



Shaping
our community
together

Community & Economic Development
420 College Street SE
Lacey, Washington 98503
(360) 491-5642

COMMUNITY DEVELOPMENT DEPARTMENT PRESUBMISSION CONFERENCE AGENDA

- The following projects will be considered on **Wednesday, February 22, 2023**
- **VIA VIDEO CONFERENCE – LINK WILL BE SENT PRIOR TO MEETING**
- SPR Team Meeting will be held on the Tuesday prior to presub meeting date

Meeting Time	Assigned Staff	Project Details
10:00	R. Fant, Planner T. Stiles, Public Works	Case #23-0045 – “Nisqually Middle School Improvements” Address/Parcel: 8100 Steilacoom Road SE/11814130100 Zoning: OSI-S, Open Space Institutional - School Description of Proposal: Proposed Student pick up/drop off w/covered waiting area, additional asphalt parking with 22 stalls, 425 SF asphalt bus lane & stormwater facility
11:00	S. Seymour, Planner T. Stiles, Public Works	Case #22-0219 – “59th & Stockton – T-Mobile” Address/Parcel: 59 th Loop SE & Stockton St SE/58440000000 Zoning: OS-I, Open Space- Institutional Description of Proposal: Add new 10 x 15 ground equipment area to operate the antennas on the PSE pole & add 3 new antennas and mounts.
1:30	R. Fant, Planner T. Stiles, Public Works	Case #23-0035 – “Oasis Multifamily Access” Address/Parcel: 4520 32 nd Lane SE/11829130700 Zoning: MD, Moderate Density Description of Proposal: Oasis Multifamily – Exploring Options for Ingress/Egress
2:30		
3:30		

RECEIVED

FEB 14 2023



CITY OF LACEY
Community Development Department
420 College Street SE
Lacey, WA 98503
(360) 491-5642

BY 23-0045

OFFICIAL USE ONLY

CASE NUMBER:
RELATED CASE NUMBERS:
PLANNER ASSIGNED:
PW ASSIGNED:

PRESUBMISSION CONFERENCE REQUEST FORM

ONE WEEK PRIOR TO REQUESTED DATE, SUBMIT VIA EMAIL TO PLANNING@CI.LACEY.WA.US, OR TO LACEY CITY HALL. NO FEE IS REQUIRED. SUBMISSION SHOULD INCLUDE COMPLETED APPLICATION, SITE PLAN DRAWING, VICINITY MAP, AND TRAFFIC GENERATION WORKSHEET.

APPLICANT: Dean Martinolich, North Thurston Public Schools

ADDRESS: 6620 Carpenter Rd SE	CITY: Lacey	STATE: WA	ZIP: 98503
PHONE NUMBER: (306) 412-4500	EMAIL: dmartinolich@nthurston.k12.wa.us		

REPRESENTATIVE: Alyssa Ardourel, Huitt-Zollars

ADDRESS: 1700 7th Ave, Suite 2075	CITY: Seattle	STATE: WA	ZIP: 98101
PHONE NUMBER: (206) 324-5500	EMAIL: aardourel@Huitt-Zollars.com		

PROJECT ADDRESS: 8100 Steilacoom Rd SE, Lacey, WA 98503
ASSESSOR'S TAX PARCEL NUMBER(S): 11814130100
BRIEF DESCRIPTION OF PROJECT: Proposed student pick up/drop off w/ covered waiting area, ex Marvin Rd access improvements, additional asphalt parking w/ approx. 22 stalls, approx. 425 LF asphalt bus lane & stormwater facility.
TOTAL ACREAGE: 28.99 TOTAL SQ. FT OF BLDG: none proposed ZONING: OSI-S-OPEN SPACE INST.
PROPOSED LAND USE: <input type="checkbox"/> SINGLE-FAMILY <input type="checkbox"/> MULTI-FAMILY <input type="checkbox"/> INDUSTRIAL DUPLEX <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> M.H. PARK
EXISTING ACCESS: Steilacoom Rd SE PROPOSED ACCESS: Marvin Rd SE

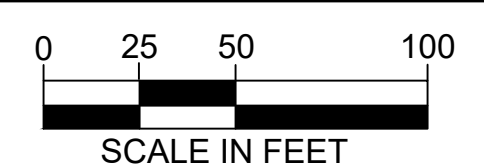
INDICATE PREFERENCE FOR A MEETING DATE AND TIME:
(MEETINGS ARE HELD THE 2ND AND 4TH WEDNESDAY OF EACH MONTH) DATE: 2/22/23 TIME: 10:00am or 3:30pm

A presubmission conference is an opportunity for the developer and/or their representative to meet with staff to discuss preliminary studies or sketches of the proposed project. At the conference, staff will make available, pertinent information relating to the proposed development. The intent is to identify and/or eliminate as many potential problems as possible in order for the project to be processed without delay. The conference should take place prior to detailed work by an engineer or surveyor; however, the site drawing submitted, should have sufficient information to allow for staff review. Discussion topics will include such things as Comprehensive Plan, Street Plan, Storm Run Off & Retention, Shoreline Master Program, Zoning, Availability of Water/Sewer, Development Concepts, other requirements and permits, and the environmental impact. If the applicant owns adjacent land, the possibilities of future development will be discussed. Written information regarding process, specific requirements & related issues, will be furnished at the meeting. Staff will typically visit the site prior to the meeting and may enter the property if deemed necessary to gain a full understanding of the project.

G:\HITLOCK\02152023\12:09PM_L1\R316039.01 - NISQUALLY MS SSBC10 CADD & BIM\10.1 AUTOCAD\EXHIBIT\PRE-SUBMISSION\20230215-PR-SUBMISSION-SITE-PLAN-EXHIBIT.DWG

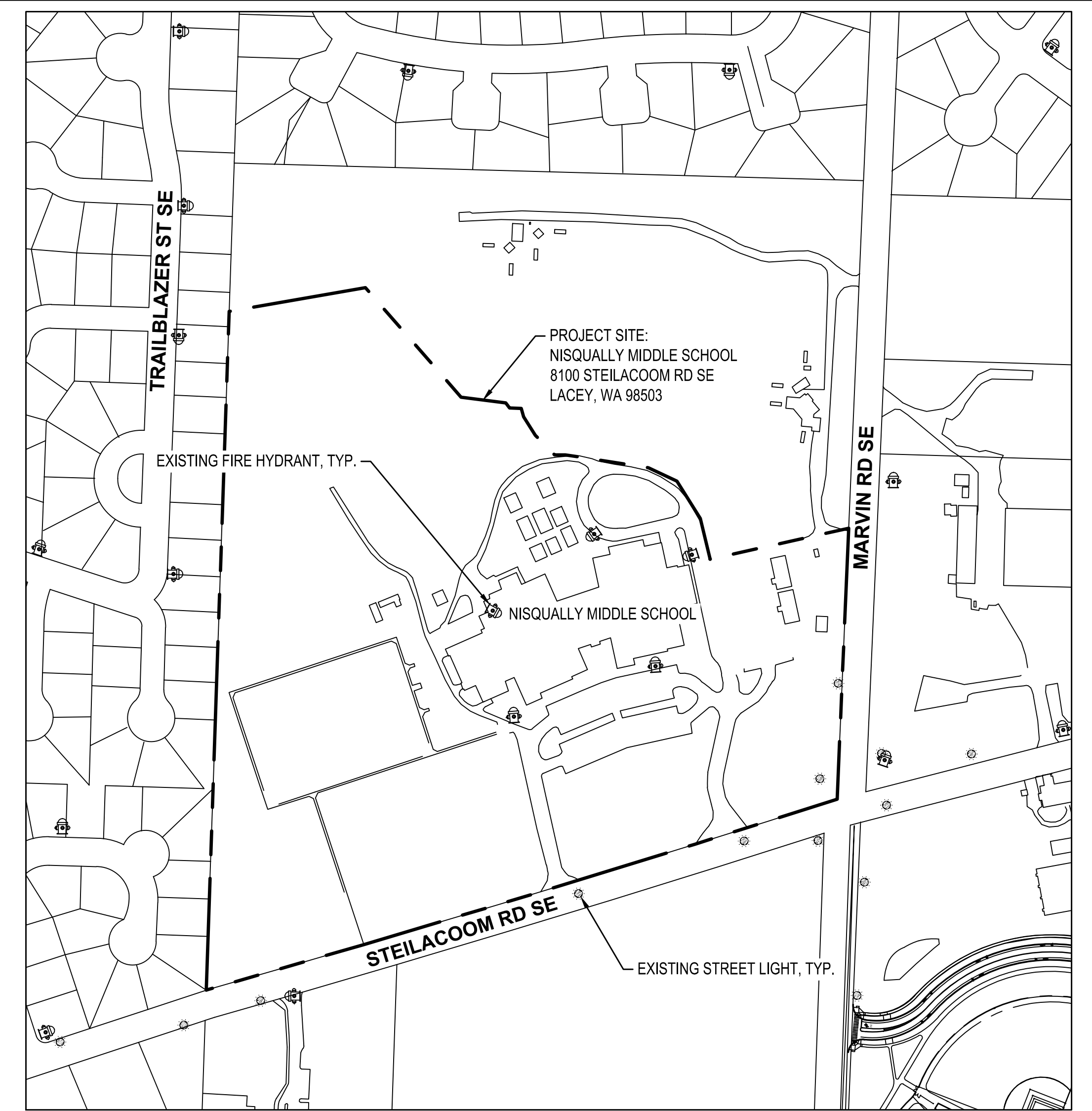


CONCEPT SITE PLAN (1"=50')

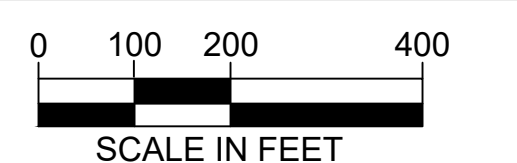


LEGEND:

- SPED BUSES
- STANDARD BUSES
- PARENT VEHICLES



VICINITY MAP (1"=200')



DRAFT

HUITT-ZOLIARS
 1700 7TH AVENUE, SUITE 2075
 SEATTLE, WASHINGTON, 98101
 206-324-5500
 www.huitt-zollars.com
ADVANCEDDESIGN™

**PRELIMINARY CONCEPT SITE PLAN
AND VICINITY MAP**

NISQUALLY MIDDLE SCHOOL SAFETY AND SEPARATION	NORTH THURSTON PUBLIC SCHOOLS
8100 STEILACOOM RD SE LACEY, WA 98503	6620 CARPENTER RD SE LACEY, WA 98503

HZ PROJECT NO.:	R316039.01
ISSUE DATE:	FEBRUARY 15, 2023
DRAWN BY:	GNW
REVIEWED BY:	ADA
SHEET 1 OF 1	



City of Lacey

DEPARTMENT OF PUBLIC WORKS
420 College Street S.E.
Lacey, WA 98503-1238
(360) 491-5600

COMMERCIAL TRAFFIC GENERATION WORKSHEET

Date: 2/15/2023

Project No.: R316039.01

Project Name: Nisqually MS Safety & Separation

Parcel No.: 11814130100

Project Address: 8100 Steilacoom Rd SE, Lacey, WA 98503

Applicant's Name: Dean Martinolich Phone: (360) 412-4500

Applicant's Address: 6620 Carpenter Rd SE, Lacey, WA 98503

Existing Use

- Is there an existing use on the proposed project site: Yes No
- Has the existing use been vacant for more than 18 months? Yes No
- Will any of the existing buildings be demolished? Yes No

Please explain the current use, if any (type of business; business license number, if available; size in gross square feet; number of employees; hours of operation, etc.):

Current use is an existing middle school within the 28.99 acre (1,262,623 SF) property.

Gross square footage of existing buildings is approximately 117,000 SF.

Currently, there are 86 staff and 849 students. Historically, the highest student count was 928 students with staff counts remaining approximately consistent.

School hours: 9:20 am – 3:50 pm.

Proposed Use (Include Site Plan)

Commercial projects can cover a wide variety of land uses, not all uses are covered in the Trip Generation Manual. A private traffic engineer may be required for exceptional proposals. Please provide as much information as possible, if applicable to your development:

Project Site Gross Acres: 28.99 Acres	Number of Gas Pumps / Fueling Positions: N/A
Building Size Gross Square Feet: N/A	Number of Drive-through Windows: N/A
Number of Employees: 86 staff (current)	Number of Service Bays: N/A
Number of Parking Stalls: 22 new stalls	Number of Car Wash Stalls: N/A
Number of Students / Children: 849 students (current)	Number of Seats (Theaters, etc.): N/A
Number of Rooms (Hotels, etc.): N/A	Number of Courts / Fields / Tees: N/A

Please explain the proposed use (type of business and all other information not provided above that you feel is relevant in determining traffic generation):

The proposed use will remain as OSI-S (Open Space Institutional), a middle school. The project makes safety and circulation improvements and includes, but not limited to, a new student pick up/drop off with covered waiting area, additional asphalt parking area with 22 stalls, existing Marvin Rd SE access improvements, an approximately 425 LF asphalt bus lane and a stormwater facility.

I declare that I have completed this form and to the best of my knowledge and belief the above information is true and correct. I understand the City is relying on this information to accurately determine the traffic impacts from my development.

Signature  Date: 02/15/2023
on behalf of North Thurston Public Schools

For Official Use Only:	
HTE Number: _____	Approved for Traffic Division By: _____
Development Reviewer: _____	Planner: _____
Land Use Code: _____	Discounts Applied: _____
Total PM Peak Hour Trips: _____	New PM Peak Hour Trips: _____
Comments: _____	
Calculated by: _____	

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FEB 09 2023

OFFICIAL USE ONLY



CITY OF LACEY
Community Development Department
420 College Street SE
Lacey, WA 98503
(360) 491-5642

BY 22-0219

CASE NUMBER:
RELATED CASE NUMBERS:
PLANNER ASSIGNED:
PW ASSIGNED:

PRESUBMISSION CONFERENCE REQUEST FORM

ONE WEEK PRIOR TO REQUESTED DATE, SUBMIT VIA EMAIL TO PLANNING@CI.LACEY.WA.US, OR TO LACEY CITY HALL. NO FEE IS REQUIRED. SUBMISSION SHOULD INCLUDE COMPLETED APPLICATION, SITE PLAN DRAWING, VICINITY MAP, AND TRAFFIC GENERATION WORKSHEET.

