FRAME TO BE REMOVED
- EXISTING ALUMINUM FRAMED EXTERIOR WINDOW TO BE REMOVED
- ALL EXISTING INTERIOR AND STRUCTURAL BUILDING ELEMENTS TO BE REMOVED THIS ROOM
- EXISTING OVER HEAD POWER LINE, EXTERIOR POWER PANEL AND PIPE TO BE REMOVED
- EXISTING STOREFRONT WINDOW SYSTEM AND FRONT ENTRY DOOR TO BE REMOVED
- EXISTING WALL MOUNTED EXTERIOR AWNING TO BE REMOVED
- EXISTING WOOD FRAMED LEAN-TO W/ SHED ROOF SPRINKLER RISER PIPES AND FIRE ALARM SYSTEM TO BE REMOVED
- EXISTING GAS METER AND GAS LINES TO BE REMOVED
- EXISTING TELECOMMUNICATION PANEL AND UNDERGROUND PIPING TO BE REMOVED - REFER TO CIVIL DRAWINGS
- EXISTING BELOW GROUND TANK TO BE REMOVED
- EXISTING END WALL METAL FRAMING MEMEBERS TO BE REMOVED

#### BP 1 - DEMOLITION PLAN GENERAL NOTES

- DEMOLISH ALL STRUCTURAL AND NON-STRUCTURAL ITEMS WITHIN THE EXTENT OF DEMOLITION EXCEPT AS NOTED. CONTRACTORS SHALL EXERCISE THEIR DISCRETION REGARDING THE EXTENT OF DEMOLITION SUBSEQUENT TO FIELD INSPECTION OF EXISTING CONDITIONS AND A THOROUGH ASSESSMENT OF NEW WORK TO BE PERFORMED.
- REFER TO CIVIL DRAWINGS FOR SITE DEMOLITION
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE AND SCHEDULE THE SHUT DOWN OF ALL BUILDING UTILITIES AND SYSTEM WITH THE OWNER
- ALL DEMOLITION ITEMS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR UNLESS NOTED OTHERWISE
- MAINTAIN EXISTING EMERGENCY EGRESS EXITS AND ACCESS WAYS THROUGHOUT DEMOLITION
- ASBESTOS, MOLD, OR OTHER HAZARDOUS MATERIALS SURVEYS TO BE PROVIDED BY OWNER
- CONTRACTOR IS RESPONSIBLE FOR ASBESTOS ABATEMENT PER SPEC AS REQUIRED IN AREAS OF DEMOLITION WORK. REFER ALSO TO MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS FOR SCOPE OF WORK
- THE EXISTING METAL BUILDING WAREHOUSE WITH ATTACHED WOOD CONSTRUCTION OFFICE BUILDING TO BE REMOVED ENTIRELY INCLUDING BUT NOT LIMITED TO EXISTING SLAB ON GRADE, UNDER GROUND U SYSTEMS, STRUCTURAL FRAMING, EXTERIOR AND INTERIOR WALLS, ALL UTILITY SYSTEMS, ALL LIFE SAFETY SYSTEMS, ALL SECURITY SYSTEMS
- RECYCLING REQUIREMENTS:
  - CONTRACTOR TO FOLLOW LEED REQUIREMENTS AND GUIDELINES FOR RECYCLING OR SALVAGE OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION MATERIALS PER LEED V4



DEMOLISH ALL STRUCTURAL AND NON-STRUCTURAL ITEMS WITHIN THE EXTENT OF DEMOLITION EXCEPT AS NOTED. CONTRACTORS SHALL EXERCISE THEIR DISCRETION REGARDING THE EXTENT OF DEMOLITION REQUIRED TO FULFILL THE ABOVE CONDITIONS AND A THOROUGH ASSESSMENT OF THE WORK TO BE PERFORMED.

2. REFER TO CIVIL DRAWINGS FOR SITE DEMOLITION.

3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND SCHEDULE THE SHUT DOWN OF ALL BUILDING UTILITIES AND SYSTEM WITH THE OWNER.

