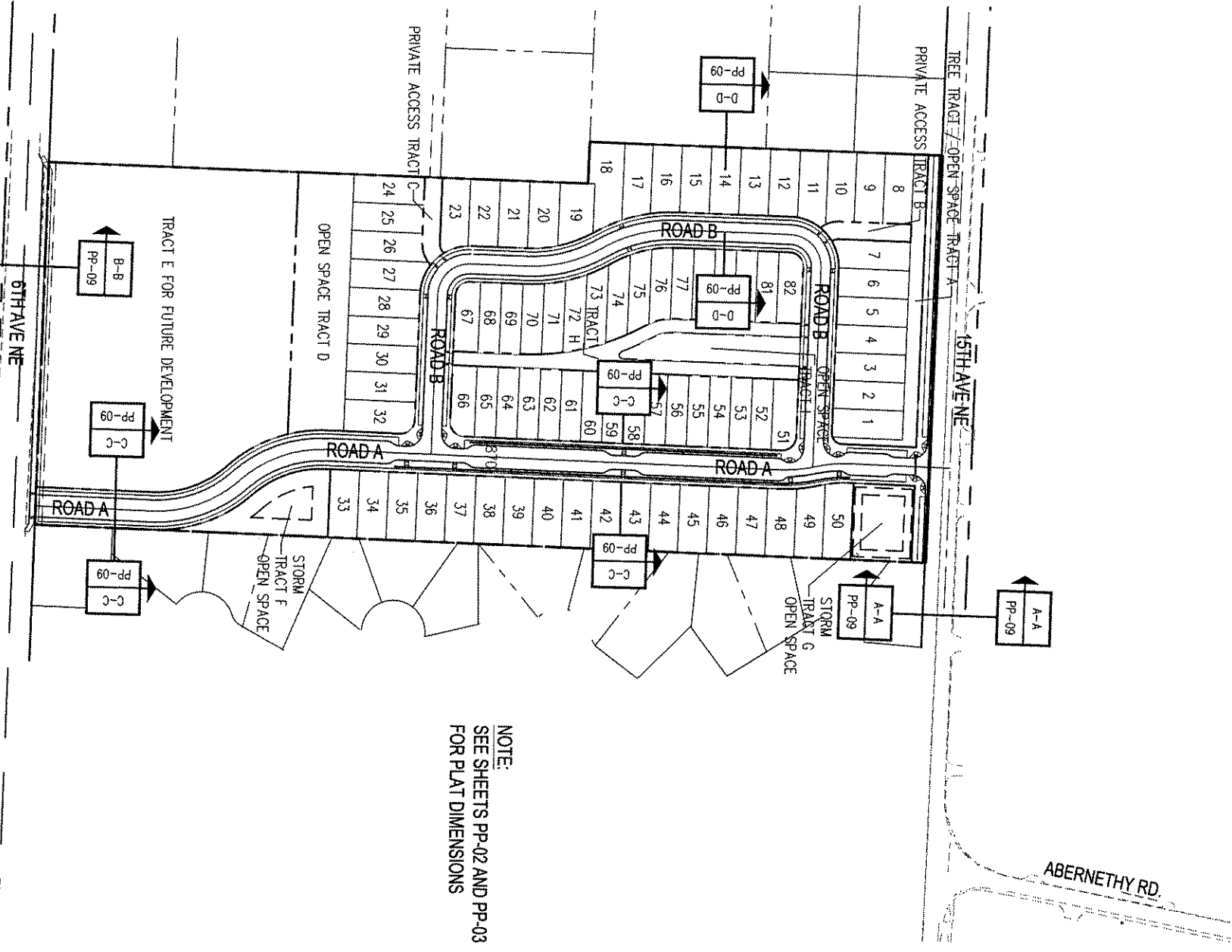


SEC. 30, T17N., R1W., W.M.



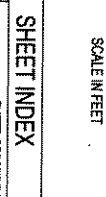
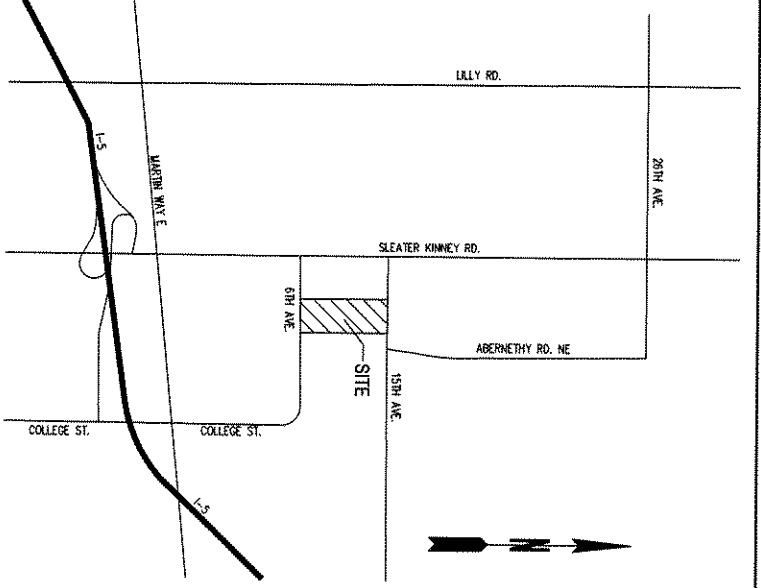
NOTE:
 SEE SHEETS PP-02 AND PP-03
 FOR PLAT DIMENSIONS

PROJECT INFORMATION:

OWNER/APPLICANT:	EVANGL CHARPL 4205 LACEY BLVD SE LACEY, WA 98503
TIN#:	11806450201
SITE ADDRESS:	TBD
PARCEL SIZE:	682,290 SF (15.66 ACRES)
STORMWATER TRACT:	21,292 SF (0.49 ACRES)
GRADING (FOR APPLICATION PURPOSES ONLY):	+/-15,900 CY CUT +/-17,050 CY FILL
IMPERVIOUS SURFACES AREA COVERAGE:	+/-1.91 ACRES AC ROADWAY +/-1.40 ACRES CONC. SIDEWALK/DRENNWAY +/-1.91 ACRES / 2,428 LF ALDERWOOD GRANVELLY SANDY LOAM CITY OF LACEY
ROADWAY AREA/LENGTH:	PIQUET SOUND ENERGY
SANITARY SEWER/WATER:	CENTURY LINK
POWER/GAS:	COMCAST
TELEPHONE/FIBER:	LACEY
CABLE/TV:	NORTH THURSTON
FIRE DISTRICT:	ZONE X (PARCEL #509701087E)
SCHOOL DISTRICT:	SEE THE GENERATION SUMMARY TABLE 1 PER BRAFC SCOPING MEMO
FEMA FIRM DESCRIPTION:	NO WELLS LOCATED ON THE SITE MADE USE MODERATE DENSITY PRELIMINARY PLAT
VEHICULAR TRIPS:	8-16 UNITS PER ACRE
EXISTING WELLS:	165 DU
ZONING DESIGNATION:	82 DU
SEPARATION APPLICATION:	5.24 DU/ACRE
MAXIMUM ALLOWABLE (GROSS) DENSITY:	3,000 SF (0.068 ACRES)
MAXIMUM DWELLING UNITS ALLOWED:	3,888 SF (0.085 ACRES)
PROPOSED NO. DWELLING UNITS:	3,000 SF (0.068 ACRES)
PROPOSED RESIDENTIAL DENSITY:	30 FT.
MINIMUM LOT SIZE:	30 FT.
PROPOSED MINIMUM (INDIVIDUAL) LOT SIZE:	20 FT.
MINIMUM LOT WIDTH:	15 FT.
PROPOSED MINIMUM (INDIVIDUAL) LOT WIDTH:	10 FT.
FRONT YARD SETBACK, FROM STREET:	5 FT.
REAR YARD SETBACK, FROM STREET:	20 FT.
SIDE YARD SETBACK, FROM STREET:	20 FT.
SETBACK FROM ADJACENT PROPERTY:	40 FT.
GARAGE SETBACK, FROM BACK OF SIDEWALK:	75%
MAXIMUM BUILDING HEIGHT:	
MAXIMUM LOT COVERAGE:	

OPEN SPACE CALCULATIONS:

REQUIRED MIN. USABLE OPEN SPACE (LUC 16.15.059 (D)):	106 SITE -1.57 ACRES
TOTAL OPEN SPACE PROVIDED:	1.57 ACRES
TREE TRACT REQUIRED (LUC 14.32.064 (A)):	58 SITE -0.78 ACRES
TREE TRACT PROVIDED (INCLUDED IN OPEN SPACE):	58 SITE -0.78 ACRES
TRACT A - 0.21 ACRES (TREE TRACT/OPEN SPACE)	
TRACT D - 0.66 ACRES (TREE TRACT/OPEN SPACE)	
TRACT E - 0.43 ACRES (TREE TRACT/OPEN SPACE)	
TRACT F - 0.27 ACRES (OPEN SPACE/STORM POND)	
TRACT G - 0.22 ACRES (OPEN SPACE/STORM POND)	
TRACT I - 0.21 ACRES (0.17 AC TREE TRACT/0.04 AC OPEN SPACE)	
TOTAL: 1.57 ACRES (106% OF TOTAL SITE)	



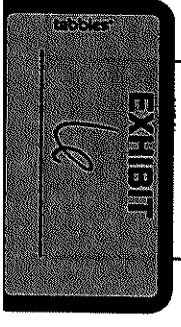
SHEET NO.	SHEET TITLE	SHEET DESCRIPTION
1	PP-01	OVERALL PRELIMINARY PLAT MAP
2	PP-02	PRELIMINARY PLAT MAP
3	PP-03	PRELIMINARY PLAT MAP
4	PP-04	PRELIMINARY GRADING PLAN
5	PP-05	PREL. DRAINAGE AND EROSION CONTROL PLAN
6	PP-06	PREL. DRAINAGE AND EROSION CONTROL PLAN
7	PP-07	PRELIMINARY PLAT WATER AND SEWER PLAN
8	PP-08	PRELIMINARY PLAT WATER AND SEWER PLAN
9	PP-09	ROADWAY SECTIONS

DATUM

HORIZONTAL - CITY OF LACEY COORDINATE SYSTEM
 VERTICAL - NGVD 29 BASED ON TIES TO THURSTON COUNTY MONUMENT 7498, SOUTH QUARTER CORNER, 7 BRASS CAP IN CONCRETE. ELEVATION= 204.52

SURVEY

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION WAS PROVIDED BY KINZCOAST, LLC. PROFESSIONAL LAND SURVEYORS. THIS SURVEY INFORMATION WAS NOT FIELD VERIFIED BY SCJ ALLIANCE.