APPLICANT: Lynx Consulting on behalf of T-Mobile - contact: Marianne Boring

ADDRESS: 17311 135th Ave NE, Suite A-100 CITY: Woodinville STATE: WA ZIP: 98072
 PHONE NUMBER: 509.531.5475 EMAIL: marianne.boring1@gmail.com

REPRESENTATIVE: Lynx Consulting on behalf of T-Mobile - contact: Marianne Boring

ADDRESS: 17311 135th Ave NE, Suite A-100 CITY: Woodinville STATE: WA ZIP: 98072
 PHONE NUMBER: 509.531.5475 EMAIL: marianne.boring1@gmail.com

PROJECT ADDRESS: 59th Lp SE & Stockton St SE

ASSESSOR'S TAX PARCEL NUMBER(S): 58440000000

BRIEF DESCRIPTION OF PROJECT: T-Mobile is proposing to add new 10' x 15' ground equipment area to operate the antennas on the PSE pole as well as add (3) new antennas and mounts.

TOTAL ACREAGE: 19.59 (parcel TOTAL SQ. FT OF BLDG: 150' (pad area ZONING: OS-1

PROPOSED LAND USE: () SINGLE-FAMILY () MULTI-FAMILY () INDUSTRIAL DUPLEX () COMMERCIAL () M.H. PARK

EXISTING ACCESS: Stockton St SE PROPOSED ACCESS: Unchanged

INDICATE PREFERENCE FOR A MEETING DATE AND TIME:

(MEETINGS ARE HELD THE 2ND AND 4TH WEDNESDAY OF EACH MONTH)

DATE: ~~12/28/22~~ OF TIME: ~~8:00 AM~~

A presubmission conference is an opportunity for the developer and/or their representative to meet with staff to discuss preliminary studies or sketches of the proposed project. At the conference, staff will make available, pertinent information relating to the proposed development. The intent is to identify and/or eliminate as many potential problems as possible in order for the project to be processed without delay. The conference should take place prior to detailed work by an engineer or surveyor; however, the site drawing submitted, should have sufficient information to allow for staff review. Discussion topics will include such things as Comprehensive Plan, Street Plan, Storm Run Off & Retention, Shoreline Master Program, Zoning, Availability of Water/Sewer, Development Concepts, other requirements and permits, and the environmental impact. If the applicant owns adjacent land, the possibilities of future development will be discussed. Written information regarding process, specific requirements & related issues, will be furnished at the meeting. Staff will typically visit the site prior to the meeting and may enter the property if deemed necessary to gain a full understanding of the project.



OLYMPIA LACEY AMTRAK/PSE/LP HOA

59TH LP SE & STOCKTON ST SE
LACEY, WA 98513

SITE NUMBER: SE05317B

LATITUDE 46° 59' 45.9702" N (46.996103) LONGITUDE 122° 47' 39.7716" W (-122.794381)
PROJECT: ANCHOR

RFDS: VER: 3
PROJECT: ANCHOR



PROJECT INFORMATION:

**OLYMPIA LACEY
AMTRAK/PSE/LP HOA
SE05317B**

59TH LP SE & STOCKTON ST SE
LACEY, WA 98513

ISSUED FOR:

BUILDING PERMIT

REVISION HISTORY:

NO.	DATE:	DESCRIPTION:	CHK. BY:
3	12/7/2022	MINOR REV	BJT
2	12/6/2022	REVISED PER REDLINES	BJT
1	11/15/2022	ISSUED DESIGN REVIEW	BJT

PLANS PREPARED BY:

B. J. THOMAS, P.E.
7607 80TH AVE NE
MARYSVILLE, WA 98270
206-851-1106

DRAWN BY: CHK. BY:

JL

BJ

LICENSURE:



DRAWING INFORMATION:

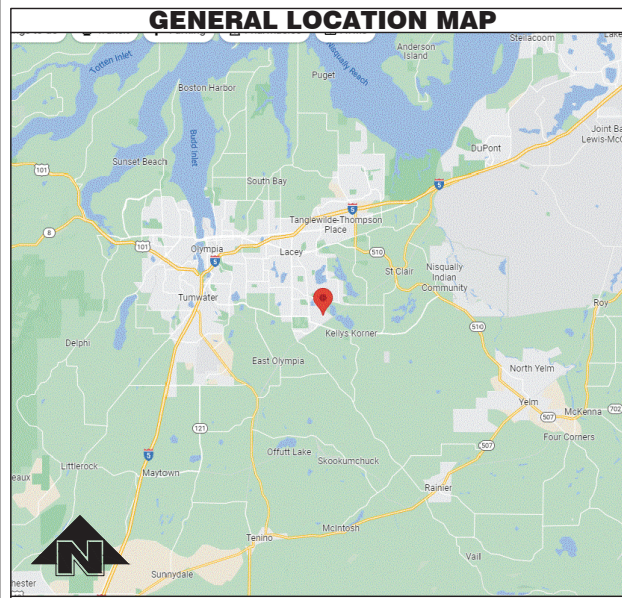
DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:

TITLE SHEET

DRAWING NUMBER:

T-1



DRIVING DIRECTIONS

FROM T-MOBILE BOTHELL 4 OFFICE:

1. DEPART NORTH CREEK PKWY TOWARD NORTH CREEK TRAIL 0.3 MI
2. TURN RIGHT ONTO NE 195TH ST 0.3 MI
3. TAKE RAMP LEFT FOR I-405 SOUTH TOWARD RENTON 24.4 MI
4. ROAD NAME CHANGES TO WA-518 W 0.1 MI
5. TAKE RAMP RIGHT FOR I-5 SOUTH TOWARD PORTLAND 45.4 MI
6. AT EXIT 109, TAKE RAMP RIGHT FOR MARTIN WAY TOWARD COLLEGE ST / SLEATER-KINNEY RD N 0.2 MI
7. TURN RIGHT ONTO MARTIN WAY E 0.1 MI
8. TURN LEFT ONTO COLLEGE ST SE 0.9 MI
9. TURN LEFT ONTO LACEY BLVD SE 0.3 MI
10. TURN RIGHT ONTO RUDELL RD SE 2.5 MI
11. TURN LEFT ONTO 54TH AVE SE 0.3 MI
12. TURN RIGHT ONTO THORNBURY DR SE 0.2 MI
13. TURN LEFT ONTO 57TH AVE SE, AND THEN IMMEDIATELY TURN RIGHT ONTO 58TH AVE SE 0.3 MI
14. TURN RIGHT ONTO STOCKTON ST SE 0.1 MI ARRIVE AT 59TH LOOP SE & STOCKTON ST SE, LACEY, WA 98513

ZONING INFORMATION

SITE NUMBER: SE05317B
 SITE NAME: OLYMPIA LACEY AMTRAK/PSE/LP
 SITE ADDRESS: 59TH LP SE & STOCKTON ST SE LACEY, WA 98513

PARCEL #: 5844000000
 CURRENT ZONING: OS-1
 JURISDICTION: CITY OF LACEY
 GOV CODE: 2018 IBC, STANDARDS & AMENDMENTS, WAC 51-50
 BUILDING TYPE: --
 SITE TYPE: UNSTAFFED TELECOMM FACILITY

UTILITY PURVEYOR

POWER COMPANY: N/A

TELCO COMPANY: N/A

LEGAL DESCRIPTION

ABBREVIATED PER ASSESSOR RECORDS.

TRACTS A, B AND D OF LAKEPOINTE, DIVISION 1, AS RECORDED IN VOLUME 25 OF PLATS, PAGES 86 THROUGH 90. ALSO; TRACT E OF LAKEPOINTE, DIVISION 2, A P.R.D., AS RECORDED IN VOLUME 26 OF PLATS, PAGES 33 THROUGH 37.

PROJECT TEAM

PROPERTY OWNER: LAKEPOINTE HOMEOWNER'S ASSOCIATION
6301 STOCKTON LN SE #1 LACEY, WA 98513

PROJECT MANAGER: LYNX CONSULTING, INC.
OLIVIA WRIGHT
17311 135TH AVE NE, STE A-100 WOODINVILLE, WA 98072
PHONE: (253) 653-9787
EMAIL: owright@lynxconsulting.org

CONSTRUCTION MANAGER: LYNX CONSULTING, INC.
JOHN REGO
17311 135TH AVE NE, STE A-100 WOODINVILLE, WA 98072
PHONE: (206) 947-5775
rego.john@lynxconsulting.org

SITE ACQUISITION: LYNX CONSULTING, INC.
MARIANNE BORING
17311 135TH AVE NE, STE A-100 WOODINVILLE, WA 98072
PHONE: (509) 531-5475
EMAIL: marianne.boring1@gmail.com

ZONING: LYNX CONSULTING, INC.
MARIANNE BORING
17311 135TH AVE NE, STE A-100 WOODINVILLE, WA 98072
PHONE: (509) 531-5475
EMAIL: marianne.boring1@gmail.com

CONSULTING ENGINEER: B.J. THOMAS, P.E.
7607 80TH AVE NE MARYSVILLE, WA 98270
PHONE: 206-851-1106
bjthomas@bjthomaspe.comcastbiz.net

PROJECT DESCRIPTION

T-MOBILE PROPOSES TO MODIFY AN EXISTING WIRELESS FACILITY WITH THE FOLLOWING SCOPE OF WORK:

SOW @ ANTENNAS:
KEEP (3) #FFHH-65C-R3 ANTENNAS. KEEP (3) AHLOA. REMOVE (3) FHFH, (3) FRIG, (12) DIPLEXERS & (1) UNIVERSAL RING MOUNTS. INSTALL (6) #DSM2 STANDOFF MOUNTS (2 PER SECTOR). INSTALL (3) #AEHC ANTENNAS (1 PER SECTOR). INSTALL (3) AHFIG (1 PER SECTOR). MOUNT AHLOA & AHFIG BACK TO BACK BEHIND ANTENNA. INSTALL (2) HCS 2.0 PENDANTS BELOW ANTENNAS ON WOOD POLE. ADD (1) 125' HCS 2.0 HYBRID TRUNK CABLES.

SOW @ GROUND LEVEL:
REMOVE (2) AMOBs ON POLE. REMOVE FLX16-3030 CABINET & (1) COVP.

INSTALL NEW 15' x 10' WOOD FENCED COMPOUND. ADD (1) HPL3 600A LARGE SITE SUPPORT CABINET, (1) LB3 BATTERY CABINET, (2) HCS 2.0 TOWER JUNCTION BOXES. ADD (1) 200A EMERSON PANEL, 200A METER BASE, AAV CUBE & LED TECH LIGHT ON NEW UNISTRUT H-FRAME. INSTALL 2' x 14' ICE BRIDGE FOR CABLE ROUTING. ADD 8' x 11' CONCRETE PAD.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING ON THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

2018 IBC, STANDARDS & AMENDMENTS, WAC 51-50
 2018 IMC, STANDARDS & AMENDMENTS, WAC 51-52
 2018 IFC, STANDARDS & AMENDMENTS, WAC 51-54
 2020 NFPA 54 - NATIONAL FUEL GAS CODE (PROPANE INSTALLATIONS ONLY)
 2020 NFPA 58 - LIQUEFIED PETROLEUM GAS CODE (PROPANE INSTALLATIONS ONLY)
 2018 INTERNATIONAL FIRE CODE
 2018 UPC, STANDARDS & AMENDMENTS, WAC 51-56, 51-57
 2020 NATIONAL ELECTRICAL CODE
 2017 NATIONAL ELECTRIC SAFETY CODE
 LOCAL BUILDING CODE ORDINANCES
 ANSI / TIA / EIA - 222 - H - 2017
 NFPA-101 - LIFE SAFETY CODE

DRAWING INDEX

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A-1.2	PROPOSED ENLARGED SITE PLAN
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PROJECT INFORMATION

THIS IS UNSTAFFED AND RESTRICTED EQUIPMENT AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF PROVIDING PUBLIC CELLULAR SERVICE.

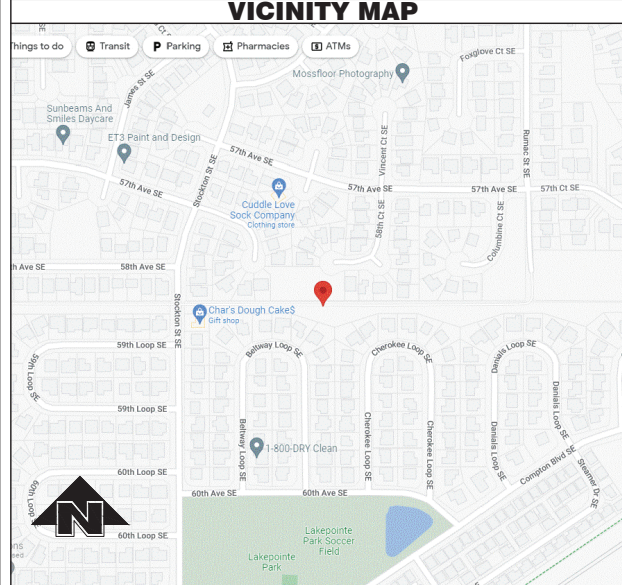
T-MOBILE CERTIFIES THAT THIS TELEPHONE EQUIPMENT FACILITY WILL BE SERVICED ONLY BY T-MOBILE EMPLOYEES AND THE WORK ASSOCIATED WITH ANY EQUIPMENT CANNOT BE PERFORMED BY HANDICAPPED PERSONS. THIS FACILITY WILL BE FREQUENTED ONLY BY SERVICE PERSONNEL FOR REPAIR PURPOSES. PURSUANT TO THE AMERICANS WITH DISABILITIES ACT (ADA), APPENDIX B SECTION 4.11. (5)(b), THIS FACILITY IS EXEMPT FROM THAT ACT.

NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION. NO WASTE WATER OR SOLID WASTE WILL BE GENERATED AT THIS LOCATION.

T-MOBILE MAINTENANCE CREW (ONE PERSON) WILL MAKE AN AVERAGE OF ONE TRIP PER MONTH AT ONE HOUR PER TRIP.