4. ALL DEMOLITION ITEMS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR UNLESS NOTED OTHERWISE.

5. MAINTAIN EXISTING EGRESS EXITS AND ACCESS WAYS THROUGHOUT DEMOLITION.

6. REMOVE ALL OTHER NON-DEMOLITION MATERIALS NECESSARY TO BE REMOVED BY OWNER.

7. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES IN AREAS OF DEMOLITION WORK. REFER ALSO TO MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS FOR SCOPE OF WORK.

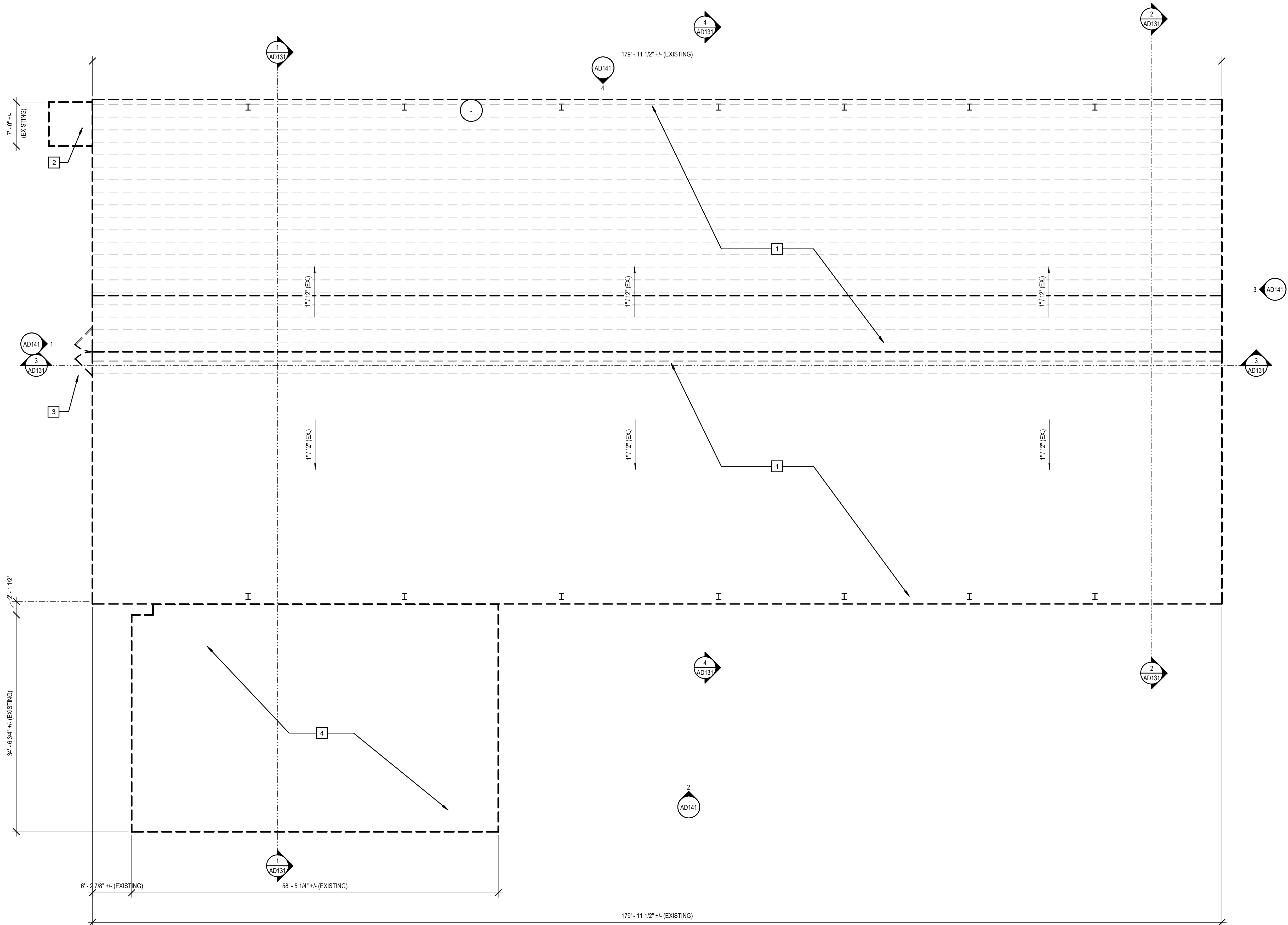
8. THE EXISTING METAL BUILDING WAREHOUSE WITH ATTACHED WOOD CONSTRUCTION OFFICE BUILDING TO BE REMOVED ENTIRELY INCLUDING BUT NOT LIMITED TO EXISTING SLAB ON GRADE, UNDERGROUND UTILITY SYSTEMS, EXISTING FOUNDATION AND INTERIOR WALLS, ALL UTILITY SYSTEMS, ALL LIFE SAFETY SYSTEMS, ALL SECURITY SYSTEMS.