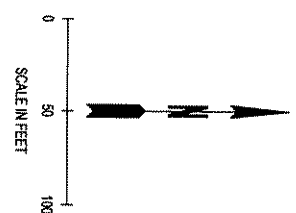
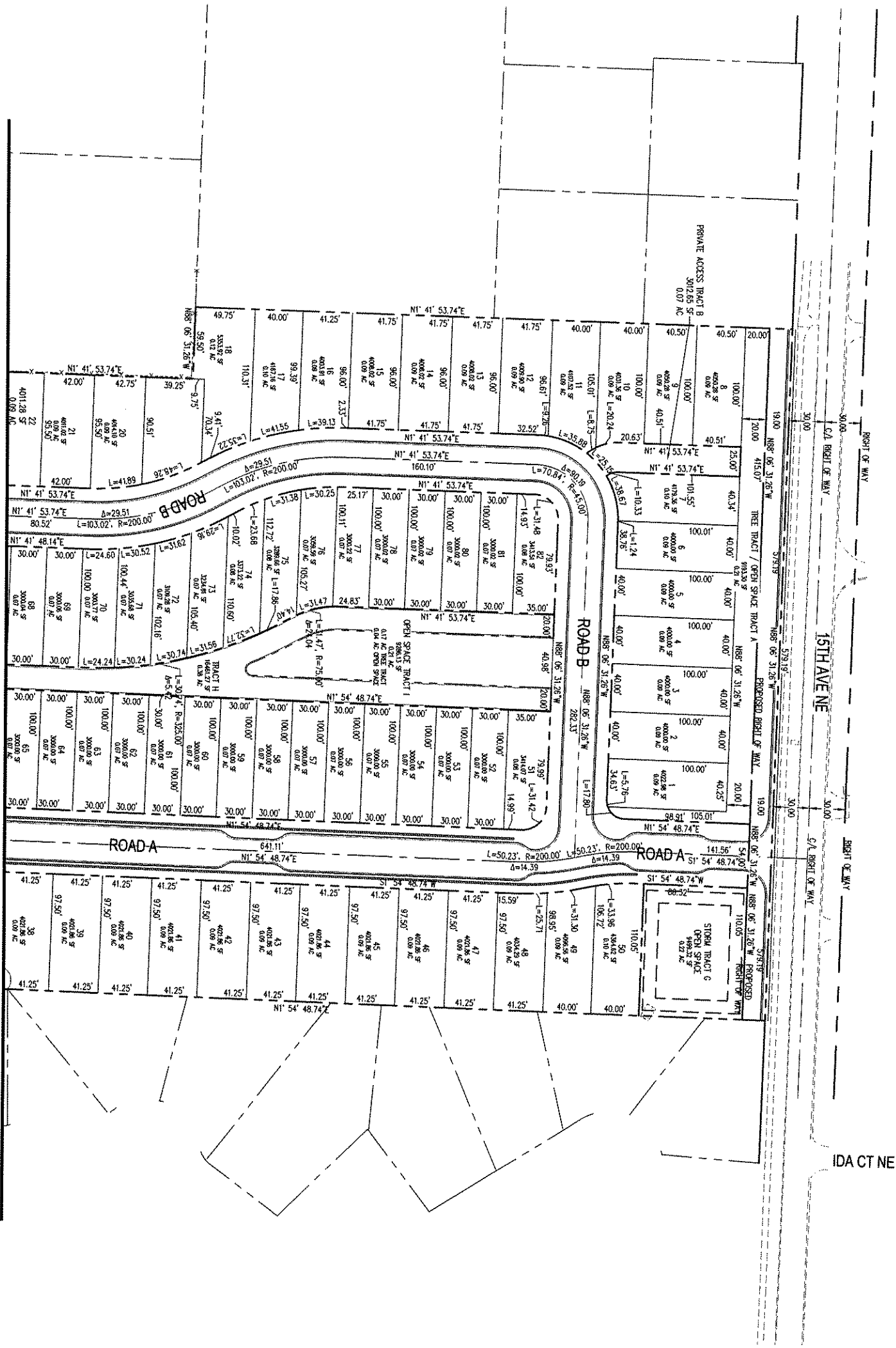
SHEET TITLE:	OVERALL PRELIMINARY PLAT MAP
PROJECT NAME:	BRADLEY PARK PRELIMINARY PLAT
	LACEY, WA

SCJ ALLIANCE
 CONSULTING SERVICES
 8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516
 P: 360.352.1465 F: 360.352.1509
 SCJALLIANCE.COM

REVISIONS	DATE	BY

DESIGNER:	R. WEESEN
DRAWN BY:	R. WEESEN
APPROVED BY:	T. BRADLEY
DATE:	MARCH 2021
DWG NO.:	

SEC. 30, T17N., R1W., W.M.



DATUM
 HORIZONTAL - CITY OF LACEY COORDINATE SYSTEM
 VERTICAL - NGVD 29 BASED ON TIES TO HUNTINGTON
 COUNTY MONUMENT 7498, SOUTH QUARTER CORNER, 2"
 BRASS CAP IN CONCRETE. ELEVATION = 204.52'

MATCH LINE - SEE SHEET PP-03

PRELIMINARY PLAT MAP

PROJECT NAME:
BRADLEY PARK PRELIMINARY PLAT
 LACEY, WA

SCJ ALLIANCE
 CONSULTING SERVICES
 8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516
 P: 360.352.1465 F: 360.352.1509
 SCJALLIANCE.COM

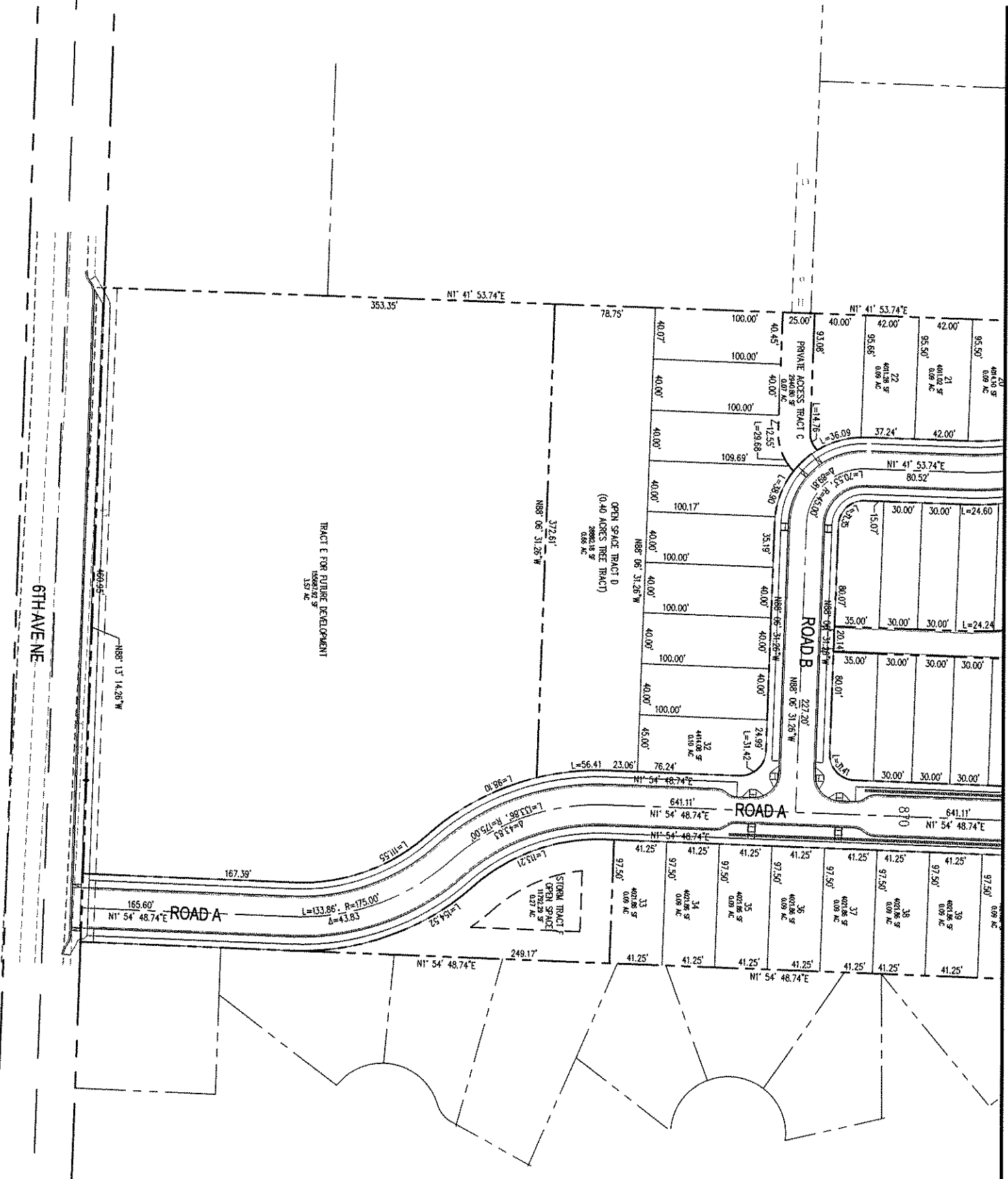
REVISIONS	DATE	BY



DESIGNER: R. WIEDEN
 DRAWN BY: R. WIEDEN
 APPROVED BY: T. BRADLEY
 DATE: MARCH 2021
 JOB NO.: 3407/01
 DRAWING FILE NO.: 3407.01 PP-02
 DRAWING NO.: PP-02
 SHEET NO.: 2 OF 9

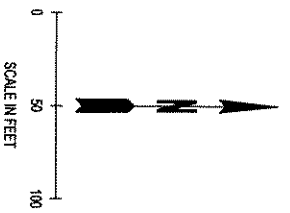
SEC. 30, T17N., R1W., W.M.