APPROVAL/SIGN OFF OF CONST DRAWINGS

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED.	
CONSULTANT GROUP SIGN OFF	
LANDLORD'S REPRESENTATIVE:	DATE:
CONSTRUCTION MANAGER:	DATE:
CONSTRUCTION PROJECT MANAGER:	DATE:
PROJECT MANAGER:	DATE:
SITE ACQUISITION:	DATE:
ZONING:	DATE:
RF ENGINEER:	DATE:



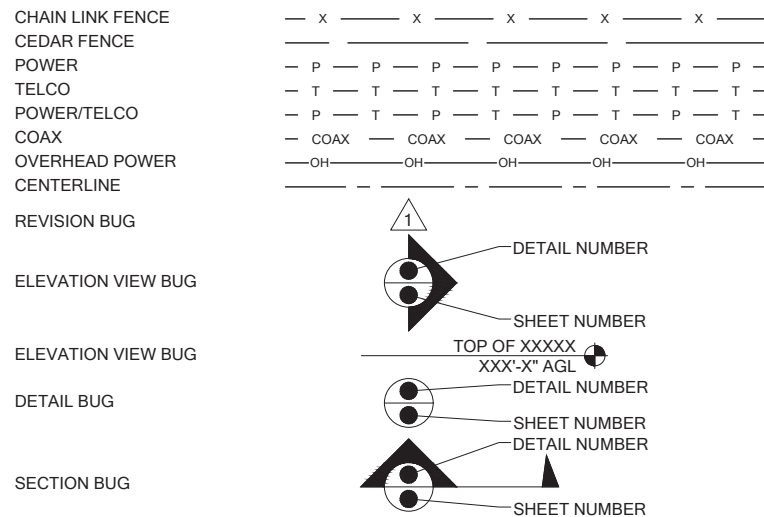
GENERAL NOTES:

1. DRAWINGS ARE NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE, THIS SET OF DOCUMENTS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ANY REQUIREMENTS DEEMED NECESSARY TO COMPLETE INSTALLATION AS DESCRIBED IN THE DRAWINGS AND OWNER'S PROJECT MANUAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS AND STANDARDIZED DETAILS THAT REQUIRE MODIFICATIONS DUE TO ACTUAL FIELD CONDITIONS AND REQUIREMENTS MUST BE SUBMITTED TO AND APPROVED BY, T-MOBILE WIRELESS REPRESENTATIVE PRIOR TO START OF WORK.
3. PRIOR TO THE SUBMISSION OF BIDS, CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. CONTRACTORS SHALL VISIT THE CONSTRUCTION SITE WITH THE CONSTRUCTION/CONTRACT DOCUMENTS TO VERIFY FIELD CONDITIONS AND CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN. PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER VERBALLY AND IN WRITING.
4. THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, SAFETY, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
6. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
7. ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
8. GENERAL CONTRACTOR SHALL PROVIDE, AT THE PROJECT SITE, A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS INVOLVED WITH THE PROJECT. THIS SET IS A VALID CONTRACT DOCUMENT ONLY IF THE TITLE SHEET IS STAMPED IN RED INK "FOR CONSTRUCTION" AND EACH SUCCESSIVE SHEET BEARS THE ARCHITECT'S/ENGINEER'S SIGNED WET STAMP.
9. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, ETC. ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.
10. THE CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS FOR ALL INSTALLATIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING CONSTRUCTION AND REPAIR ALL DAMAGES TO BETTER THAN NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY DAMAGE TO THE BUILDING SITE OR ANY ADJACENT STRUCTURES AROUND THE PROJECT. THE T-MOBILE REPRESENTATIVE SHALL BE SOLE AND FINAL JUDGE AS TO THE QUALITY OF THE REPAIRED CONSTRUCTION. ANY ADDITIONAL MODIFICATIONS WHICH MUST BE MADE SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
12. WHERE NEW PAVING, CONCRETE SIDEWALKS OR PATHS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION SO THE ENTIRE STRUCTURE SHALL HAVE A SMOOTH TRANSITION.
13. THE CONTRACTOR SHALL MODIFY THE EXISTING FLOORS, WALL, CEILING, OR OTHER CONSTRUCTION AS REQUIRED TO GAIN ACCESS TO AREAS FOR ALL MECHANICAL, PLUMBING, ELECTRICAL, OR STRUCTURAL MODIFICATIONS. WHERE THE EXISTING CONSTRUCTION DOORS, PARTITIONS, CEILING, ETC., ARE TO BE REMOVED, MODIFIED, OR REARRANGED OR WHERE THE EXPOSED OR HIDDEN MECHANICAL, ELECTRICAL, SYSTEMS ARE ADDED OR MODIFIED, THE GENERAL CONTRACTOR SHALL REPAIR, PATCH AND MATCH ALL EXISTING CONSTRUCTION AND FINISHES OF ALL FLOORS WALLS AND CEILINGS. WHERE CONCRETE MASONRY CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL TOOTH IN ALL NEW CONSTRUCTION TO MATCH THE EXISTING BOND. WHERE CONCRETE CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL VERIFY THE EXACT DETAILS TO BE USED FOR CONSTRUCTION. ALL WORK SHALL BE COVERED UNDER THE GENERAL CONTRACT.
14. IF CONTRACTOR OR SUBCONTRACTOR FIND IT NECESSARY TO DEVIATE FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR'S AND THE SUBCONTRACTOR'S RESPONSIBILITY TO PROVIDE THE CONSULTANT WITH 4 COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL BEFORE PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
15. CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.
16. THE CONTRACTOR SHALL PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
17. SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHAL APPROVED MATERIALS AS APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATES, SCHEDULING, COORDINATING SPECIAL AND BUILDING DEPARTMENT INSPECTIONS.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND UTILIZING ORIGINAL ROOFING CONTRACTOR AS REQUIRED TO MAINTAIN ANY EXISTING ROOFING WARRANTY.
20. ROUTING OF ALL CONDUITS, CABLES, CABLE TRAYS ETC ARE INDICATED AS PROPOSED LOCATION ONLY. CONFIRM THE EXACT LOCATION AND ROUTING WITH THE ON SITE T-MOBILE CONSTRUCTION MANAGER PRIOR TO STARTING WORK.

ABBREVIATIONS

AC	AIR CONDITIONER	JT	JOINT
AFF	ABOVE FINISHED FLOOR	LAM	LAMINATED
AFG	ABOVE FINISHED GRADE	LF	LINEAL FOOT
AFS	ABOVE FINISHED SLAB	MANUF	MANUFACTURER
ALUM	ALUMINUM	MAX	MAXIMUM
	ANCHOR BOLT	MECH	MECHANICAL
	ANGLE	MH	MANHOLE
ARCH	ARCHITECTURAL	MM	MILLIMETER
BTS	BASE TRANSMISSION SYSTEM	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BEAM	MPH	MILES PER HOUR
BOT	BOTTOM	MTL	METAL
B.O.	BOTTOM OF	NIC	NOT IN CONTRACT
BOC	BOTTOM OF CONCRETE	NOM	NOMINAL
BOS	BOTTOM OF STEEL	NITS	NOT TO SCALE
	CONTROL JOINT	OC	ON CENTER
	CENTER LINE	OD	OUTSIDE DIAMETER
CLG	CEILING	OH	OVERHEAD
CLR	CLEAR	OPNG	OPENING
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
COL	COLUMN	(P)	PROPOSED
CONC	CONCRETE	PCS	PERSONAL COMMUNICATION SYSTEM
CONST	CONSTRUCTION	P	PLATE
CONT	CONTINUOUS	PR	PAIR
CTR	CENTER	PSI	POUNDS PER SQUARE INCH
DIA / Ø	DIAMETER	PSF	POUNDS PER SQUARE FOOT
DTL	DETAIL	PT	PRESSURE TREATED
	EXISTING	RAD	RADIUS
EA	EACH	RD	ROOF DRAIN
	EXPANSION JOINT	REINF	REINFORCED/REINFORCING
ELEC	ELECTRIC/ELECTRICAL	REQ'D	REQUIRED
	ELEVATION	RM	ROOM
EQ	EQUAL	R/W	RIGHT OF WAY
EW	EACH WAY	SCHED	SCHEDULE
EXP	EXPANSION	SECT	SECTION
EXT	EXTERIOR	SF	SQUARE FOOT
	FLOOR DRAIN	SIM	SIMILAR
FIN	FINISH	SQ FT	SQUARE FOOT
FIN FLR	FINISH FLOOR	SS	STAINLESS STEEL
FLR	FLOOR	STD	STANDARD
FTG	FOOTING	STL	STEEL
GA	GAUGE	STRUC	STRUCTURAL
GALV	GALVANIZED	TEMP	TEMPORARY
GYP	GYPSUM	THK	THICK
GB	GYPSUM BOARD	T.O.	TOP OF
HM	HOLLOW METAL	TOS	TOP OF STEEL
HOR	HORIZONTAL	TOC	TOP OF CONCRETE
HR	HOUR	TYP	TYPICAL
	HEIGHT	UNO	UNLESS NOTED OTHERWISE
HVAC	HEATING VENTILATION AIR CONDITIONING	VCT	VINYL COMPOSITION TILE
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	W/	WITH
		WWW	WELDED WIRE MESH

LEGENDS & SYMBOLS



SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS IN ACCORDANCE WITH IBC 2018 SECTION 1704.

SOILS/GEOTECHNICAL:

- SHORING INSTALLATION AND MONITORING
- OBSERVE AND MONITOR EXCAVATION
- VERIFY SOIL BEARING _____ psf BEARING
- SUBSURFACE DRAINAGE PLACEMENT
- VERIFY FILL MATERIAL AND COMPACTION
- VERIFY CONDITIONS AS ANTICIPATED
- PILE PLACEMENT (AUGER CAST/DRIVEN PILE)
- OTHER _____

REINFORCED CONCRETE:

- REINFORCING STEEL AND CONCRETE PLACEMENT
- PRESTRESSED/PRECAST CONCRETE FABRICATION AND ERECTION
- BATCH PLANT INSPECTION
- SHOTCRETE
- GROUTING
- OTHER _____

STRUCTURAL STEEL:

- FABRICATION AND SHOP WELDS
- ERECTION AND FIELD WELDS AND BOLTING
- OTHER: _____

STRUCTURAL ALUMINUM:

- FABRICATION AND SHOP WELDS
- ERECTION AND FIELD WELDS AND BOLTING
- OTHER: _____

STRUCTURAL MASONRY:

- CONTINUOUS
- PERIODIC
- OTHER: _____

MISCELLANEOUS:

- OTHER: _____

ANCHORING TO CONCRETE:

- BOLTS INSTALLED IN CONCRETE
- POST-INSTALLATION ADHESIVE ANCHORS
- POST-INSTALLATION MECHANICAL ANCHORS



PROJECT INFORMATION:

**OLYMPIA LACEY
AMTRAK/PSE/LP HOA
SE05317B**

**59TH LP SE & STOCKTON ST SE
LACEY, WA 98513**

ISSUED FOR:

BUILDING PERMIT

REVISION HISTORY:

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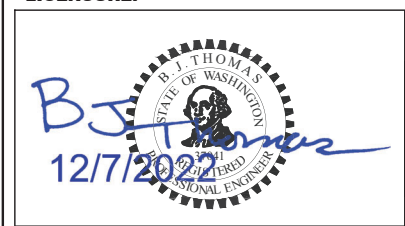
PLANS PREPARED BY:

**B. J. THOMAS, P.E.
7607 80TH AVE NE
MARYSVILLE, WA 98270
206-851-1106**

DRAWN BY: _____ CHK. BY: _____

JL _____ BJ _____

LICENSURE:



DRAWING INFORMATION:

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DRAWING TITLE:

GENERAL NOTES

DRAWING NUMBER:

G-1

CALL TWO WORKING DAYS BEFORE YOU DIG

811

NATIONAL UTILITIES UNDERGROUND LOCATE

ELECTRIC - RED
SEWER - GREEN
GAS/OIL - YELLOW
SURVEY - PINK

TEL/CATV - ORANGE
PROPOSED - WHITE
WATER - BLUE

SAFETY PRECAUTION SHALL BE IMPLEMENTED BY CONTRACTOR(S) AT ALL TRENCHING IN ACCORDANCE WITH CURRENT OSHA STANDARDS

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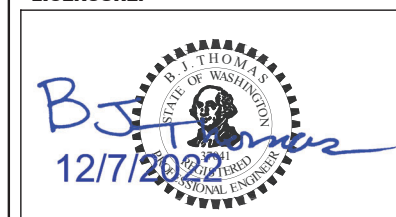
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LICENSURE:



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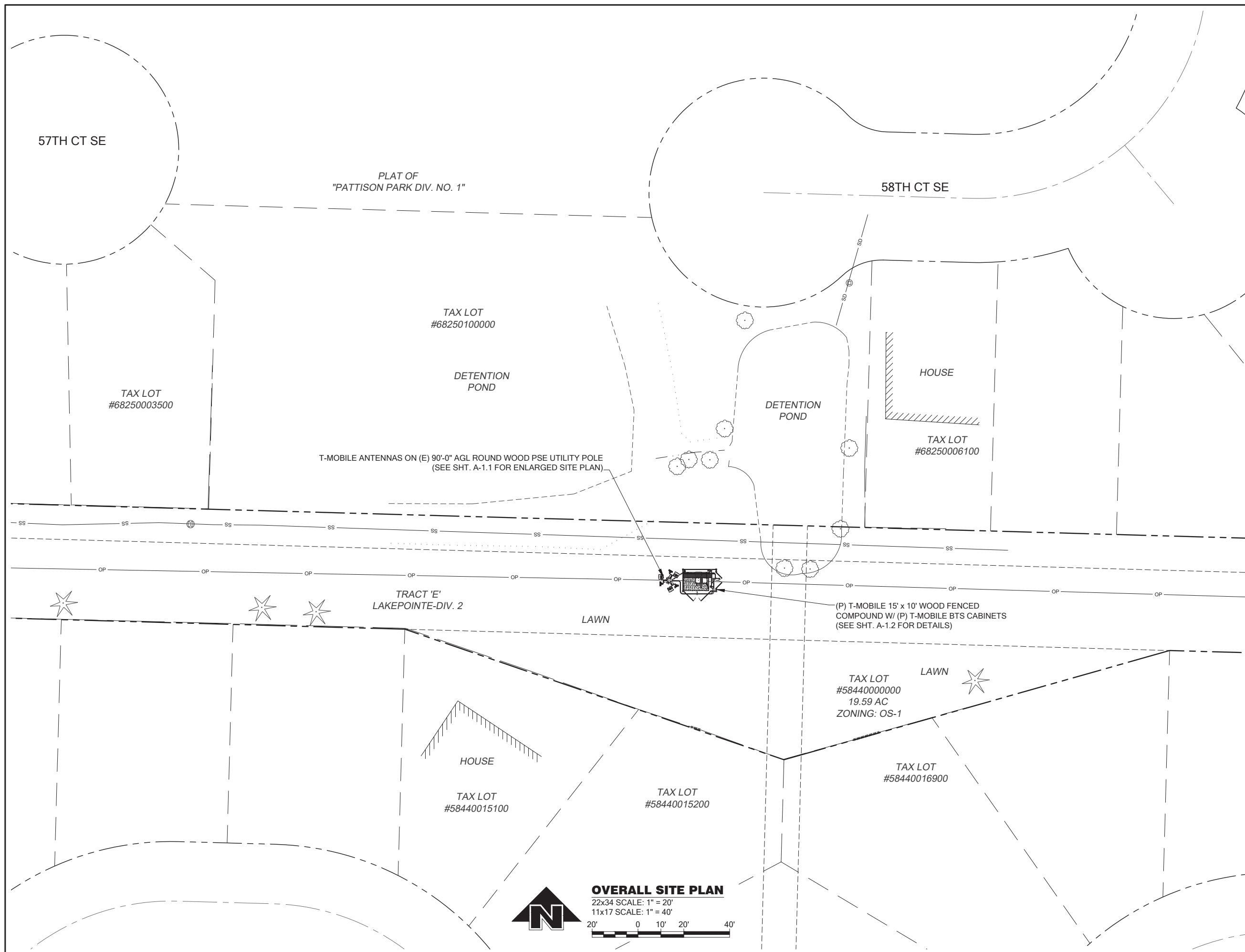
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DRAWING TITLE:

**OVERALL
SITE PLAN**

DRAWING NUMBER:

A-1



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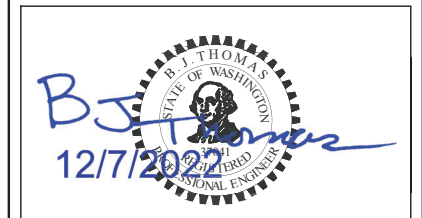
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DRAWN BY: CHK. BY:

JL

BJ

LICENSURE:



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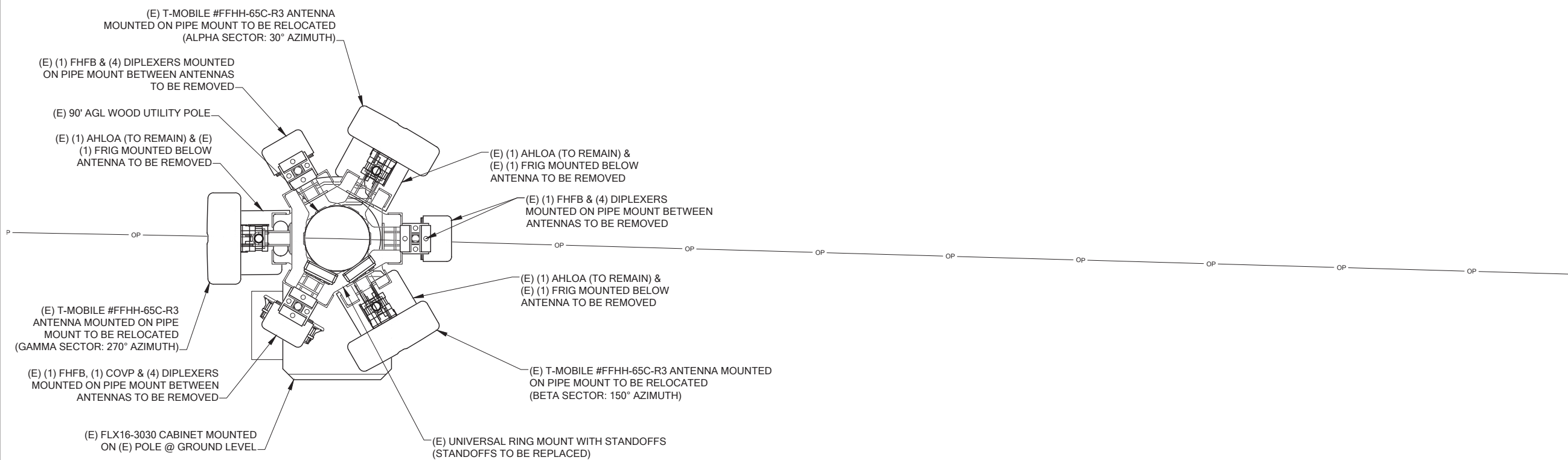
DRAWING TITLE:

**EXISTING
ENLARGED
SITE PLAN**

DRAWING NUMBER:

A-1.1

NOTE:
ALL UNUSED EQUIPMENT & MOUNTS MOUNTED ON POLE @ GROUND LEVEL TO BE REMOVED.



EXISTING ENLARGED SITE PLAN

22x34 SCALE: 3/4" = 1'
11x17 SCALE: 3/8" = 1'

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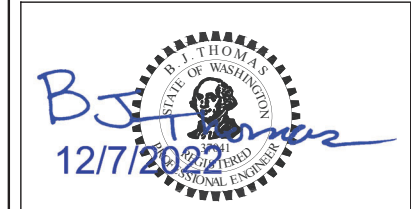
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JL BJ

LICENSURE:



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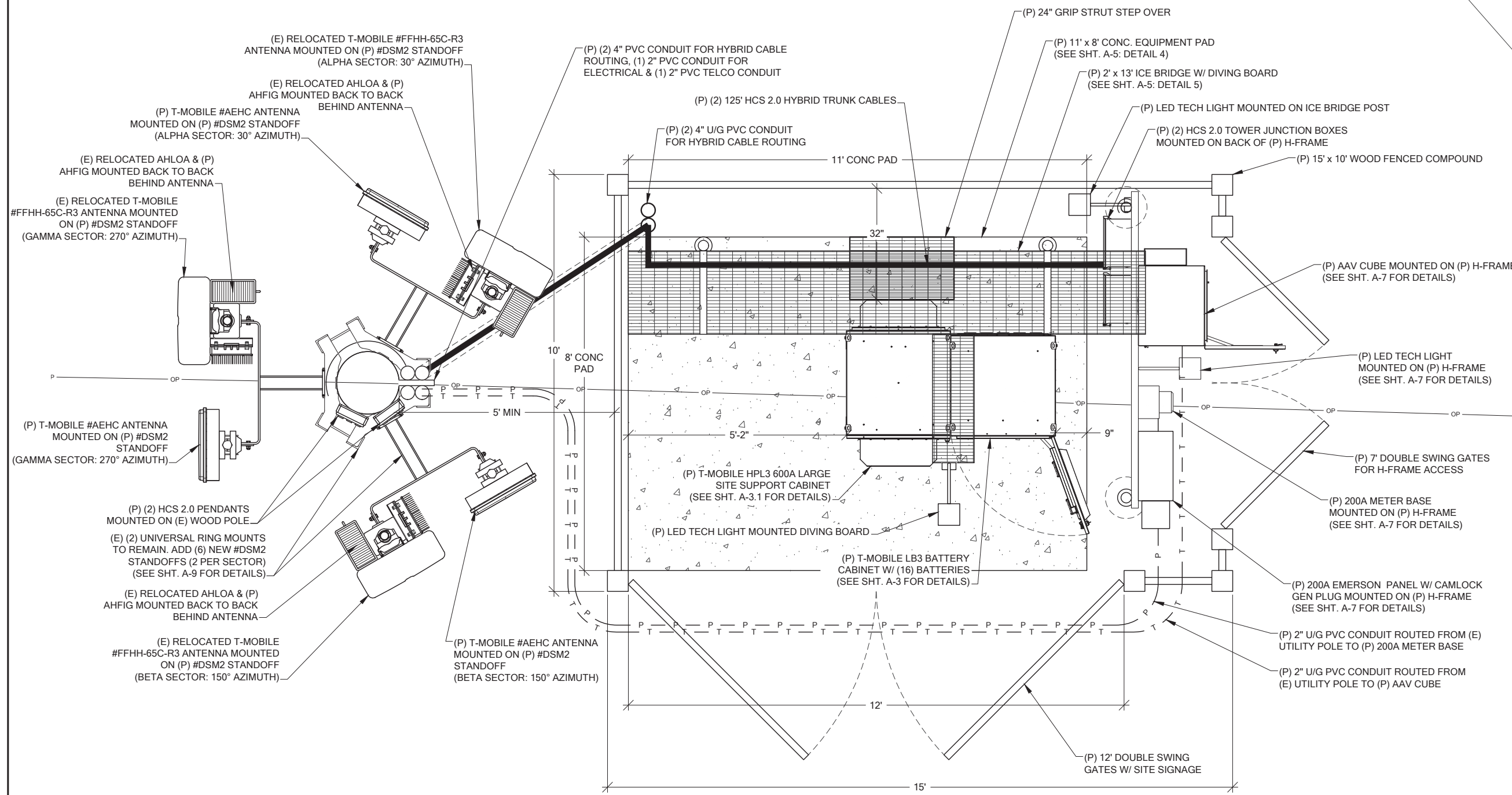
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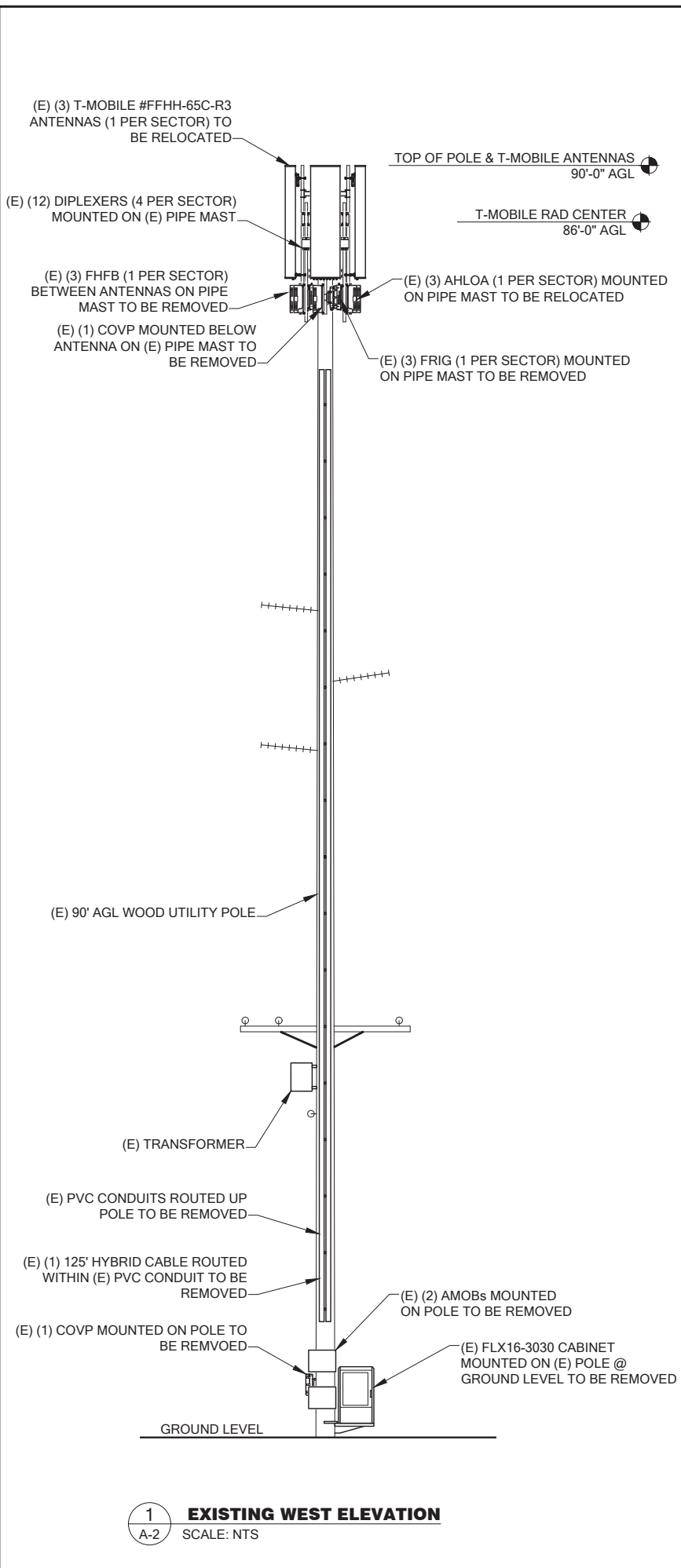
**PROPOSED
ENLARGED
SITE PLAN**

DRAWING NUMBER:

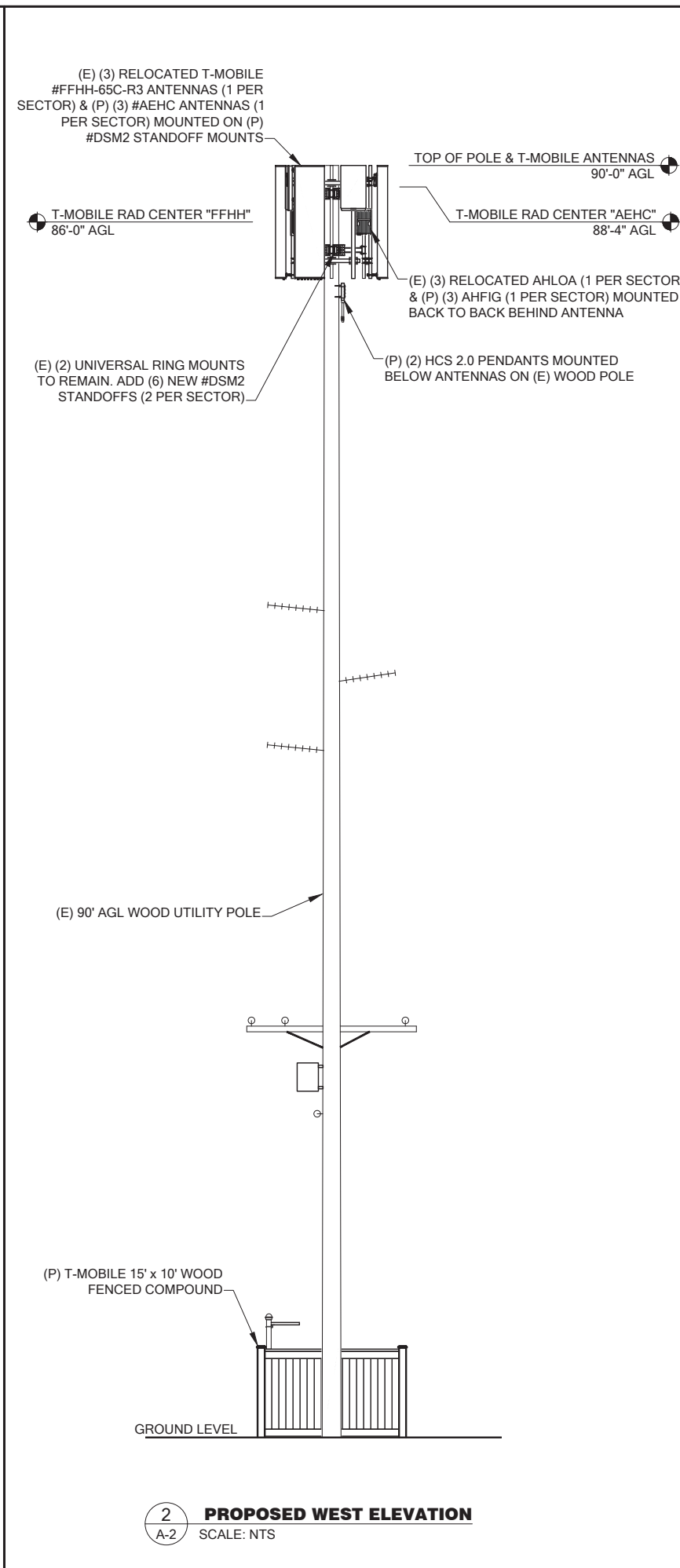
A-1.2



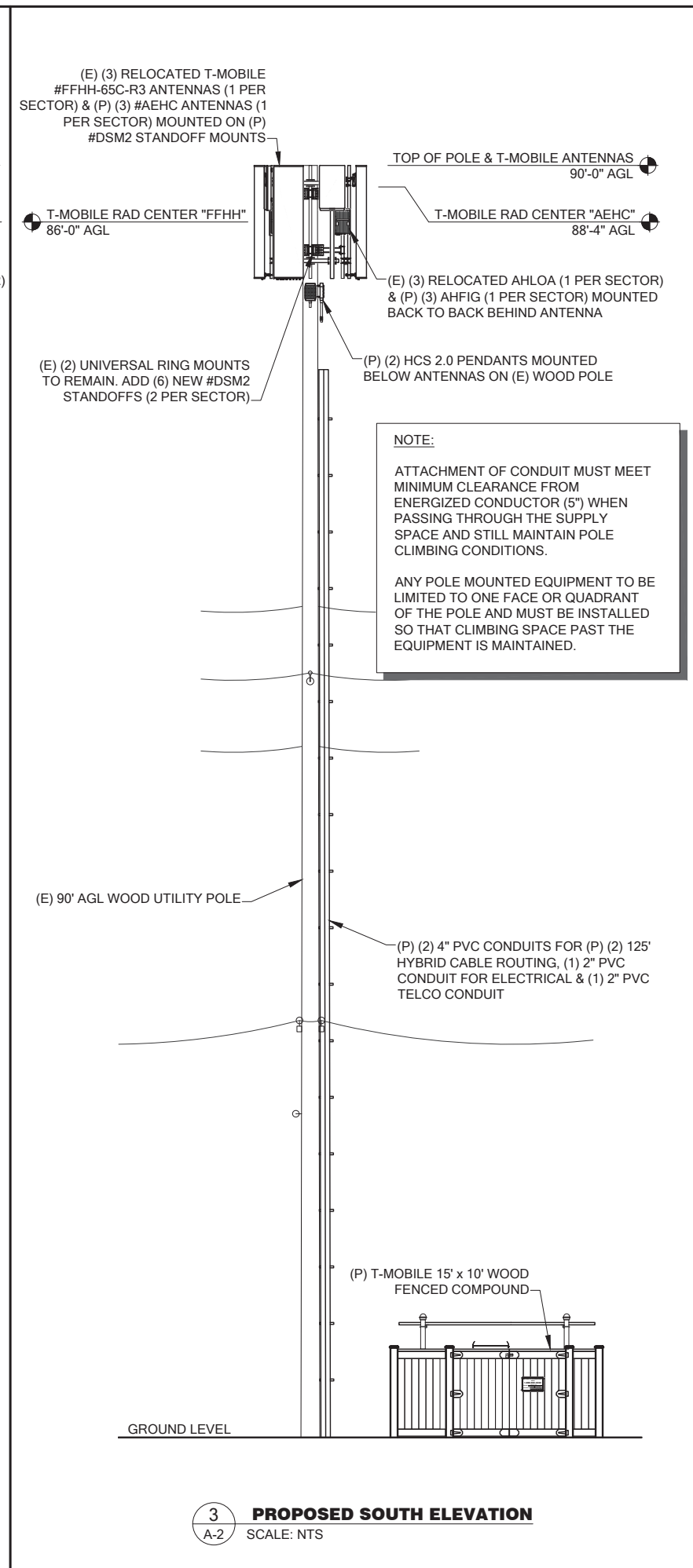
PROPOSED ENLARGED SITE PLAN
22x34 SCALE: 1/4" = 1'
11x17 SCALE: 1/8" = 1'



1 **EXISTING WEST ELEVATION**
A-2 SCALE: NTS



2 **PROPOSED WEST ELEVATION**
A-2 SCALE: NTS



3 **PROPOSED SOUTH ELEVATION**
A-2 SCALE: NTS



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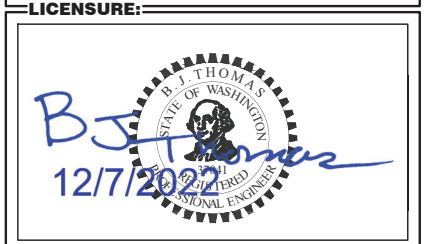
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 MARYSVILLE, WA 98270
 206-851-1106

DRAWN BY: JL **CHK. BY:** BJ



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DRAWING TITLE:
SITE ELEVATION

DRAWING NUMBER:
A-2

"FINAL" SITE LOADING CHART

SECTOR	COLOR	POSITION	ANTENNA MODEL #	VENDOR	AZIMUTH (TN)	RADIATION CENTER	HYBRID CABLE LENGTH	COAX CABLES	ADDITIONAL EQUIPMENT				
ALPHA	RED	1	FFHH-65C-R3	COMMSCOPE	30°	86'-0" AGL	(2) 125' HCS 2.0 HYBRID TRUNK CABLES	N/A	(1) AHLOA				
		2	AEHC	NOKIA		88'-4" AGL			(1) AHFIG				
BETA	GREEN	1	FFHH-65C-R3	COMMSCOPE	150°	86'-0" AGL			(2) 125' HCS 2.0 HYBRID TRUNK CABLES	N/A	(1) AHLOA		
		2	AEHC	NOKIA		88'-4" AGL					(1) AHFIG		
GAMMA	BLUE	1	FFHH-65C-R3	COMMSCOPE	270°	86'-0" AGL					(2) 125' HCS 2.0 HYBRID TRUNK CABLES	N/A	(1) AHLOA
		2	AEHC	NOKIA		88'-4" AGL							(1) AHFIG

RFDS	
PROJECT TYPE	ANCHOR
RFDS VERSION	3 - 7/26/2022



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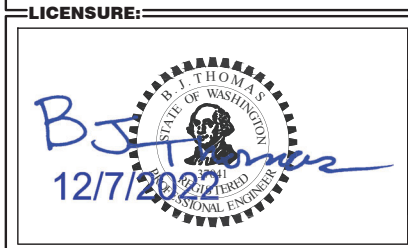
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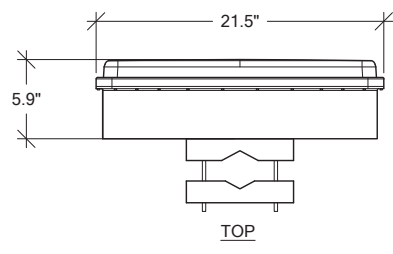
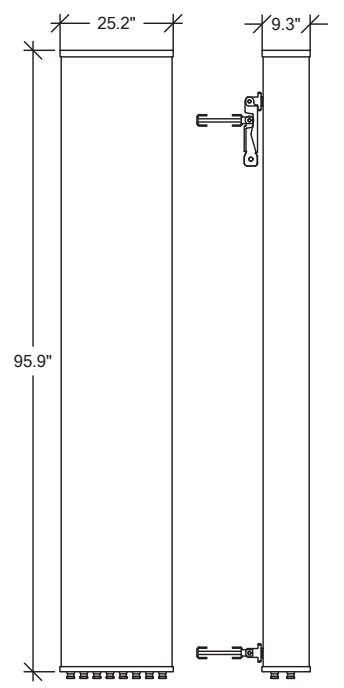
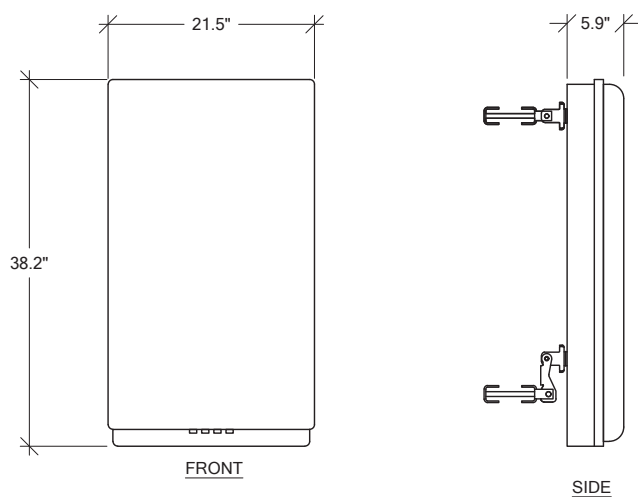


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DRAWING TITLE:
RF DETAILS

DRAWING NUMBER:
RF-1

MANUFACTURER: NOKIA
 MODEL: AEHC
 WEIGHT: 108 LBS
 DIMENSIONS: 38.2" x 21.5" x 5.9"



COMMSCOPE ANTENNA DATA				
MECHANICAL SPECIFICATIONS				
PART NUMBER	HEIGHT	WIDTH	DEPTH	WEIGHT
FFHH-65C-R3	95.9 in	25.2 in	9.3 in	127.6 lbs
CONNECTORS	STANDARD MOUNTING HARDWARE			
(8) 7-16 DIN	INCLUDED			
ELECTRICAL SPECIFICATIONS				
FREQUENCY	POLARIZATION	GAIN	AZIMUTH B.W.	
617-2360 MHz	±45°	15.8-19.6 dBi	55° - 67°	
	VSWR	MAX INPUT POWER	ELEVATION B.W.	
	<1.5:1	300 WATTS	4.4° - 10.2°	

1 AEHC DETAIL
 RF-1 SCALE: NTS

2 FFHH-65C-R3 DETAIL
 RF-1 SCALE: NTS

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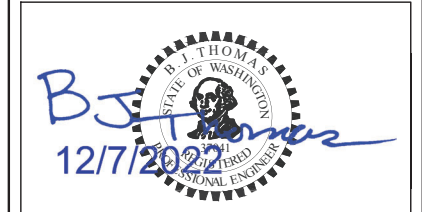
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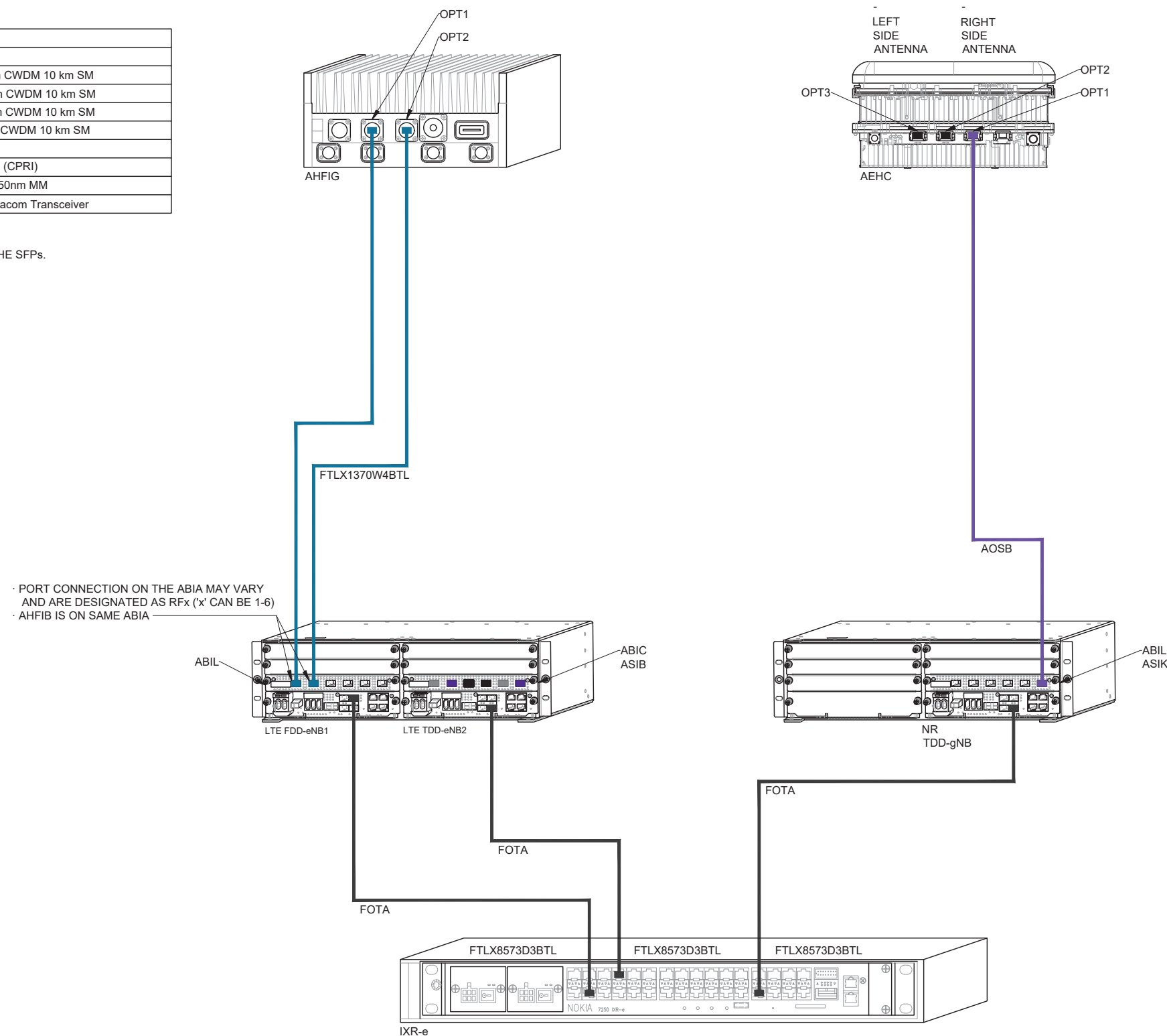
SFP DETAILS