9. RECYCLING REQUIREMENTS:

10. MEET OR EXCEED LEED REQUIREMENTS AND GUIDELINES FOR RECYCLING OR SALVAGE OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION MATERIALS PER LEED V4.

EXISTING BUILDING ELEMENT TO REMAIN  
EXISTING BUILDING ELEMENT TO BE REMOVED

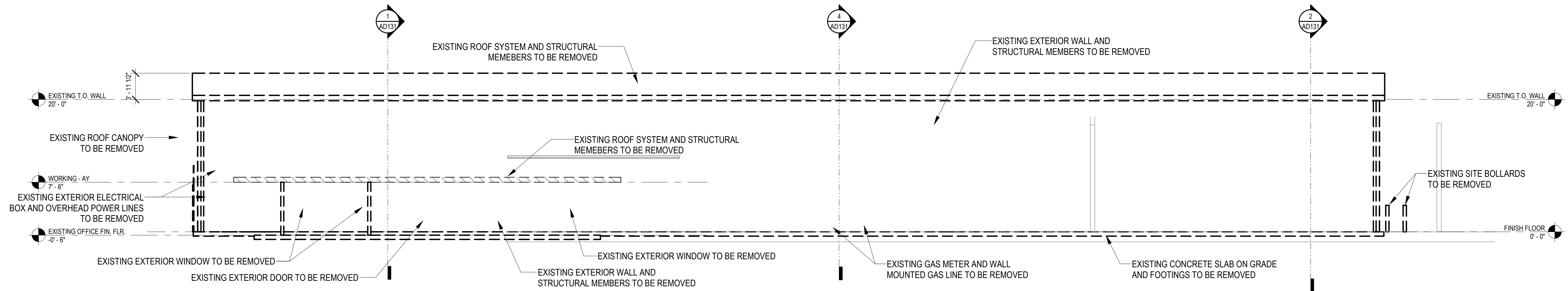
1	EXISTING ROOFING PANELS OVER METAL "Z" FRAMING W/ BATT INSULATION AT WAREHOUSE AREA TO BE REMOVED - FIELD VERIFYING EXISTING CONDITIONS
2	EXISTING ROOF AND FRAMING AT EXISTING FIRE RISER SHED TO BE REMOVED
3	EXISTING EXTERIOR CANOPY ABOVE EXISTING ENTRY DOORS TO BE REMOVED
4	EXISTING LOW SLOPE ROOF ROOF, ROOF FRAMING AND STRUCTURAL SUPPORTS TO BE REMOVED AT ADMINISTRATION AREA