MATCH LINE - SEE SHEET PP-02



DATUM

HORIZONTAL - CITY OF LACEY COORDINATE SYSTEM
 VERTICAL - NGVD 29 BASED ON TIES TO HARSTON
 COUNTY MONUMENT 7496 SOUTH QUARTER CORNER, 2"
 BRASS CAP IN CONCRETE. ELEVATION = 204.52'



PRELIMINARY PLAT MAP

SHEET TITLE:

PROJECT NAME:

BRADLEY PARK PRELIMINARY PLAT

LACEY, WA



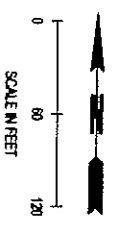
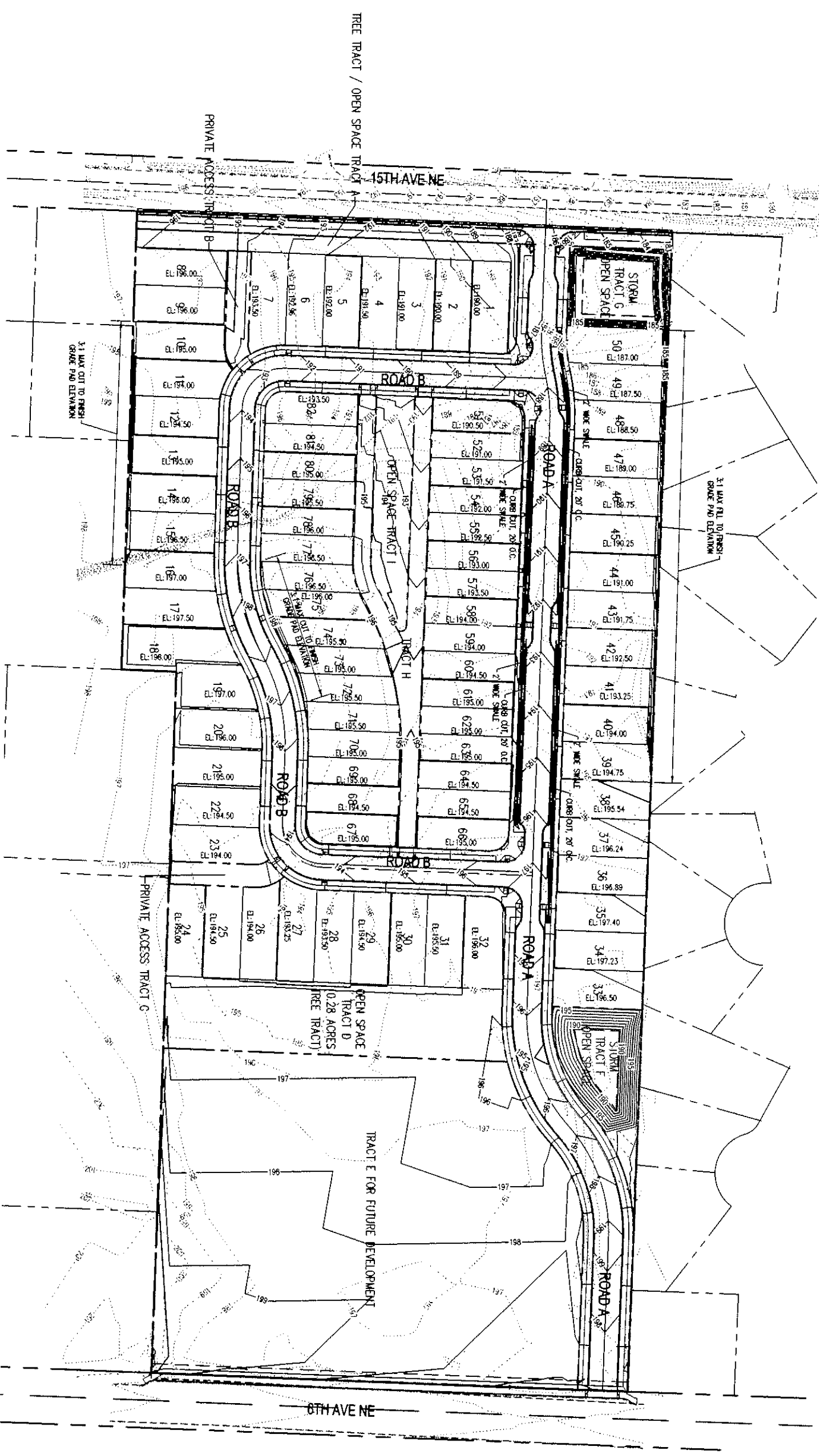
8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516
 P: 360.352.1465 F: 360.352.1509
 SCJALLIANCE.COM

REVISIONS	DATE	BY



DESIGNER:	R. WIEDERH
DRAWN BY:	R. WIEDERH
APPROVED BY:	T. BRADLEY
DATE:	MARCH 2021
DRAWING NO.:	3407.PP-03
PROJECT NO.:	PP-03
SHEET NO.:	3 OF 9

SEC. 30, T17N., R1W., W.M.



GRADING NOTES:

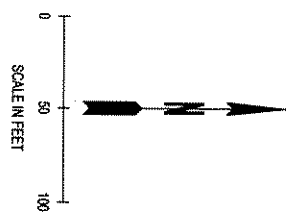
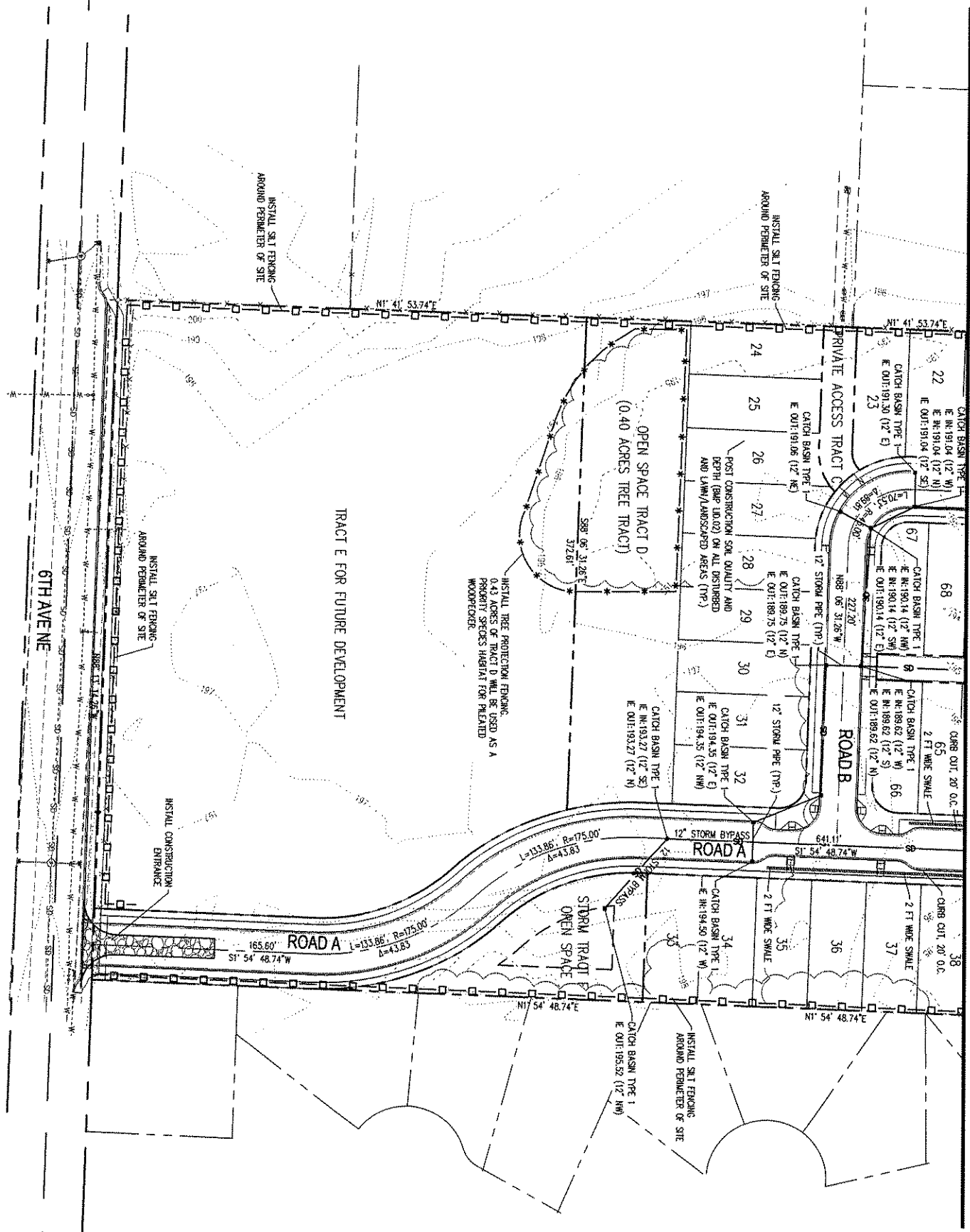
1. LOTS 72-77 WILL PROVIDE +/- 3 FT. ELEVATION DIFFERENCE BETWEEN BACK OF WALK AND FINISH PAV. ELEVATION ALONG ROAD B. STAIRS TO BE INSTALLED ON THE BACK OF SIDEWALK TO CATCH WIND PAV. FINISH GRADE. PAV. GRADE WILL BE FINISH WITH FINISH GRADE ALONG THE ALLEY.
2. ALL LOTS AROUND THE PERIMETER THAT REQUIRE A CUT OR FILL TO THE MTD. EXISTING GRADE SHALL BE GRADED AT 3:1 MAX. TO FINISH GRADE. PAV. ELEVATION SEE PLAN VIEW FOR LOCATIONS.

DATUM
 HORIZONTAL - CITY OF LACEY COORDINATE SYSTEM
 VERTICAL - MTD 29 BASED ON BESS TO HANSTON
 COUNTY WORKSHEET 7484 SOUTH QUARTER CORNER, 7
 BRASS CAP IN CONCRETE ELEVATION= 204.52

	DESIGNER: R. WIEDER	SHEET TITLE: PRELIMINARY GRADING PLAN	PROJECT NAME: BRADLEY PARK PRELIMINARY PLAT LACEY, WA	SCJ ALLIANCE CONSULTING SERVICES 8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516 P: 360.352.1465 F: 360.352.1509 SCJALLIANCE.COM	REVISIONS	DATE	BY
	DRAWN BY: R. WIEDER					SHEET NO.: 4 OF 9	DATE: MARCH 2021


SEC. 30, T17N., R1W., W.M.