DRAWING NUMBER:

RF-1.1

NOKIA ITEM CODE/SECTOR	PRODUCT NAME
474335A	x 2 FOCZ QSFP+ 4x10 km SM
474385A	x 2 FOUF SFP+ 10GBASE-LR 1271 nm CWDM 10 km SM
474386A	x 2 FOUG SFP+ 10GBASE-LR 1291 nm CWDM 10 km SM
474387A	x 1 FOUH SFP+ 10GBASE-LR 1311 nm CWDM 10 km SM
474388A	x 1 FOUI SFP+ 10GBASE-LR 1331 nm CWDM 10 km SM
474829A	x 2 AOSB QSFP28 SM 10 km LC
FTLX1370W4BTL	x 4 SM SFP 1310 nm CPRI 9.8G 1.4km (CPRI)
473471A	x 3 FOTA Optical SFP+ 10GBase-SR 850nm MM
FTLX8573D3BTL	x 3 10Gb/s 850nm Multimode SFP+ Datacom Transceiver

NOTE:
JDSU AND EXFO GEAR CAN BE USED TO READ WAVELENGTH ON THE SFPs.



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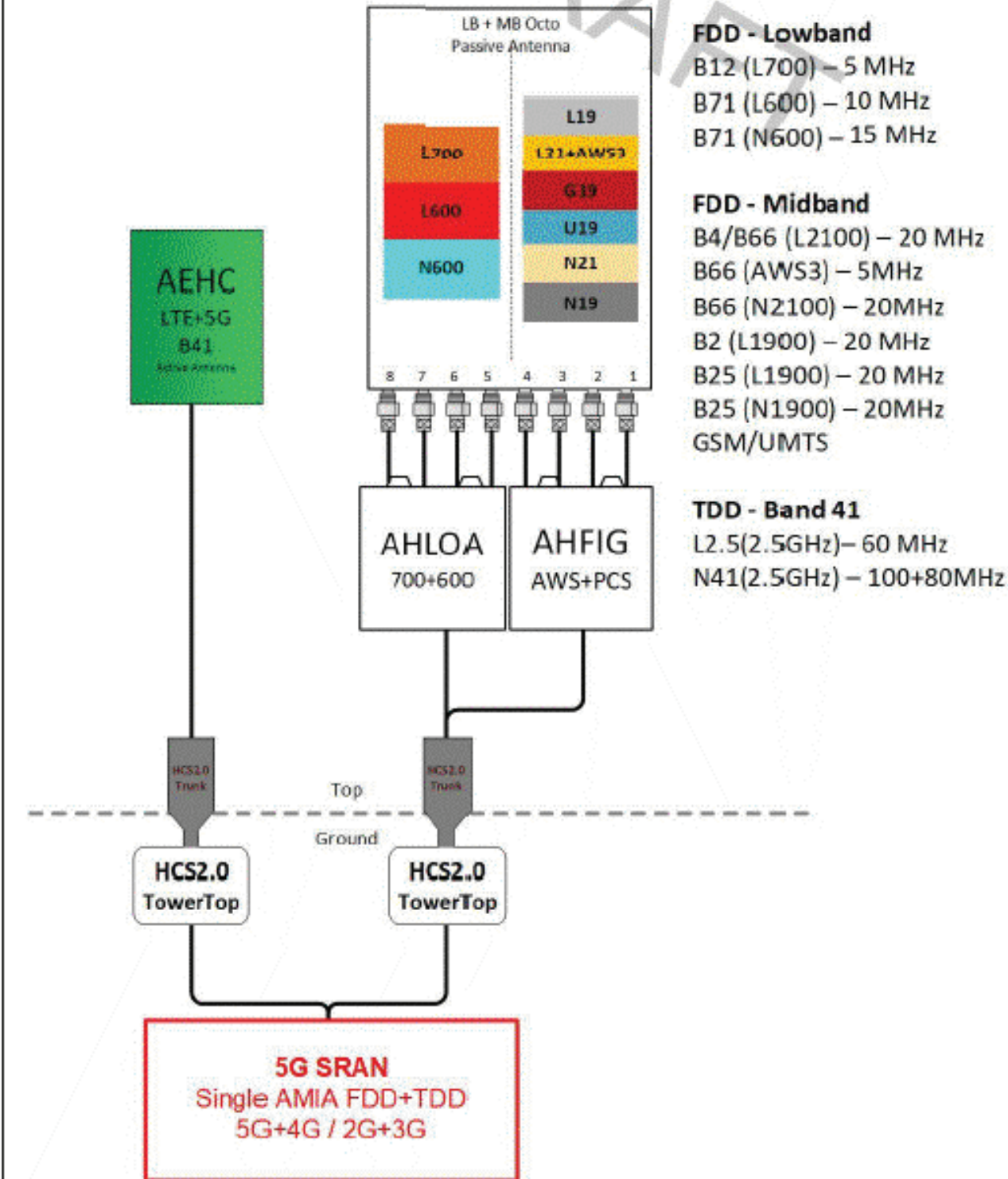
RF DETAILS

DRAWING NUMBER:

RF-2

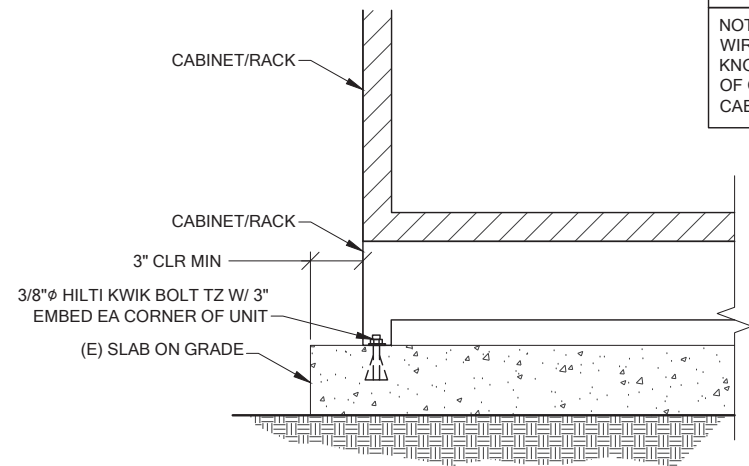
Configuration 56791EZ_SR

* For 5G and LTE Airscale BB dimensioning refer to Fiber Port matrices.
(Alpha, Beta & Gamma)



Notes:

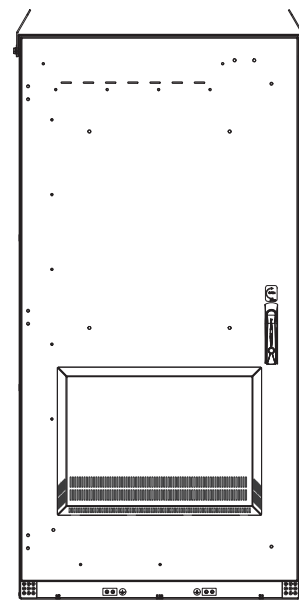
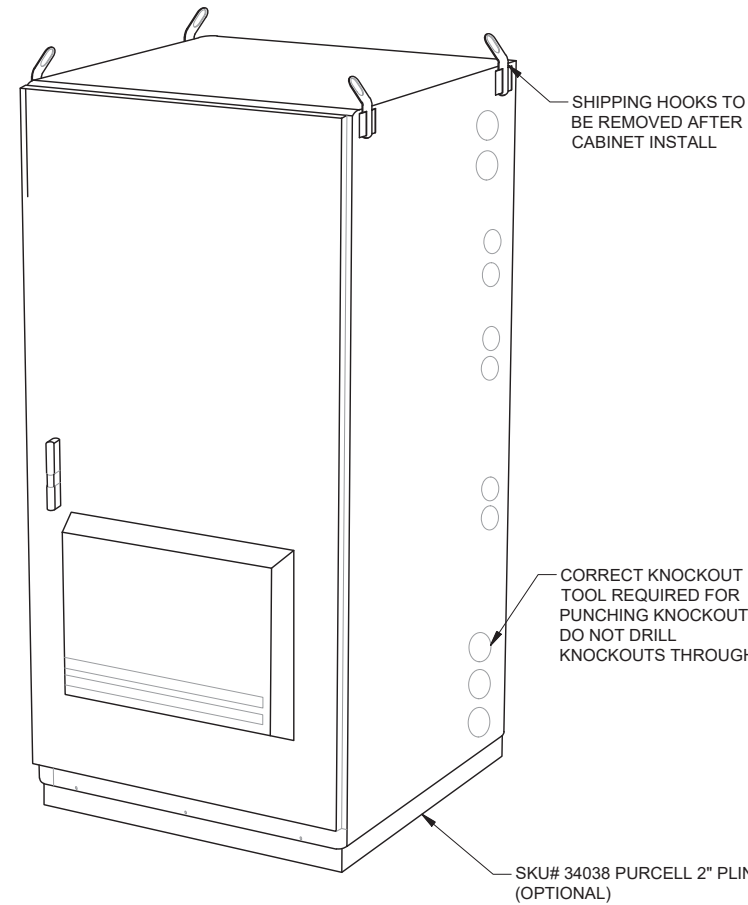
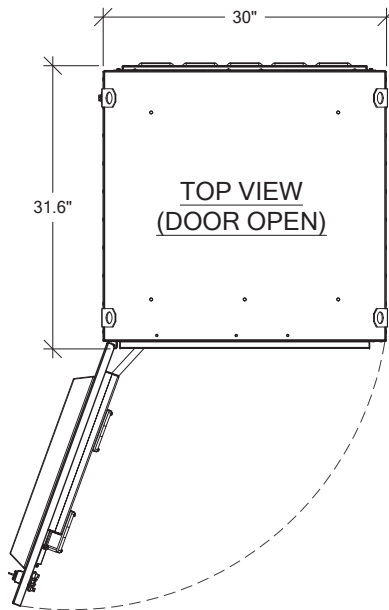
PURCELL "HPL3" BATTERY CABINET
MANUFACTURER: PURCELL
HEIGHT: 60.4" DEPTH: 31.6" WIDTH: 30"
MAX WEIGHT: 2206 lbs
OPTIONAL: AIR CONDITIONER, AC POWER COMPARTMENT, AND REAR PANEL.
NOTE: WIRES RUN THROUGH PROVIDED KNOCKOUT FOLLOW PROPER INSTALLATION OF GASKET BEFORE MATING THE 2 CABINETS.



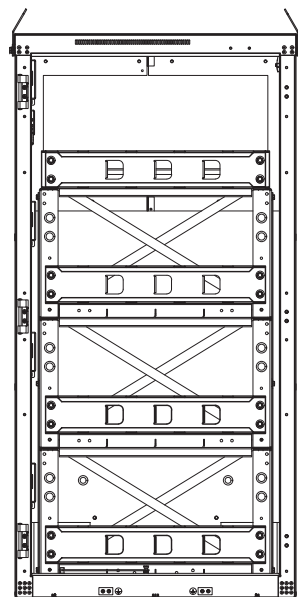
1
A-3 **CABINET ANCHORAGE DETAIL**
SCALE: NTS

BATTERY NOTE:

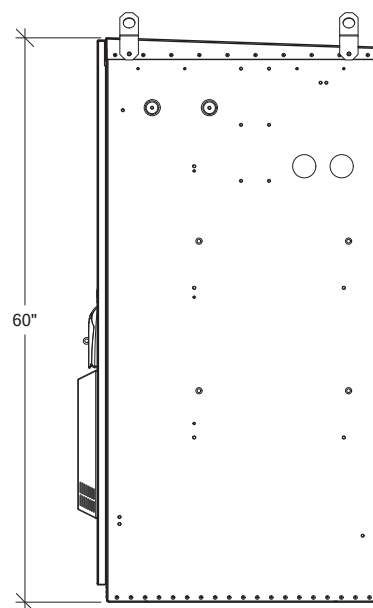
MAXIMUM OF (4) STRINGS OF (4) (16 CELLS TOTAL) OF VALVE REGULATED LEAD ACID BATTERIES (VRLA) MODEL POWERSAFE SBS 190F WITH IMMOBILIZED ELECTROLYTE TECHNOLOGY. TOTAL CAPACITY 36.48 KWH. COMPLIANCE WITH INTERNATIONAL FIRE CODE SECTION 1206.2 IS NOT REQUIRED.