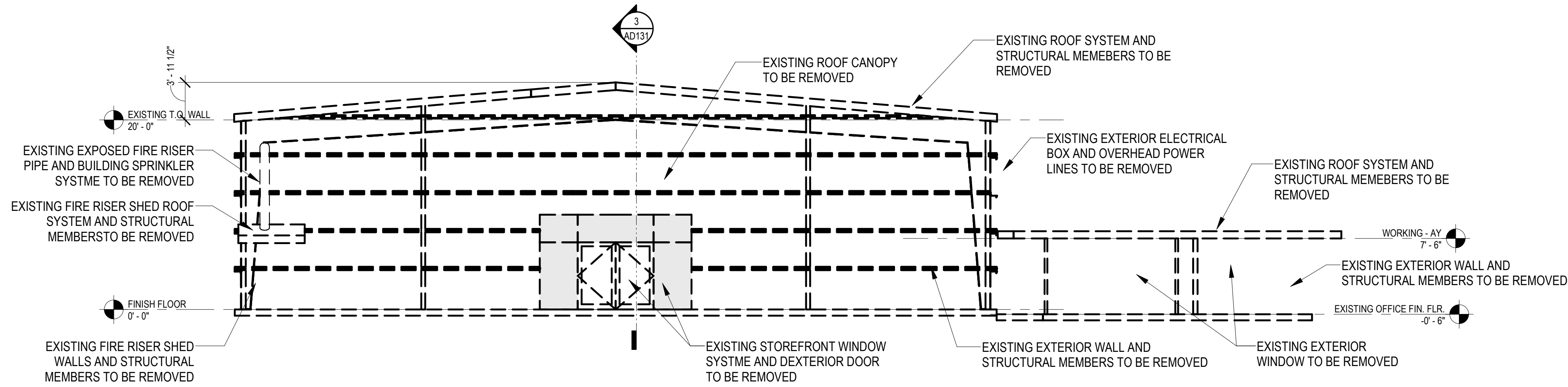




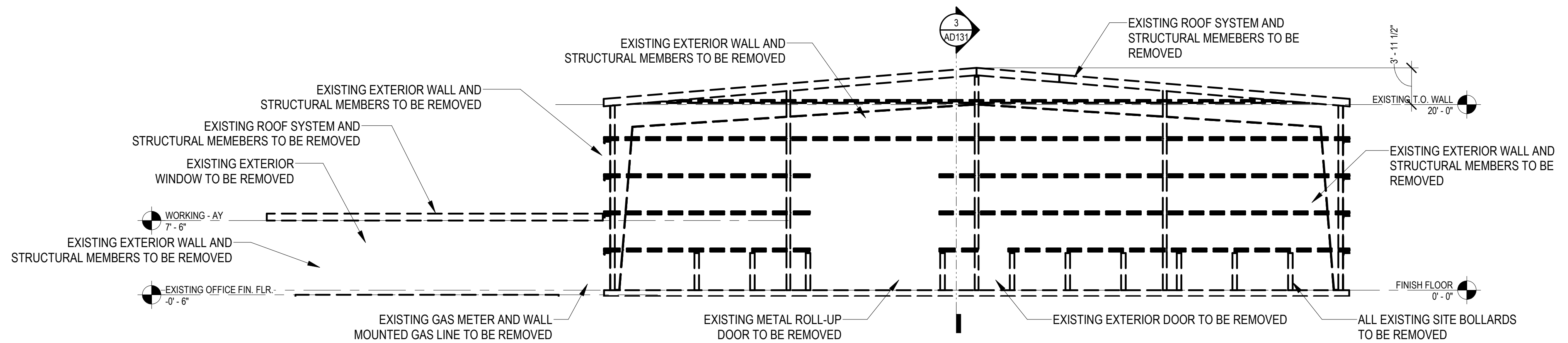




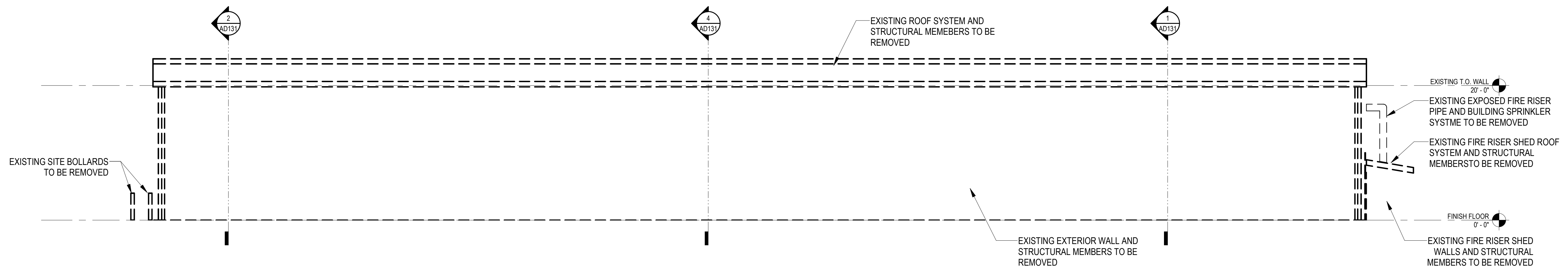
2 BP 1 - EXISTING BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"