MATCH LINE - SEE SHEET PP-05



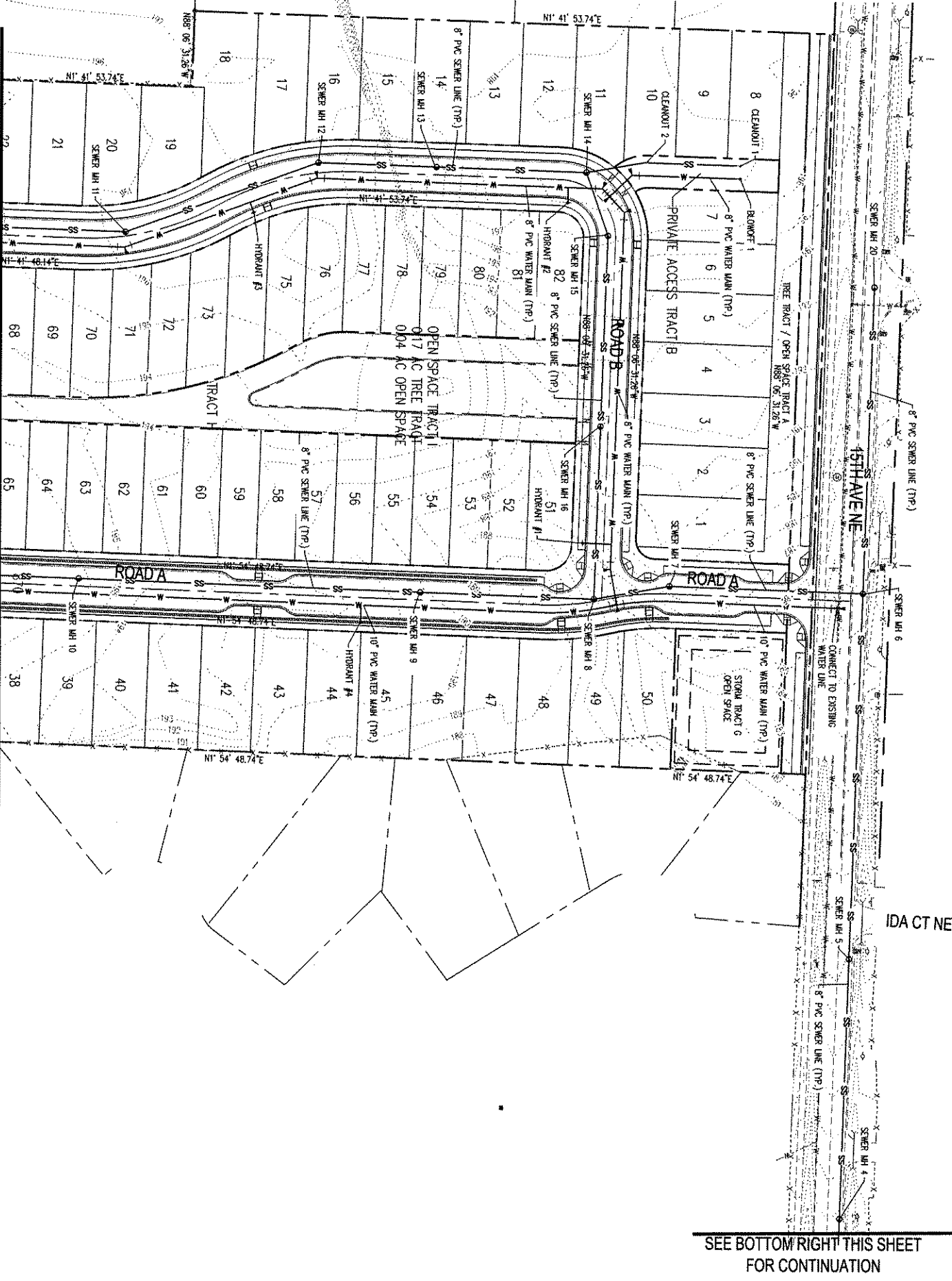
EROSION CONTROL NOTE:
 INSTALL STORM DRAIN INLET PROTECTION
 ON ALL CATCH BASINS

DATUM
 HORIZONTAL - CITY OF LACEY COORDINATE SYSTEM
 VERTICAL - NGVD 29 BASED ON TIES TO HURSTON
 COUNTY MONUMENT 7498 SOUTH QUARTER CORNER, 2'
 BRASS CAP IN CONCRETE. ELEVATION= 204.52

<p>DESIGNER: R. WEEBEN</p> <p>DRAWN BY: R. WEEBEN</p> <p>APPROVED BY: T. BRADLEY</p> <p>DATE: MARCH 2021</p> <p>JOB NO. 3407.01</p> <p>DRAWING FILE NO. 3407.01 PP-05</p> <p>DRAWING NO. PP-05</p> <p>SHEET NO. 6 of 9</p>	<p>SHEET TITLE: PRELIM. DRAINAGE AND EROSION CONTROL PLAN</p> <p>PROJECT NAME: BRADLEY PARK PRELIMINARY PLAT</p> <p>LACEY, WA</p>	 <p>SCJ ALLIANCE CONSULTING SERVICES</p> <p>8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516 P: 360.352.1465 F: 360.352.1509 SCJALLIANCE.COM</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">REVISIONS</th> <th style="width: 15%;">DATE</th> <th style="width: 10%;">BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS	DATE	BY									
REVISIONS	DATE	BY													



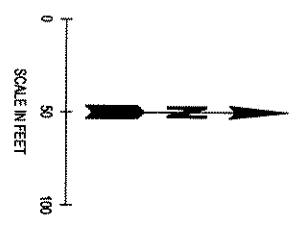
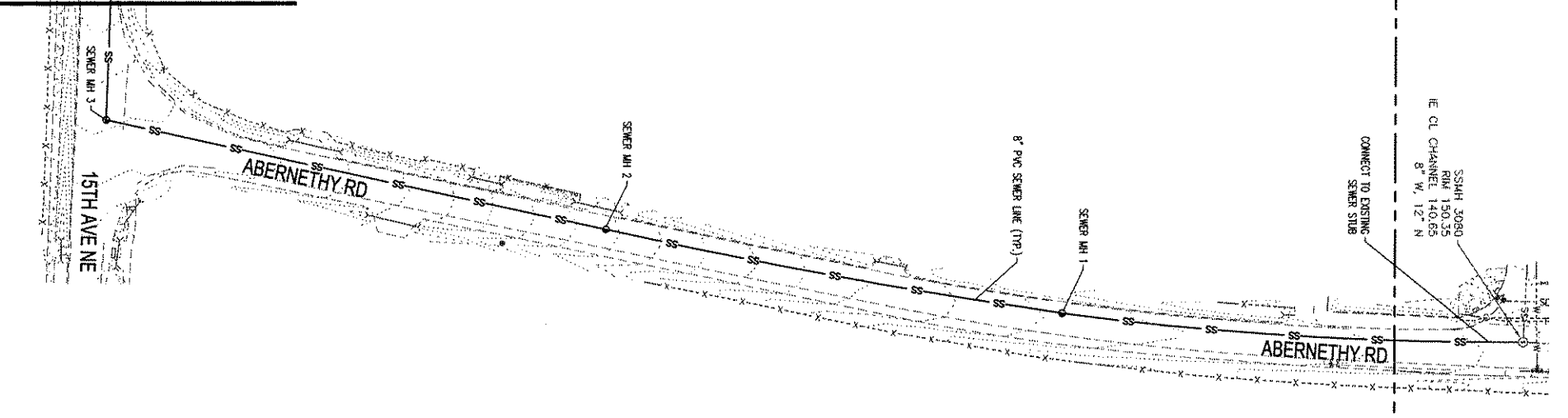
SEC. 30, T17N., R1W., W.M.



MATCH LINE - SEE SHEET PP-08

SEE BOTTOM RIGHT THIS SHEET FOR CONTINUATION

SEE BOTTOM RIGHT THIS SHEET FOR CONTINUATION

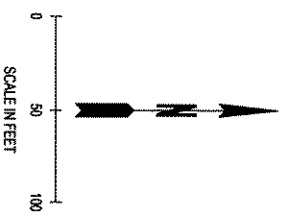
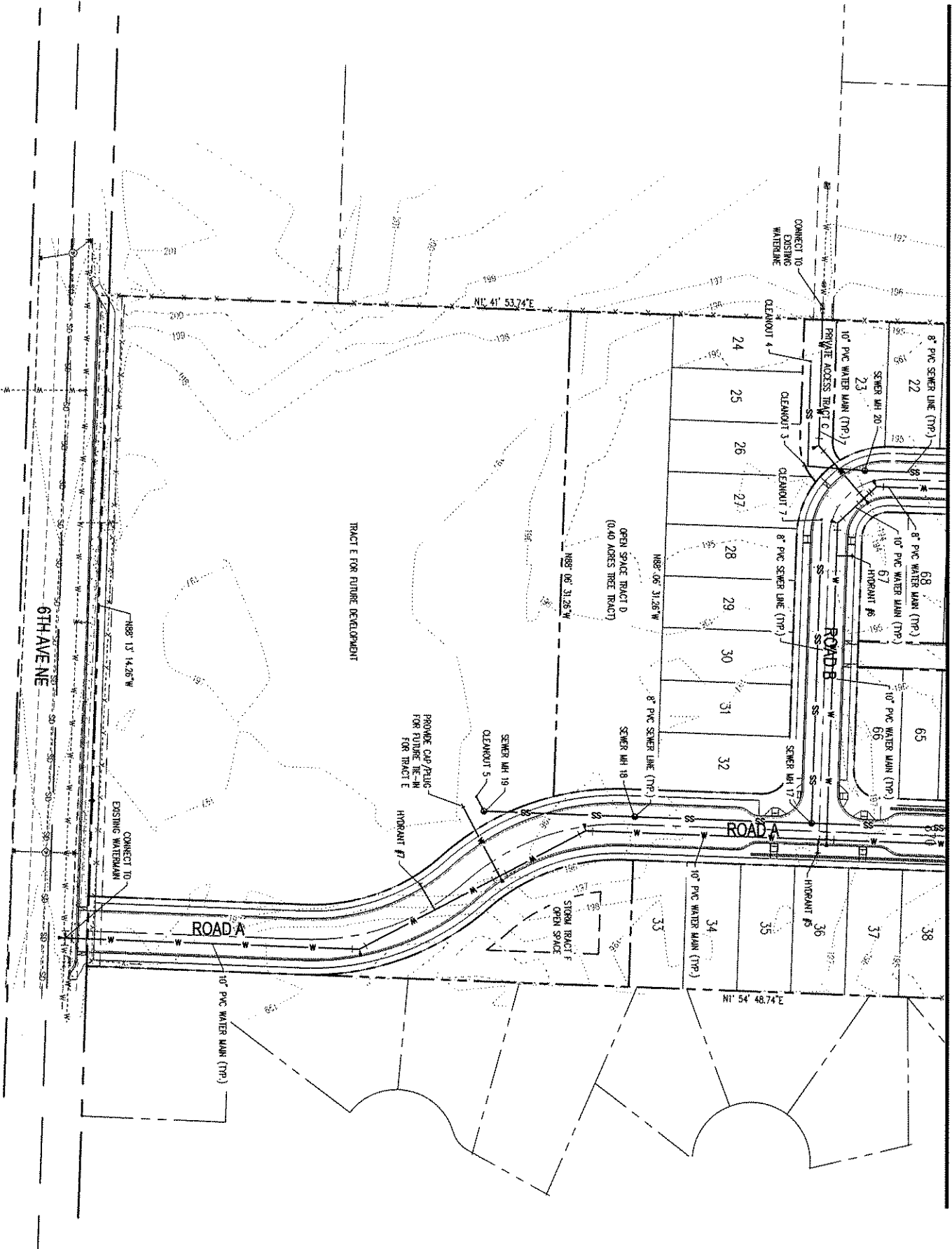


DESIGNER: R. WIEDEN DRAWN BY: R. WIEDEN APPROVED BY: T. BRADLEY DATE: MARCH 2021 JOB NO.: 3407.01 DRAWING FILE NO.: 3407.01 PP-06 DRAWING NO.: PP-07 SHEET NO.: 7 of 9	SHEET TITLE: PRELIMINARY PLAT WATER AND SEWER PLAN PROJECT NAME: BRADLEY PARK PRELIMINARY PLAT LACEY, WA	 8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516 P: 360.352.1465 F: 360.352.1509 SCJALLIANCE.COM	REVISIONS	DATE	BY

DATUM
 HORIZONTAL - CITY OF LACEY COORDINATE SYSTEM
 VERTICAL - NAD 83 BASED ON TIES TO THURSTON COUNTY MONUMENT 7498 SOUTH QUARTER CORNER, 2 BRASS CAP IN CONCRETE. ELEVATION= 204.52

SEC. 30, T17N., R1W., W.M.