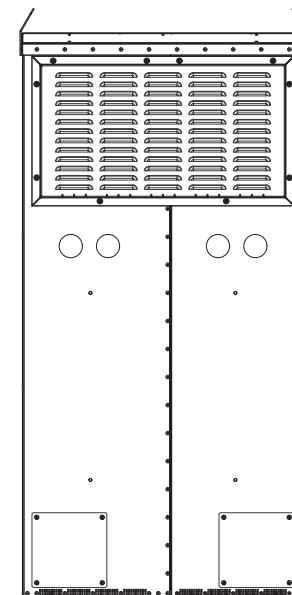
FRONT
(DAC DOOR)



FRONT
(DOOR REMOVED)



RIGHT VIEW
(DAC DOOR)



REAR VIEW

2
A-3 **PURCELL "HPL3" BATTERY CABINET DETAILS**
SCALE: NTS



PROJECT INFORMATION:

**OLYMPIA LACEY
AMTRAK/PSE/LP HOA
SE05317B**

**59TH LP SE & STOCKTON ST SE
LACEY, WA 98513**

ISSUED FOR:

BUILDING PERMIT

REVISION HISTORY:

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1	11/15/2022	ISSUED DESIGN REVIEW	BJT

PLANS PREPARED BY:

B. J. THOMAS, P.E.
7607 80TH AVE NE
MARYSVILLE, WA 98270
206-851-1106

DRAWN BY: CHK. BY:

JL

BJ

LICENSURE:



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DRAWING TITLE:

**BTS EQUIPMENT
DETAILS**

DRAWING NUMBER:

A-3

PROJECT INFORMATION:

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AMTRAK/PSE/LP HOA
SE05317B**

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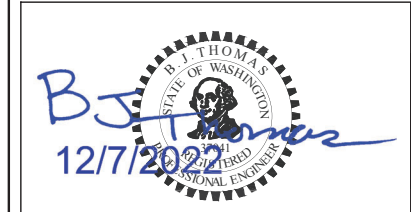
PLANS PREPARED BY:

**B. J. THOMAS, P.E.
7607 80TH AVE NE
MARYSVILLE, WA 98270
206-851-1106**

DRAWN BY: CHK. BY:

JL BJ

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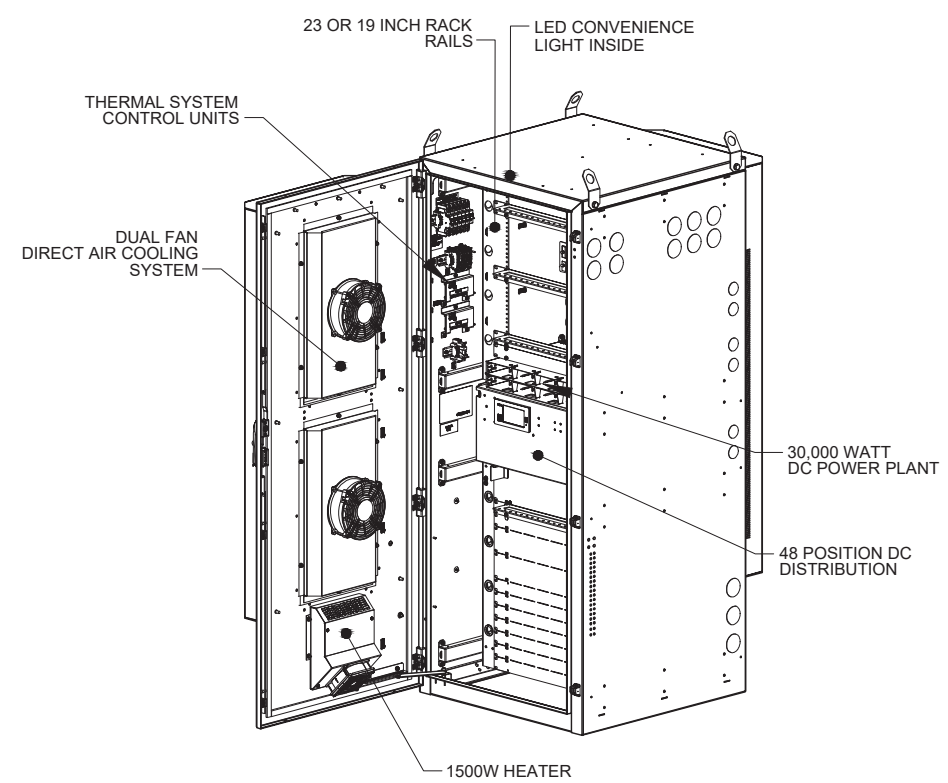
DRAWING TITLE:

**BTS EQUIPMENT
DETAILS**

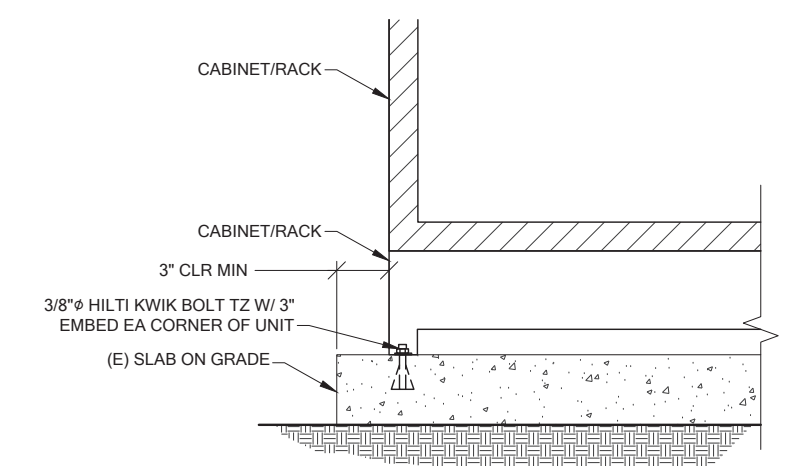
DRAWING NUMBER:

A-3.1

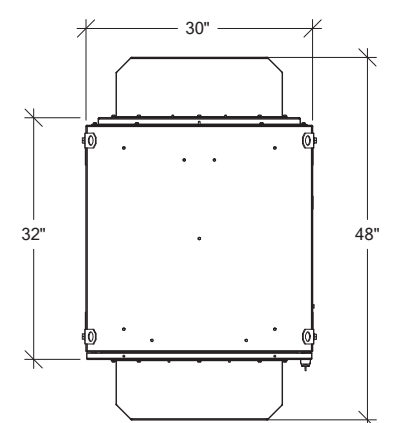
PURCELL "HPL3" 600A LARGE SITE
SUPPORT CABINET SPECS:
MANUFACTURER: PURCELL
HEIGHT: 72" DEPTH: 48" WIDTH: 30"
CABINET WEIGHT: 430LBS
NOTE:
ADDITIONAL KNOCKOUTS MAY BE REQUIRED
AND CAN BE DRILLED ON SITE AS
NECESSARY. FOR CABINETS STARTING AT
501 THERE WILL BE A TOTAL OF (8)
KNOCKOUTS (2) HORIZONTAL ROWS OF (4)



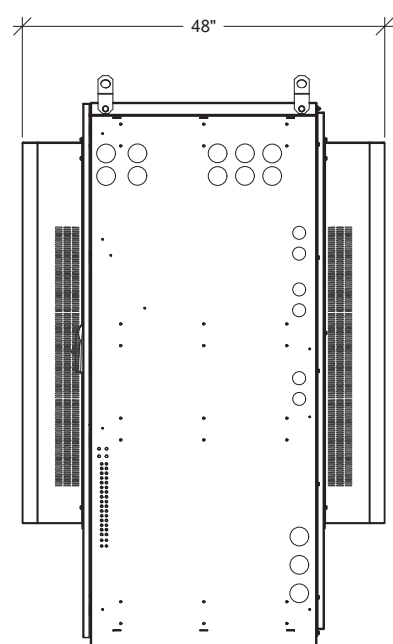
ISO VIEW



1 CABINET ANCHORAGE DETAIL
A-3 SCALE: NTS



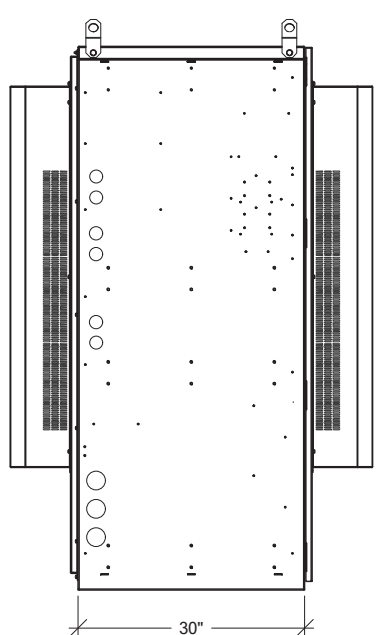
TOP VIEW



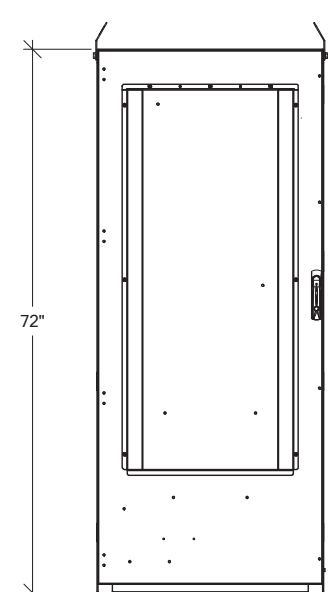
RIGHT VIEW

RU	Purcell HPL3 Rack Assignment	Comments
1	Future Equipment	Future equipment
2		
3	Fiber mux 2	Fiber mux 2
4	Fiber mux 2	
5	Airscale # 3	
6		
7	Fiber mux 1	Fiber mux 2
8		
9	Airscale # 2	
10		
11	Fiber mux 1	Fiber mux 2
12		
13	Airscale # 1	
14		
15	Fiber mux 1	Fiber mux 2
16	Rectifier Shelf	
	Breaker Shelf	
1	Booster # 1	
2	Booster # 2	
3	AAV NID	
4		
5	CSR / SAS / IXR e	
6		
7	Place holder for future module/equipment	Future Equipment
8		
9		
10	Legacy BB # 2	
11		
12	Legacy BB # 1	
13		
14		
15	FSEE on FMAB	
16		

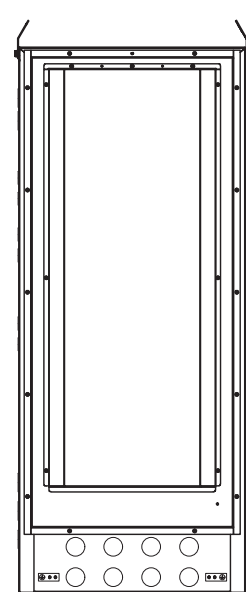
INTERNAL ROUTING



LEFT VIEW

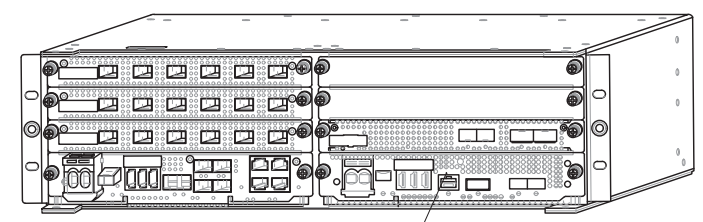
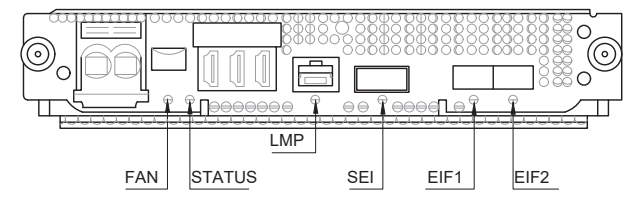
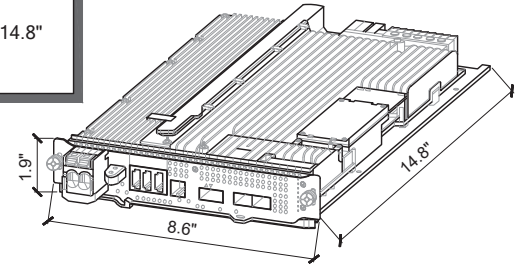


FRONT VIEW



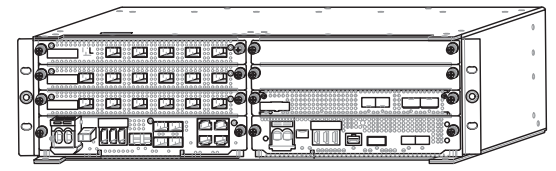
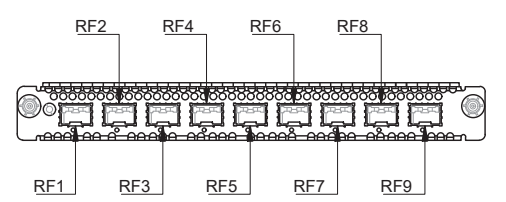
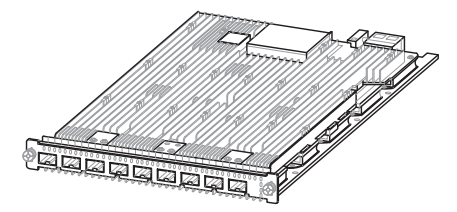
REAR VIEW