1 BP 1 - EXISTING BUILDING ELEVATION - WEST  
1/8" = 1'-0"



3 PHASE 1 - EXISTING BUILDING ELEVATION  
1/8" = 1'-0"



4 BP 1 - EXISTING BUILDING ELEVATION - NORTH  
1/8" = 1'-0"



PLOT DATE: 9/29/2024 4:47:30 PM

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
LIGHTING	
	POLE LIGHT FIXTURE (ARROW INDICATES DIRECTION OF AIMING OPTICS)
EQUIPMENT, WIRING AND RACEWAYS	
	CONDUIT STUB OUT (PROVIDE CONCRETE MARKER ON EXTERIOR)
	DEDICATED CONDUIT HOMERUN TO PANEL & CIRCUIT NUMBERS AS INDICATED ON PLANS
	RACEWAY CONCEALED IN WALL OR CEILING
	RACEWAY CONCEALED UNDERGROUND
	DISCONNECT SWITCH
	120/208 VOLT PANELBOARD (OR AT RATED VOLTAGE AS NOTED)
MISCELLANEOUS	
	KEYNOTE
	ALL DEVICES WITH HEAVY LINE WEIGHT INDICATES NEW WORK
	ALL DEVICES WITH LIGHT LINE WEIGHT INDICATES EXISTING TO BE RETAINED
	ALL DEVICES WITH DASH LINE INDICATES EXISTING TO BE REMOVED

GENERAL NOTES (APPLY TO ALL DRAWINGS)

- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SITE AND CONDITIONS, AND SHALL NOT RELY SOLELY ON REVIEW OF THE BIDDING DOCUMENTS IN DETERMINING THE EXTENT OF WORK REQUIRED. COORDINATION OF THESE DRAWINGS WITH REQUIREMENTS FOR CONTRACT WORK IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND UTILITY FEES.
- SEE EACH SHEET FOR ADDITIONAL GENERAL NOTES THAT ARE SPECIFIC TO AN AREA OR SHEET.
- ALL SPARE CONDUITS (FOR FUTURE USE) SHALL CONTAIN A NYLON PULL STRING AND BE LABELED "SPARE/FUTURE CONDUIT" AT EACH END OF THE CONDUIT WITH 1/2" TALL LETTERS, USING A PERMANENT MARKER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE ALL COSTS ASSOCIATED WITH NECESSARY DEMOLITION TO ALLOW THE NEW CONSTRUCTION SHOWN IN CONTRACT DOCUMENTS.
- THESE DOCUMENTS DELINEATE THE BASIC SCOPE OF WORK FOR THE REMOVAL OF EXISTING MATERIAL. THE DEMOLITION DRAWINGS AND NOTES ARE PROVIDED WITH THE INTENT TO GENERALLY DESCRIBE AREAS AND LIMITS OF WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SITE AND CONDITIONS, AND SHALL NOT RELY SOLELY ON REVIEW OF THE BIDDING DOCUMENTS IN DETERMINING THE EXTENT OF DEMOLITION WORK REQUIRED. COORDINATION OF THESE DRAWINGS WITH REQUIREMENTS FOR CONTRACT WORK IS THE RESPONSIBILITY OF THE CONTRACTOR.
- REMOVE ALL CABLES, CONDUCTORS, SURFACE RACEWAYS AND APPURTENANCES WHICH SERVE EXISTING EQUIPMENT TO BE DEMOLISHED.
- CONTRACTOR TO REMOVE AND DELIVER TO OWNER ALL DEVICES THAT ARE IDENTIFIED BY THE OWNER TO BE RETAINED. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO ASSURE THAT ALL ITEMS TO BE RETAINED ARE IDENTIFIED PRIOR TO THE START OF DEMOLITION. ALL ITEMS NOT SO IDENTIFIED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ALL DEMOLITION WORK.

**KMB**  
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Olympia, Washington 98501  
360.352.8883



KMB Project No.D1952

LACEY MUSEUM & CULTURAL CENTER  
CITY OF LACEY  
5700 LACEY BLVD SE, LACEY, WASHINGTON 98503  
BID PACKAGE NO. 1

ORIGINAL SHEET SIZE = 30 x 42  
HALF SIZE REDUCTIONS = 15 x 21

REVISIONS:

DATE:  
12/16/2021  
BID SET

SHEET NO.