MATCH LINE - SEE SHEET PP-07



DATUM
 HORIZONTAL - CITY OF LACEY COORDINATE SYSTEM
 VERTICAL - NGVD 29 BASED ON TIES TO THURSTON COUNTY MONUMENT 7498 SOUTH QUARTER CORNER, 2" BRASS CAP IN CONCRETE. ELEVATION= 204.52

REVISIONS	DATE	BY

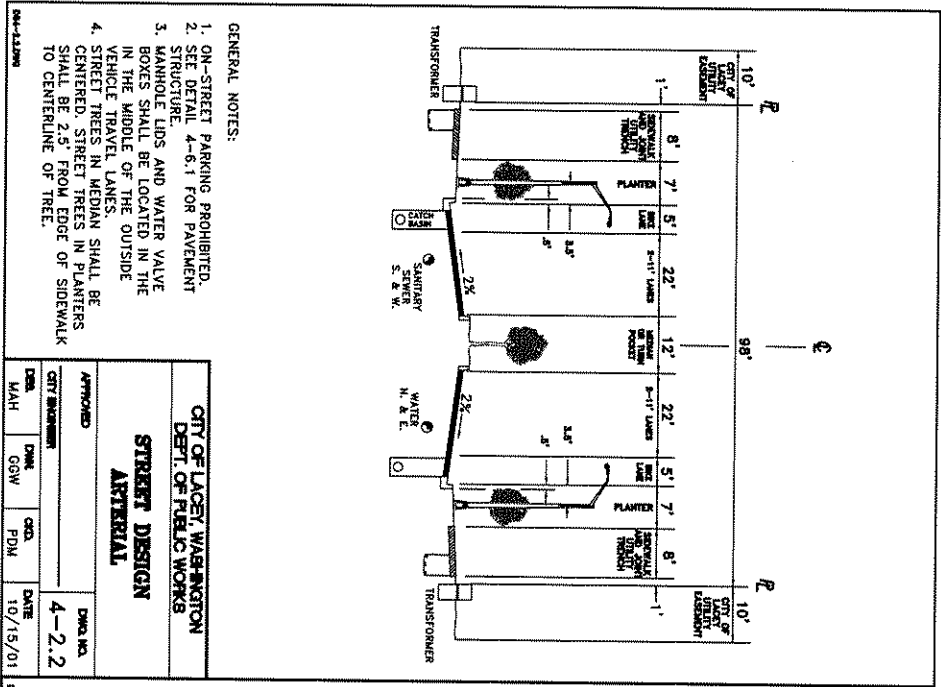

SCJ ALLIANCE
 CONSULTING SERVICES
 8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516
 P: 360.352.1465 F: 360.352.1509
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SHEET TITLE:
PRELIMINARY PLAT WATER AND SEWER PLAN
 PROJECT NAME:
BRADLEY PARK PRELIMINARY PLAT
 LACEY, WA



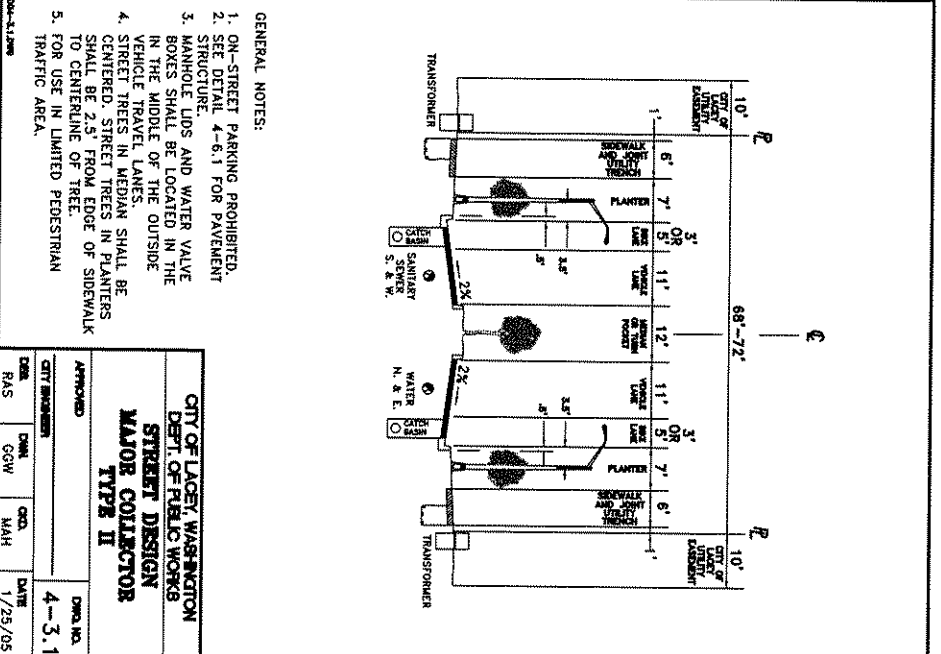
DESIGNER:	R. WEEBEN
ORGANIZATION:	SCJ ALLIANCE
APPROVED BY:	T. BRADLEY
DATE:	MARCH 2021
JOB NO.:	3407.01
DRAWING FILE NO.:	3407.01 PP-07
DATE PLOTTED:	PP-08
SHEET NO.:	8 OF 9

SEC. 30, T17N, R1W, W.M.



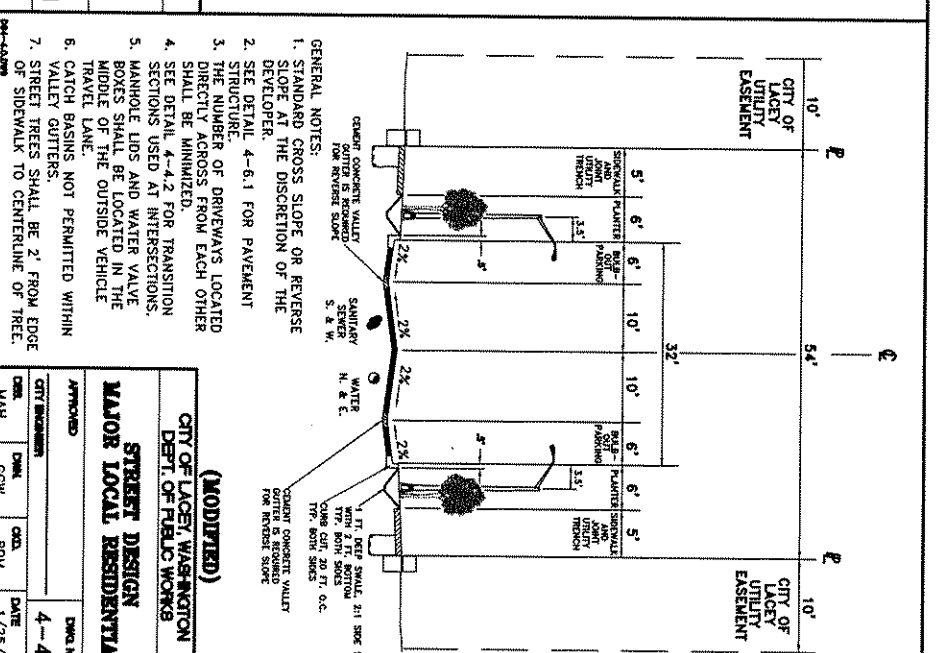
GENERAL NOTES:
 1. ON-STREET PARKING PROHIBITED.
 2. SEE DETAIL 4-6.1 FOR PAVEMENT STRUCTURE.
 3. MANHOLE LIDS AND WATER VALVE BOXES SHALL BE LOCATED IN THE MIDDLE OF THE OUTSIDE VEHICLE TRAVEL LANES.
 4. STREET TREES IN MEDIAN SHALL BE CENTERED. STREET TREES IN PLANTERS SHALL BE 2.5' FROM EDGE OF SIDEWALK TO CENTERLINE OF TREE.
 5. FOR USE IN LIMITED PEDESTRIAN TRAFFIC AREA.