**E-001**  
ELECTRICAL LEGEND

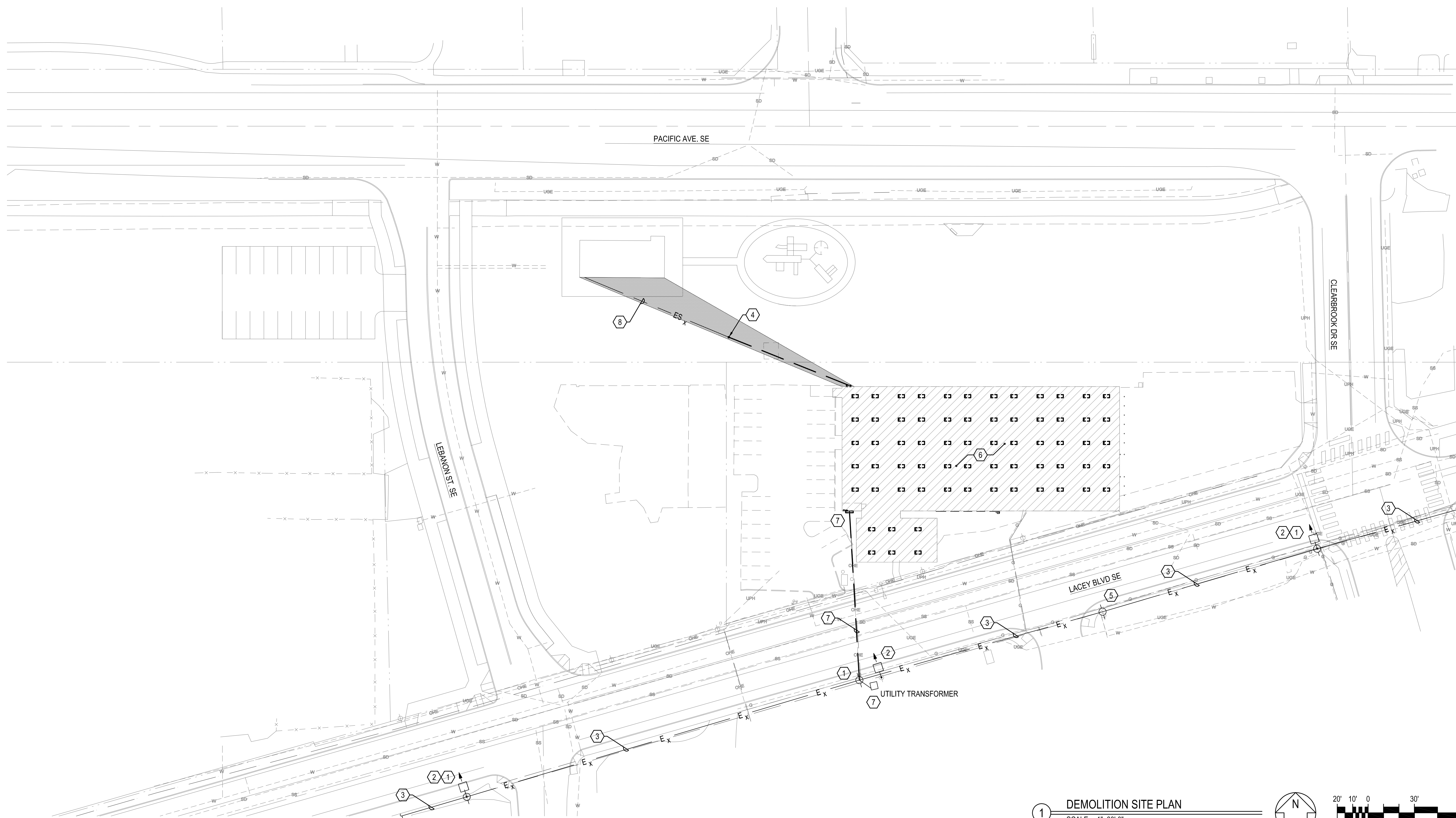


### GENERAL NOTES

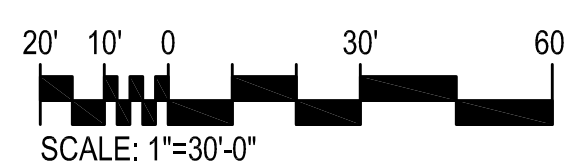
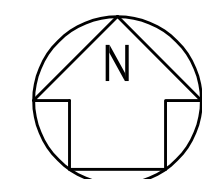
1. ALL LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO STARTING WORK.
2. COORDINATE ALL SITE UTILITY WORK WITH PSE.
3. COORDINATE ALL STREET LIGHTING WORK WITH THE CITY OF LACEY.