CITY OF LACEY, WASHINGTON DEPT. OF PUBLIC WORKS			
STREET DESIGN			
ARTERIAL			
APPROVED	DRAWN	CHECKED	DATE
CITY ENGINEER	OGW	PDM	10/15/01
4-2.2			



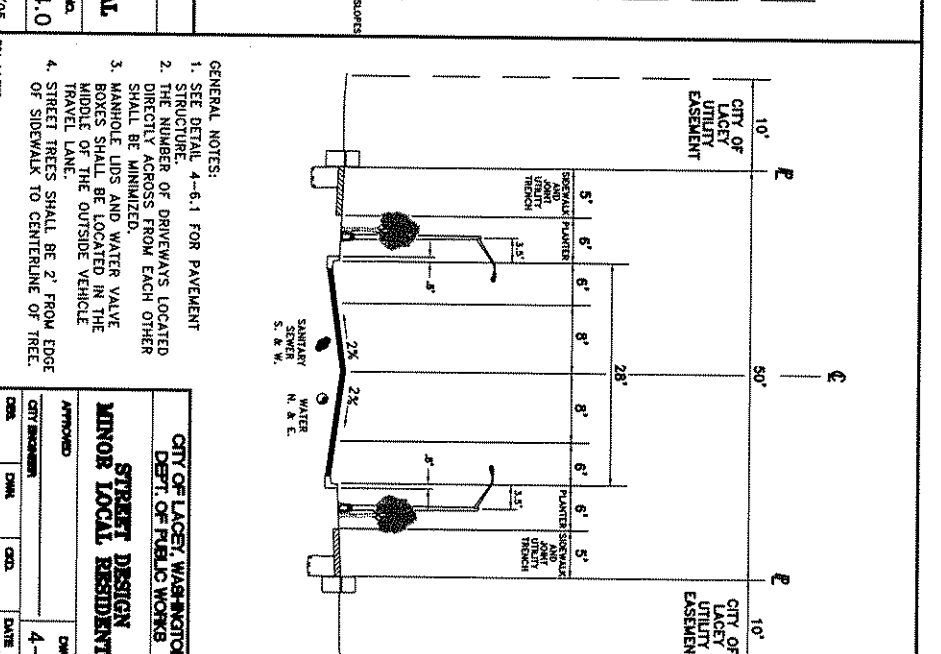
GENERAL NOTES:
 1. ON-STREET PARKING PROHIBITED.
 2. SEE DETAIL 4-6.1 FOR PAVEMENT STRUCTURE.
 3. MANHOLE LIDS AND WATER VALVE BOXES SHALL BE LOCATED IN THE MIDDLE OF THE OUTSIDE VEHICLE TRAVEL LANES.
 4. STREET TREES IN MEDIAN SHALL BE CENTERED. STREET TREES IN PLANTERS SHALL BE 2.5' FROM EDGE OF SIDEWALK TO CENTERLINE OF TREE.
 5. FOR USE IN LIMITED PEDESTRIAN TRAFFIC AREA.

CITY OF LACEY, WASHINGTON DEPT. OF PUBLIC WORKS			
STREET DESIGN			
MAJOR COLLECTOR			
TYP. II			
APPROVED	DRAWN	CHECKED	DATE
CITY ENGINEER	OGW	MAH	1/25/05
4-3.1			

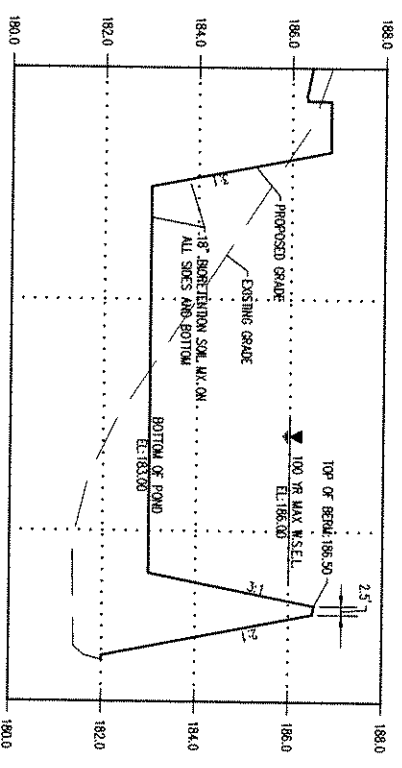


GENERAL NOTES:
 1. STANDARD CROSS SLOPE OR REVERSE SLOPE AT THE DISCRETION OF THE DEVELOPER.
 2. SEE DETAIL 4-6.1 FOR PAVEMENT STRUCTURE.
 3. THE NUMBER OF DRIVEWAYS LOCATED DIRECTLY ACROSS FROM EACH OTHER SHALL BE MINIMIZED.
 4. SEE DETAIL 4-4.2 FOR TRANSITION SECTIONS USED AT INTERSECTIONS.
 5. MANHOLE LIDS AND WATER VALVE BOXES SHALL BE LOCATED IN THE MIDDLE OF THE OUTSIDE VEHICLE TRAVEL LANE.
 6. CATCH BASINS NOT PERMITTED WITHIN VALLEY GUTTERS.
 7. STREET TREES SHALL BE 2' FROM EDGE OF SIDEWALK TO CENTERLINE OF TREE.

CITY OF LACEY, WASHINGTON DEPT. OF PUBLIC WORKS			
STREET DESIGN			
MAJOR LOCAL RESIDENTIAL			
(MODIFIED)			
APPROVED	DRAWN	CHECKED	DATE
CITY ENGINEER	OGW	PDM	1/25/05
4-4.0			



CITY OF LACEY, WASHINGTON DEPT. OF PUBLIC WORKS			
STREET DESIGN			
MINOR LOCAL RESIDENTIAL			
APPROVED	DRAWN	CHECKED	DATE
CITY ENGINEER	OGW	PDM	10/15/01
4-4.1			



STORM TRACT A SECTION E-E
 HORIZ. SCALE: 1"=20'
 VERT. SCALE: 1"=2'

REVISIONS	DATE	BY

SCJ ALLIANCE
 CONSULTING SERVICES
 8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516
 P: 360.352.1465 F: 360.352.1509
 SCJALLIANCE.COM

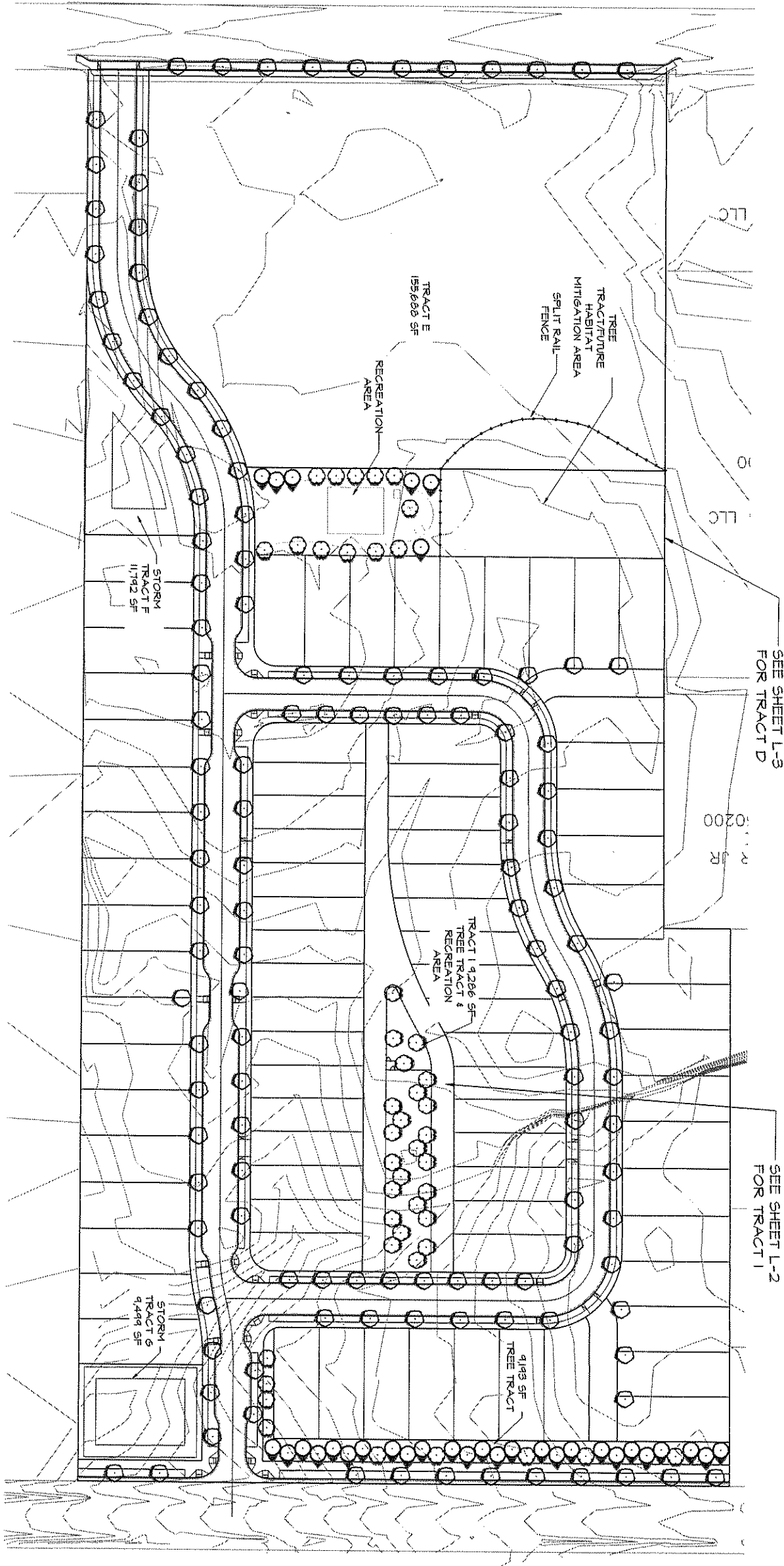
ROADWAY SECTIONS

PROJECT NAME:
BRADLEY PARK PRELIMINARY PLAT

LACEY, WA

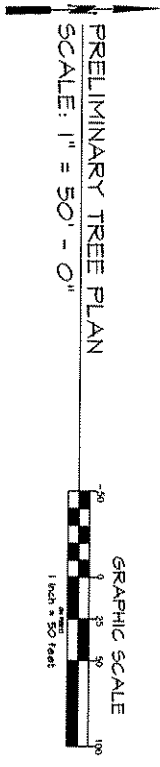


DESIGNER:	R. WEDEN
DRAWN BY:	R. WEDEN
APPROVED BY:	T. BRADLEY
DATE:	MARCH 2021
DRAWING FILE NO.:	3407.D
DRAWING NO.:	PP-09
SHEET NO.:	9 OF 9

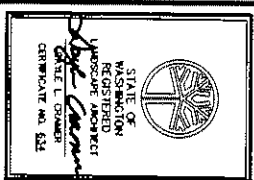


PLANT SCHEDULE *

TREES	BOTANICAL / COMMON NAME	SIZE	QTY
	Deciduous Trees / 30' mature canopy	15' Cal	45
	Evergreen Tree / 30' mature canopy	7' H. min.	92
	Street Tree / 30' mature canopy	2' Cal	152

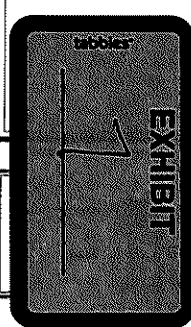


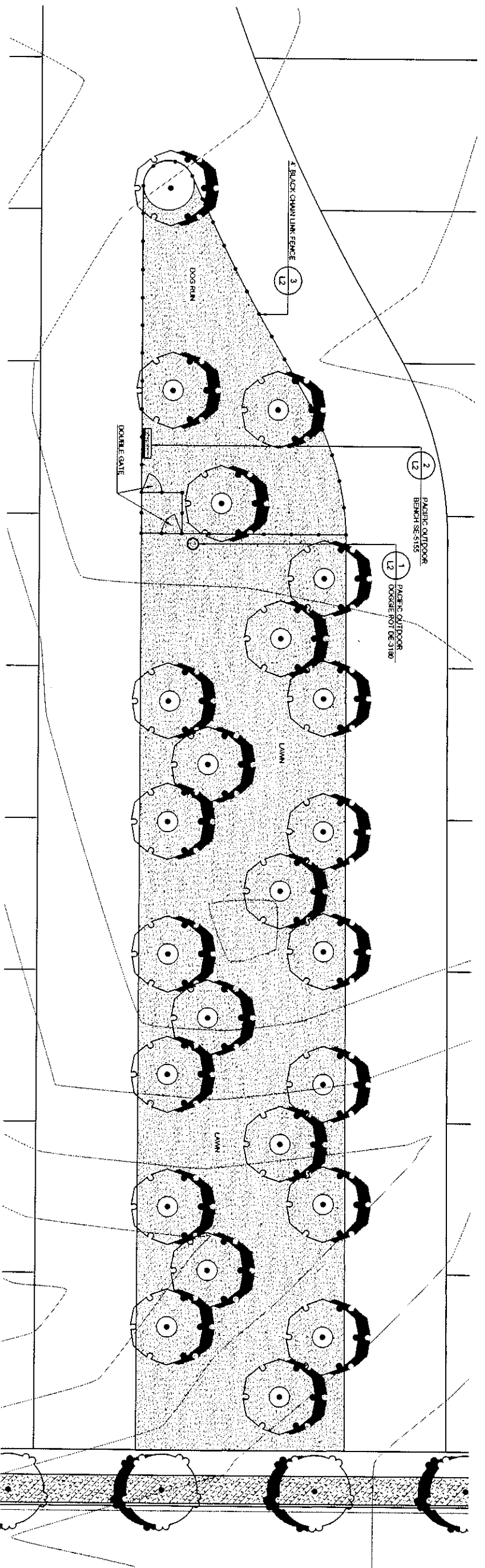
BRADLEY PARK



CRAMER DESIGN CONSULTANTS, INC.
 LANDSCAPE ARCHITECT
 1909 242ND STREET SE
 BOTHELL, WA 98021
 425-241-6258

1/17/20	10/29/20	Drawn: ELK
1/13/21	11/21/21	REVISION PER COMMENTS & SITE PLAN
1/13/21	11/21/21	REVISION PER COMMENTS
		CHK: ELK
		CHK: ELK

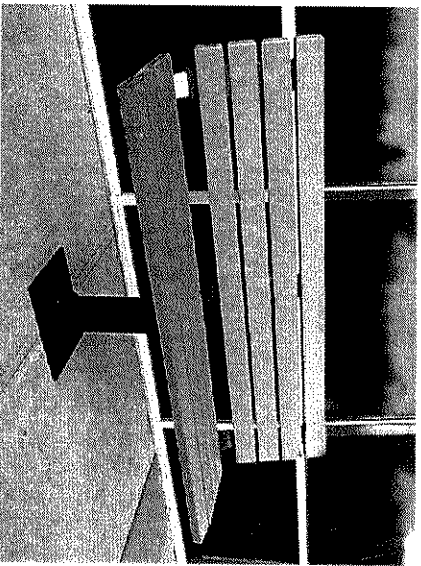




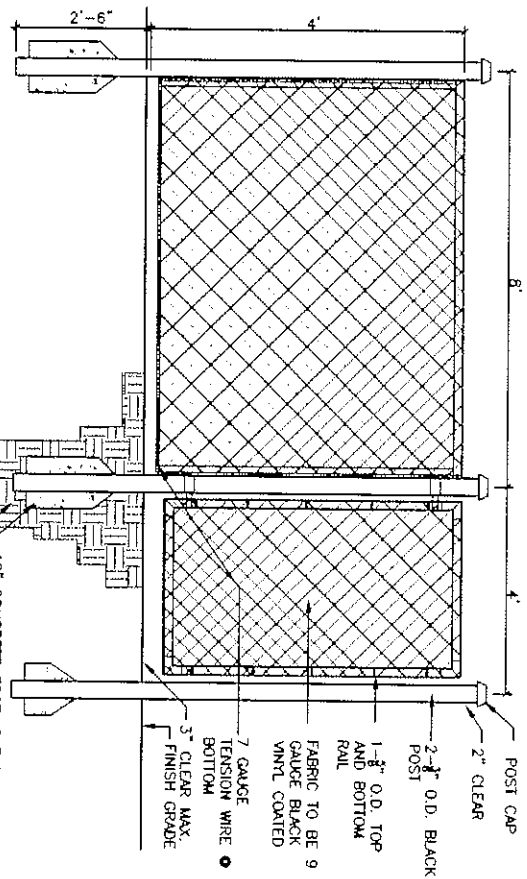
PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 10' - 0"



1 PACIFIC OUTDOOR DOGGIE POT DE-3180

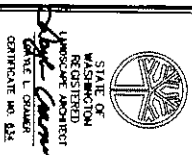


2 PACIFIC OUTDOOR BENCH SE-5155



3 4' BLACK CHAIN LINK FENCE

BRADLEY PARK



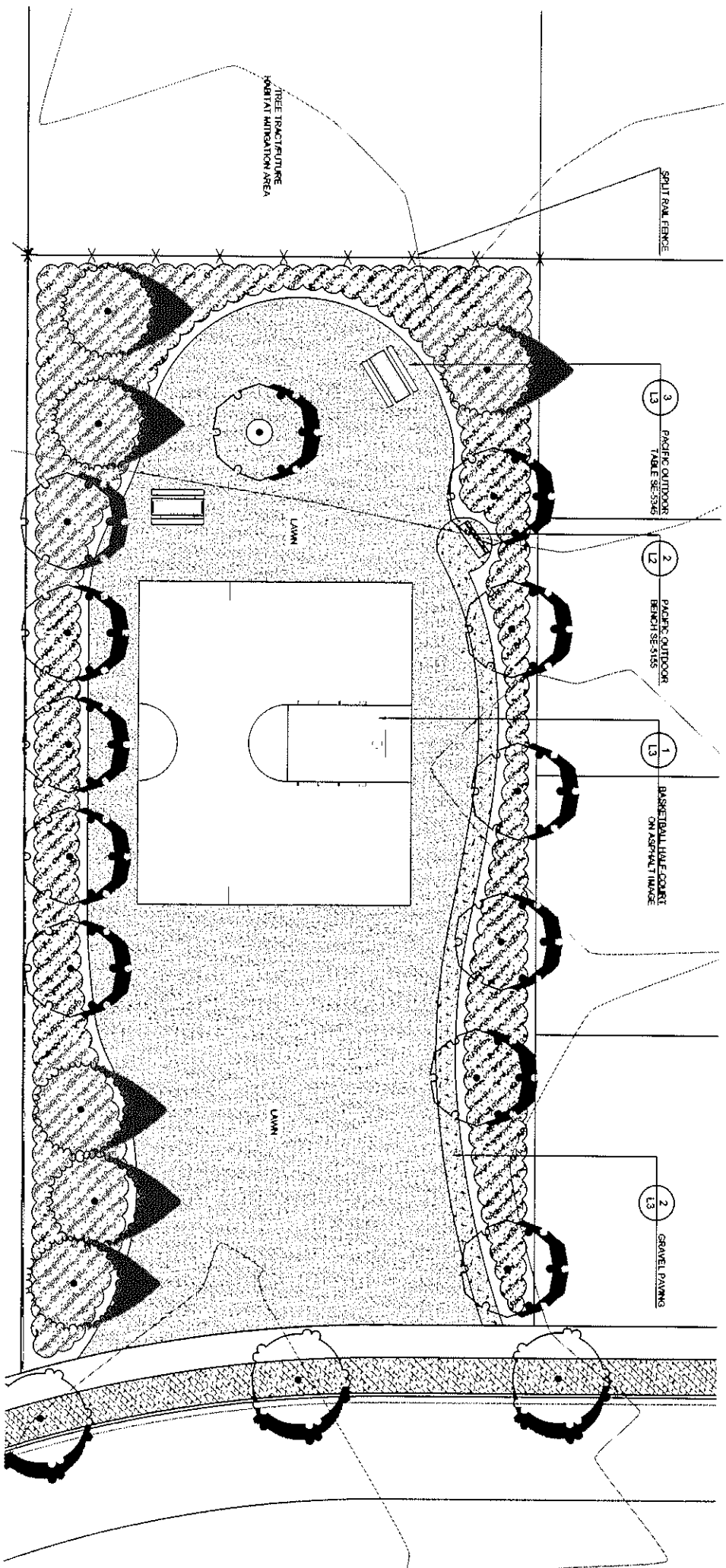
CRAMER DESIGN CONSULTANTS, INC.
LANDSCAPE ARCHITECT
1909 242ND STREET SE
BOTHELL, WA 98021
425-241-6258

Drawn: ELK
10/29/20
L-03/21/21 REVISED PER COMMENTS & SITE PLAN
2-03/23/21 REVISED PER COMMENTS
ELK
ELK

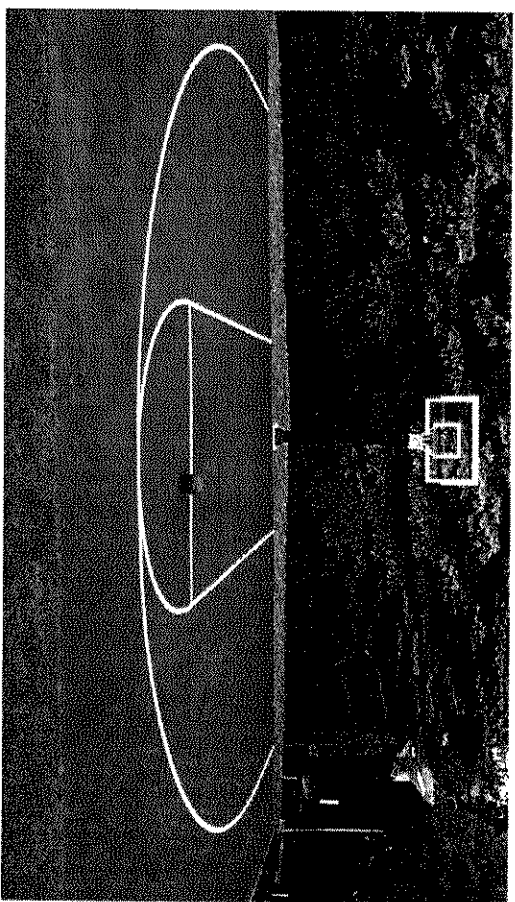
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L-2