### DEMOLITION NOTES

1. EXISTING POWER POLE TO REMAIN.
2. EXISTING STREET LIGHT TO REMAIN.
3. EXISTING OVERHEAD PSE PRIMARY TO REMAIN.
4. INTERCEPT EXISTING SERVICE CONDUIT TO DEPOT BUILDING. DEMOLISH CONDUIT AND WIRE BETWEEN WAREHOUSE AND NEW TEMPORARY POLE LOCATION. SEE E-101 FOR ADDITIONAL INFORMATION REGARDING TEMPORARY POWER FEED.
5. EXISTING TELECOMMUNICATIONS POLE TO REMAIN.
6. EXISTING WAREHOUSE TO BE DEMOLISHED IN ITS ENTIRETY.
7. DISCONNECT AND SAFE-OFF EXISTING SERVICE AT THE WAREHOUSE BUILDING. RETAIN EXISTING OVERHEAD CONDUCTORS FOR TEMPORARY SERVICE TO DEPOT BUILDING. EXISTING UTILITY TRANSFORMER ON SOUTH SIDE OF LACEY BOULEVARD TO REMAIN.
8. APPROXIMATE LOCATION OF EXISTING SERVICE TO DEPOT BUILDING. EXACT LOCATION AND ROUTING TO BE VERIFIED IN THE FIELD PRIOR TO STARTING ANY EXCAVATION.



1 DEMOLITION SITE PLAN  
SCALE: 1"=30'-0"



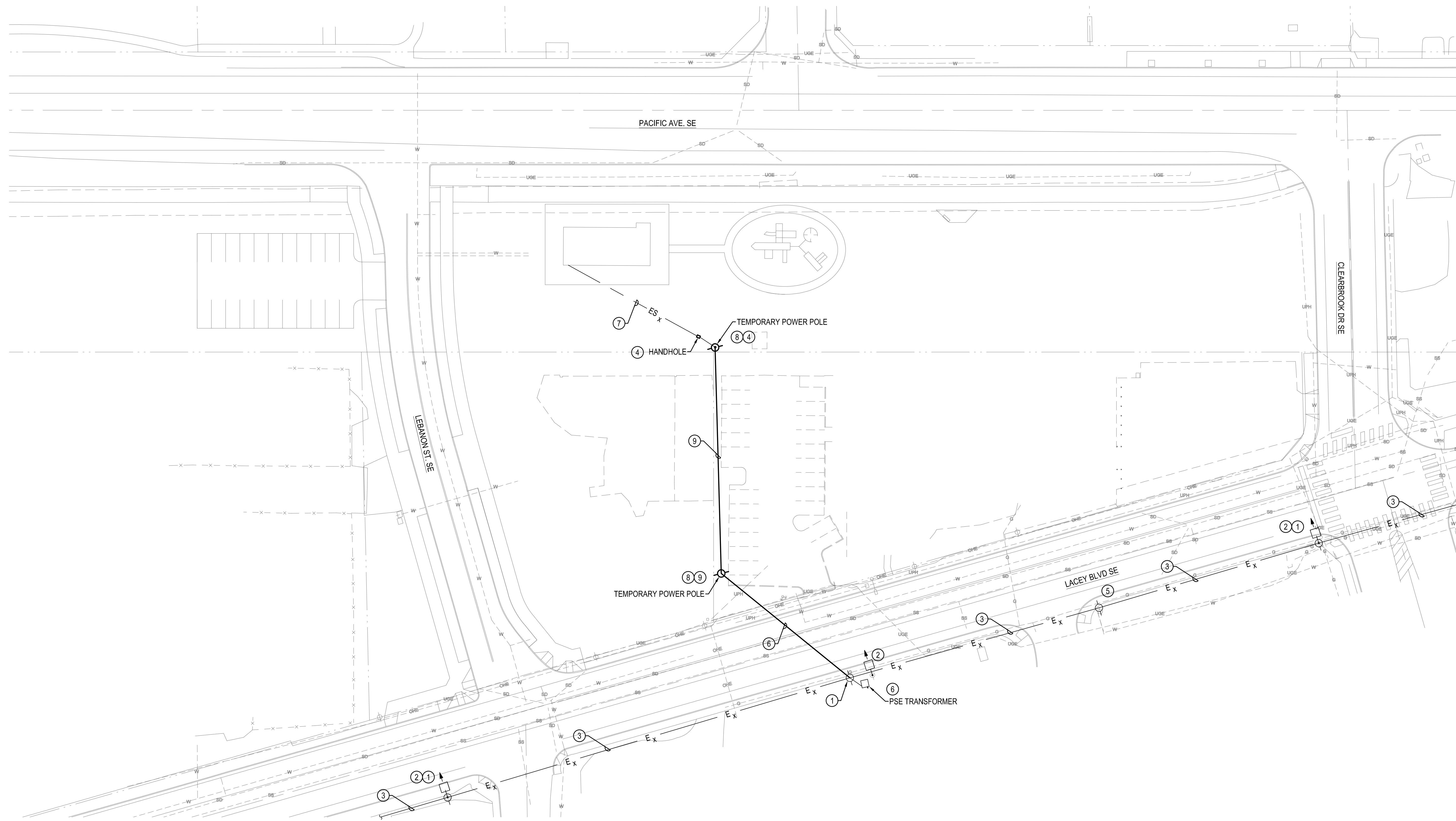


### GENERAL NOTES

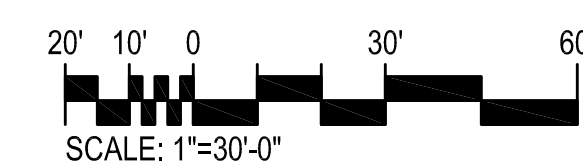
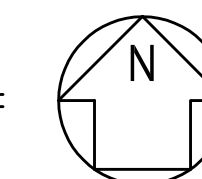
1. ALL LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO STARTING WORK.
2. COORDINATE ALL SITE UTILITY WORK WITH PSE AND OTHER TRADES.

### CONSTRUCTION NOTES

1. EXISTING POWER POLE TO REMAIN.
2. EXISTING STREET LIGHT TO REMAIN.
3. EXISTING OVERHEAD PSE PRIMARY CONDUCTORS TO REMAIN.
4. PROVIDE TRANSITION DOWN POLE WITH NEW 2" PVC RISER CONDUIT. INTERCEPT EXISTING CONDUIT AT NEW HANDHOLE. FOGTITE J11, TYPE 2, OR EQUAL, FOR TEMPORARY CONNECTION TO DEPOT BUILDING.
5. EXISTING TELECOMMUNICATIONS POLE TO REMAIN.
6. EXISTING PSE SERVICE TRANSFORMER TO REMAIN. COORDINATE WITH PSE TO SWING EXISTING OVERHEAD SECONDARY CONDUCTORS OVER TO NEW TEMPORARY POLE - SPAN SHALL BE NO MORE THAN 100FT.
7. PROVIDE CONDUIT STUB WITH THREADED CAP AND REBAR MARKER BURIED 6" BELOW GRADE FOR FUTURE STREET LIGHTING CONNECTION. PROVIDE WITH NYLON PULL STRING.
8. PROVIDE NEW 35' CLASS 6 (OR BETTER) TEMPORARY WOODEN POWER POLE.
9. PROVIDE NEW METER BASE AND EXTEND AERIAL TRIPLEX ON STEEL MESSENGER CABLE FOR TEMPORARY FEED TO DEPOT BUILDING.



1 ELECTRICAL SITE PLAN  
SCALE: 1"=30'-0"



## LACEY MUSEUM & CULTURAL CENTER

### CITY OF LACEY

5700 LACEY BLVD SE, LACEY, WASHINGTON 98503  
BID PACKAGE NO. 1

ORIGINAL SHEET SIZE = 30 x 42  
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REVISIONS:

DATE:  
12/16/2021  
BID SET

SHEET NO.  
**E-101**  
ELECTRICAL SITE PLAN