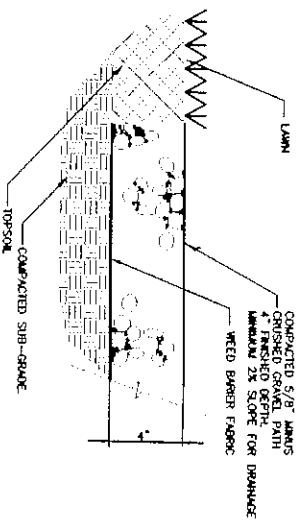
OF 4 SHEETS



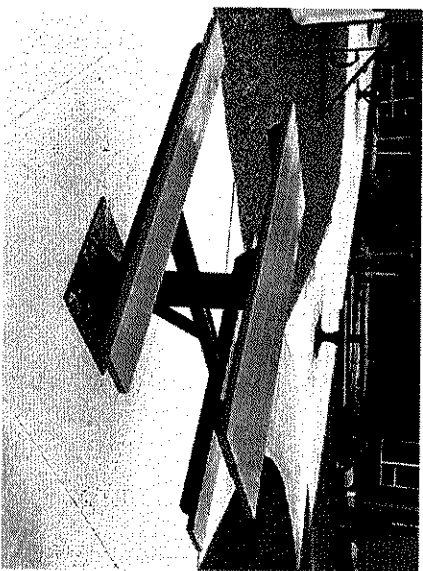
TRACT D PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 10' - 0"



1 BASKETBALL HALF-COURT ON ASPHALT IMAGE

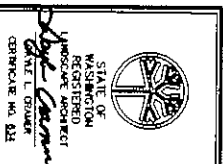


2 GRAVEL PAVING
MS



3 PACIFIC OUTDOOR TABLE 58-5945

BRADLEY PARK

















CRAMER DESIGN CONSULTANTS, INC.
LANDSCAPE ARCHITECT
1909 242ND STREET SE
BOTHELL, WA 98021
425-241-6258

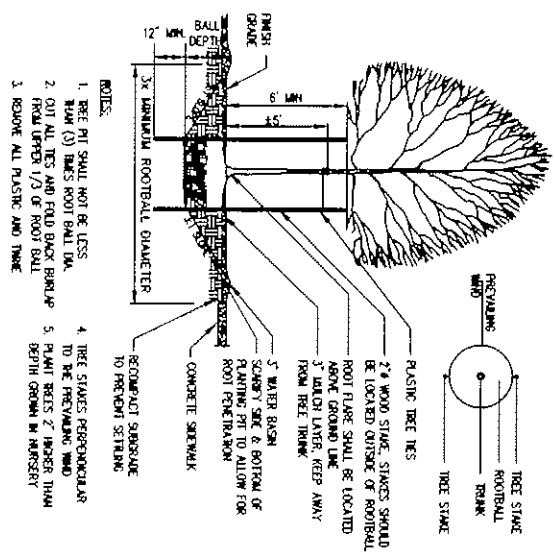
Drawn: 10/29/20
1-03/11/21 REVISED PER COMMENTS & SITE PLAN
2-03/29/21 REVISED PER COMMENTS

SHEET
L-3
OF 4 SHEETS

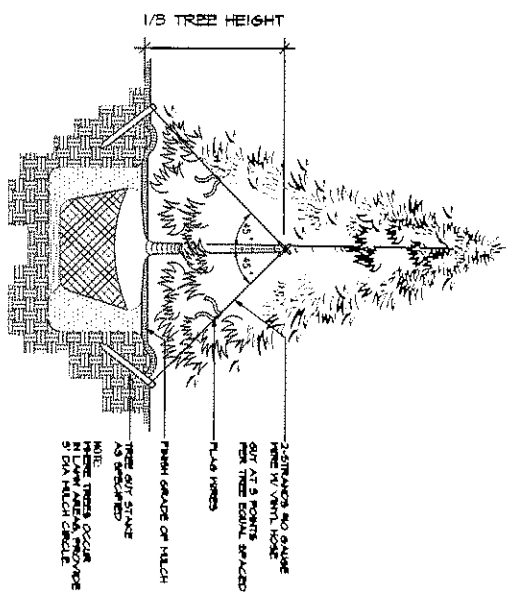
PLANT SCHEDULE *

TREE	BOTANICAL / COMMON NAME	QTY
	Deciduous Trees / 30' mature canopy	45
	Evergreen Trees / 30' mature canopy	92
	Street Tree / 30' mature canopy	192
	BOTANICAL / COMMON NAME	QTY
	General Landscaping	9291 sq'
	Row Landscaping	91372 sq'
	BOTANICAL / COMMON NAME	QTY
	NATIVE PLANTING	9287 sq'
	BOTANICAL / COMMON NAME	QTY
	Detention Pond Landscaping	21290 sq'
	BOTANICAL / COMMON NAME	QTY
	1 1/2" Sod / Drought Tolerant Fescue Blend	14964 sq'
	BOTANICAL / COMMON NAME	QTY
	3/8" (-) Crushed Rock	419 sq'

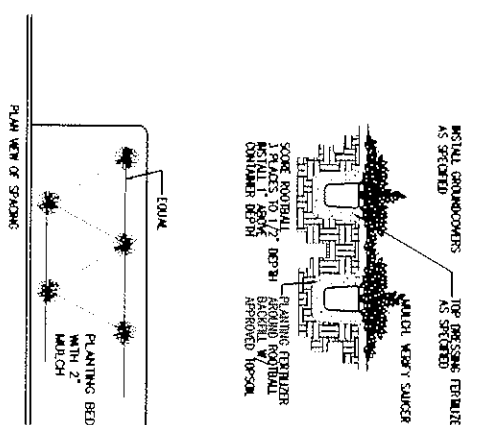
1 TYPICAL DECIDUOUS TREE PLANTING DETAIL



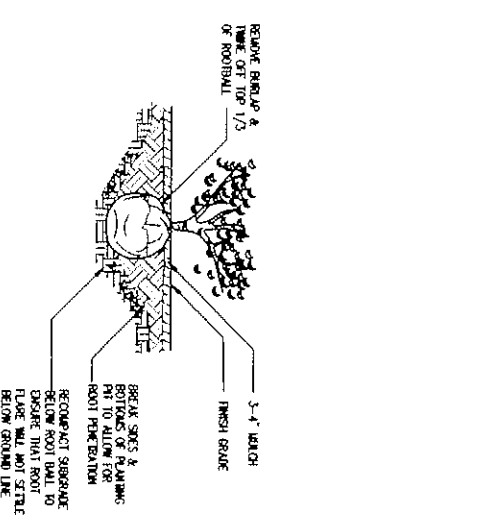
2 TYPICAL EVERGREEN TREE PLANTING DETAIL



3 TYPICAL GROUNDCOVER PLANTING DETAIL



4 TYPICAL SHRUB PLANTING DETAIL



LANDSCAPE NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK.
2. CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY UTILITIES. UNCONFIRMED CONTRACTOR IS TO PROPERLY ADVISE OWNER OF ANY DISTURBED UTILITIES. LOCATION SERVICE PHONE 1-800-424-9995.
3. CONTRACTOR SHALL MAINTAIN AND WATER ALL PLANT MATERIAL FOR 1 YEAR OR UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON THE DRAWING.
5. SUBGRADE IS TO BE WITHIN 2 INCH OF 1 FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE CLEARED OF ALL CONSTRUCTION MATERIAL AND ROCKS & STICKS LARGER THAN 2 INCH DIAMETER.
6. 4 INCH DEPTH TOPSOIL IN LANDSCAPE AREA.
7. 2 INCH DEPTH, 3 FOOT DIAMETER BARK RING AROUND BASE OF STREET TREES AND OTHER TREES LOCATED IN LAWN.
8. TREES SHOULD BE PLANTED SO THAT THE CENTER OF EACH TRUNK IS 3 FEET FROM THE BACK OF CURB OR IF PLANTED BEHIND A SIDEWALK 9 FEET FROM THE BACK OF A SIDEWALK WHERE TREES ARE TO BE PLANTED ADJACENT TO A SIDEWALK. A ROOT BARRIER SHALL BE INSTALLED ON THE SIDEWALK SIDE OF EACH TREE PARALLEL TO AND 6 INCHES FROM THE SIDEWALK. THE BARRIER SHALL BE 15 FEET LONG, CENTERED HORIZONTALLY ON THE TREE TRUNK AND EXTEND FROM THE GROUND SURFACE TO A DEPTH OF 18 INCHES.
9. GROUND COVERS SHALL BE PLANTED IN AN EQUILATERAL TRIANGULAR SPACING PATTERN AT THE ON-CENTER DISTANCES SHOWN ON THE PLAN OR IN THE PLANT SCHEDULE. WHERE GROUND COVER ABOUTS CURBS, SIDEWALKS, SIGNS OR POLES, MINIMUM PLANTING DISTANCES SHALL BE 12" FROM CENTER OF PLANT TO CURB, SIDEWALK, ETC. MINIMUM PLANTING DISTANCE SHALL BE 24" FROM CENTER OF TREES AND SHRUBS.
10. ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER MANUFACTURERS SPECIFICATIONS.
11. ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK LATEST EDITION. ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL, WELL BRANCHED, WELL PROPORTIONED, AND HAVE A VISOROUS, WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. TREES, SHRUBS AND GROUNDCOVER QUANTITIES, SPECIES, VARIETIES, SIZES AND CONDITIONS TO BE AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE FREE OF DISEASE, INJURY, INSECTS, DECAY, HARMFUL DEFECTS AND ALL NEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.
12. NO PERMANENT IRRIGATION SYSTEM IS PROPOSED. TEMPORARY IRRIGATION SHALL BE REQUIRED FOR THE FIRST 3 YEARS OR UNTIL PROPOSED PLANT MATERIAL IS ESTABLISHED. PLANT MATERIAL SPECIFIED TO BE NATIVE OR DROUGHT TOLERANT AS DETERMINED BY LANDSCAPE ARCHITECT.
13. TREES TO BE PLANTED MINIMUM 5 FEET FROM PROJECT BOUNDARIES.
14. THE AVERAGE SPACING FOR STREET TREES SHOULD BE 30 FEET ON CENTER AND ADJUSTED TO ALLOW FOR SIGHT LINES, UTILITIES, TRAFFIC SIGNS, LIGHT STANDARDS, DRIVEWAYS AND OTHER STREET APPURTENANCES.