MANUFACTURER: NOKIA
 MODEL: ASIL
 DIMENSION (HxWxD) 1.9" x 8.6" x 14.8"
 WEIGHT: 6.8 LBS



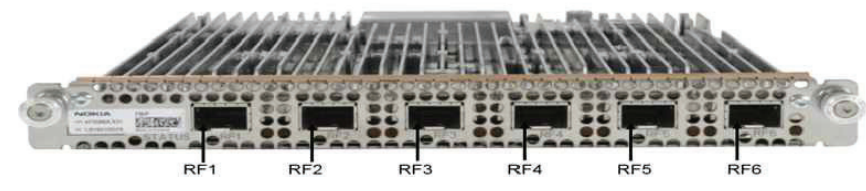
PROPOSED ASIL LOCATED WITHIN AMIA RACK
1 ASIL DETAIL
 SCALE: NTS

MANUFACTURER: NOKIA
 MODEL: ABIO
 DIMENSION (HxWxD) 0.9" x 8.6" x 14.3"
 WEIGHT: 5.8 LBS



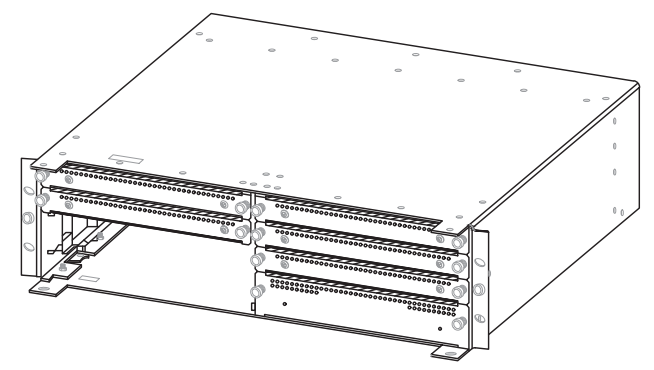
2 ABIO DETAIL
 SCALE: NTS

MANUFACTURER: NOKIA
 MODEL: ABIA AIR SCALE
 DIMENSION (HxWxD) 1.9" x 8.3" x 14.8"
 WEIGHT: 4.63 LBS



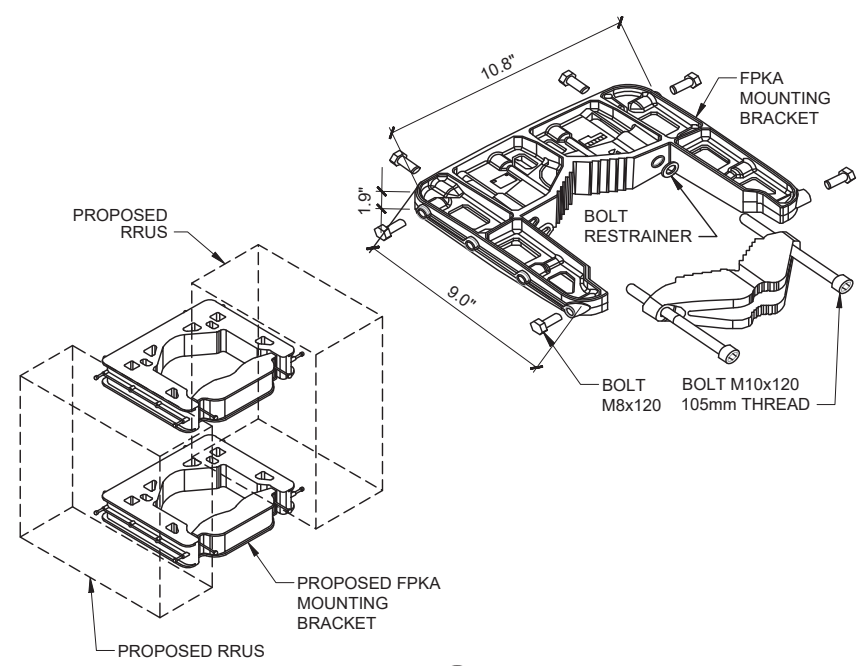
3 ABIA DETAIL
 SCALE: NTS

MANUFACTURER: NOKIA
 MODEL: AMIA
 DIMENSION (HxWxD) 5.1" x 15.7" x 17.6"
 WEIGHT: 11.2 LBS (UNIT ONLY)

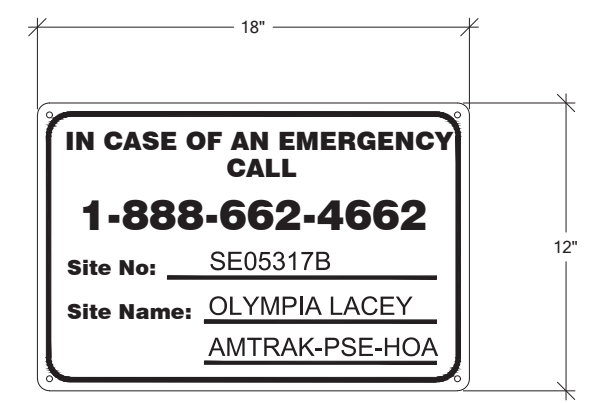


4 AMIA DETAIL
 SCALE: NTS

NOTE:
 -PROPOSED RRUs TO BE MOUNTED VERTICALLY ONLY
 -MOUNTING PIPE NOT SHOWN FOR CLARITY



5 FPKA DETAIL
 SCALE: NTS



6 SITE SIGNAGE DETAIL
 SCALE: NTS



PROJECT INFORMATION:
OLYMPIA LACEY AMTRAK/PSE/LP HOA SE05317B
 59TH LP SE & STOCKTON ST SE
 LACEY, WA 98513

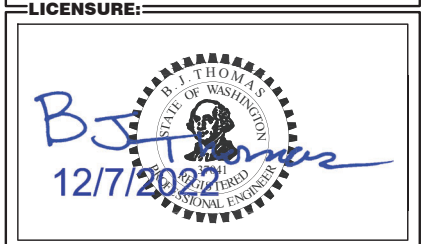
ISSUED FOR:
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PLANS PREPARED BY:
B. J. THOMAS, P.E.
 7607 80TH AVE NE
 MARYSVILLE, WA 98270
 206-851-1106

DRAWN BY: JL **CHK. BY:** BJ



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DRAWING TITLE:
GENERAL DETAILS

DRAWING NUMBER:
A-4

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AMTRAK/PSE/LP HOA
SE05317B**

**59TH LP SE & STOCKTON ST SE
LACEY, WA 98513**

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MARYSVILLE, WA 98270
206-851-1106**

DRAWN BY: CHK. BY:

JL BJ

LICENSURE:



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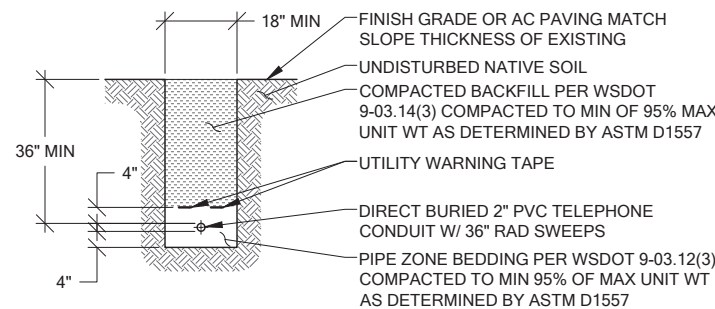
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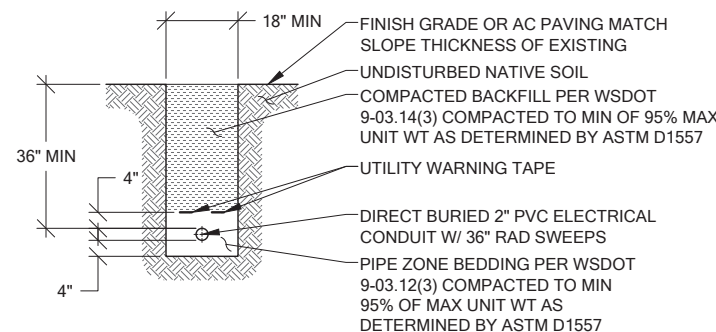
GENERAL DETAILS

DRAWING NUMBER:

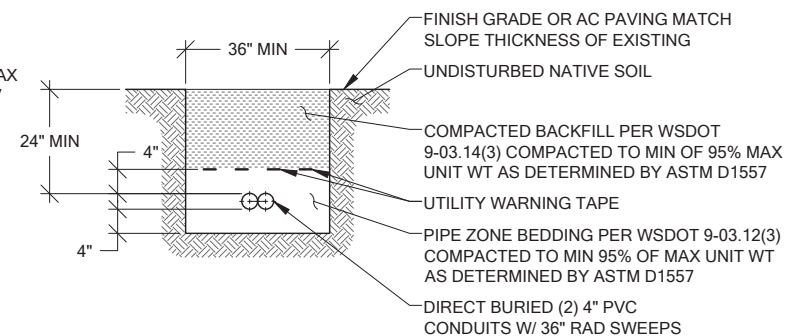
A-5



1 TELCO SERVICE TRENCH
A-5 SCALE: NTS



2 POWER SERVICE TRENCH
A-5 SCALE: NTS



3 HYBRID CABLE TRENCH
A-5 SCALE: NTS

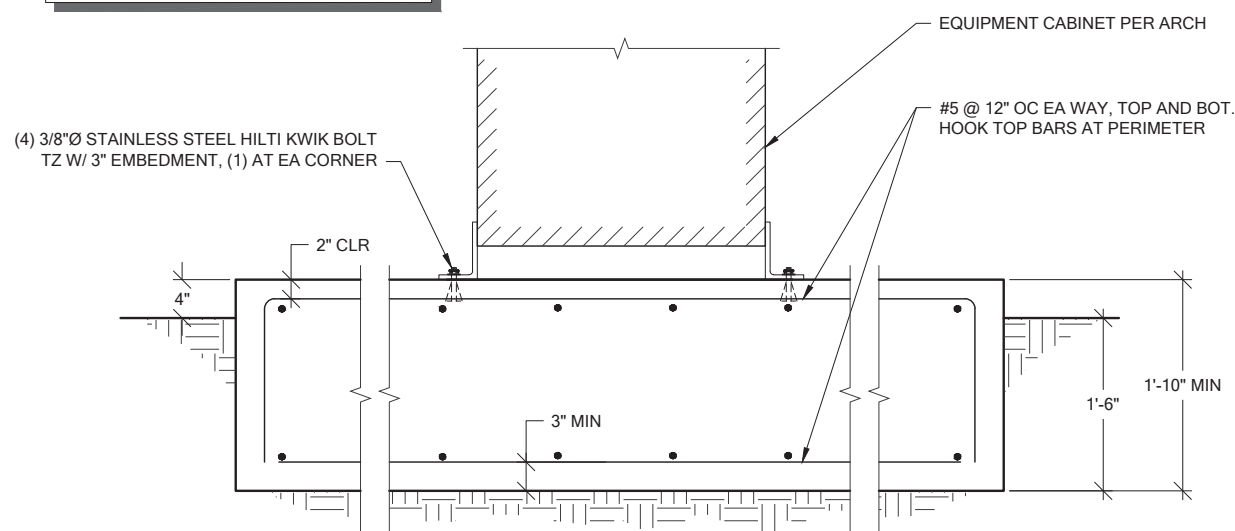
NOTE:

ANCHOR DETAIL- 1/2" DIAMETER ANCHOR BOLTS IF CAST IN PLACE WITH 6" DEPTH OR 5/8" DIAMETER HILTI KWIK HUS-EZ BOLTS IF POST-INSTALLED WITH 6" DEPTH.

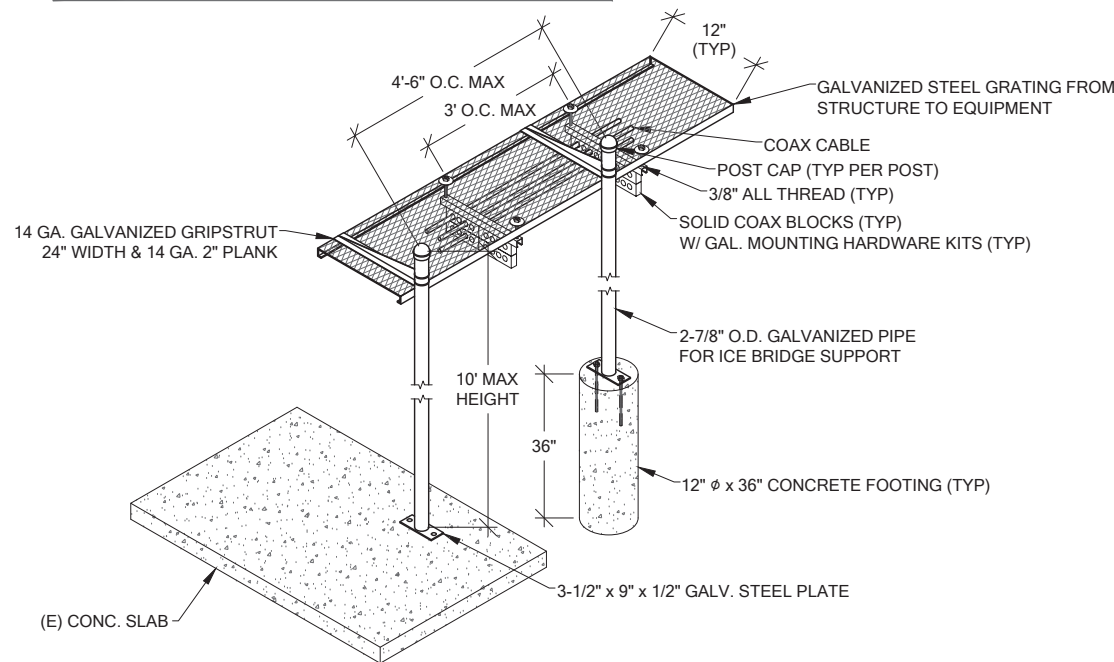
PLATE DETAIL- CARRIER CAN ALTERNATELY INSTALL A PRE-MANUFACTURED KIT FROM SITE PRO, SUCH AS THEIR PRODUCT "IB24D" OR "IB24B".

NOTE:

SEE STRUCTURAL ANALYSIS REPORT BY CG ENGINEERING DATED 12/05/2022.



4 CONG. EQUIPMENT SLAB DETAIL
A-5 SCALE: NTS



5 ICE BRIDGE DETAIL
A-5 SCALE: NTS

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SE05317B**

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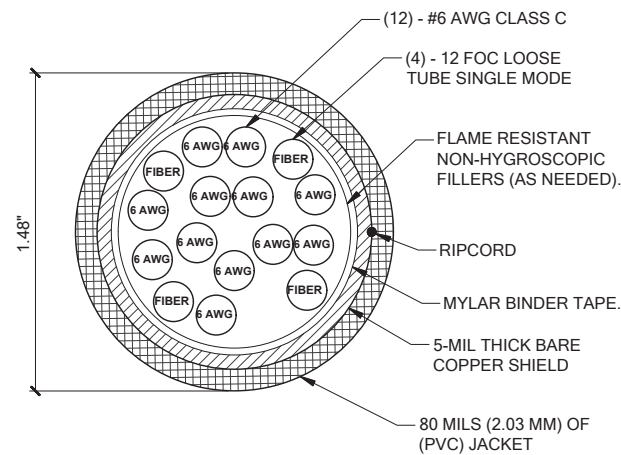
DRAWING TITLE:

GENERAL DETAILS

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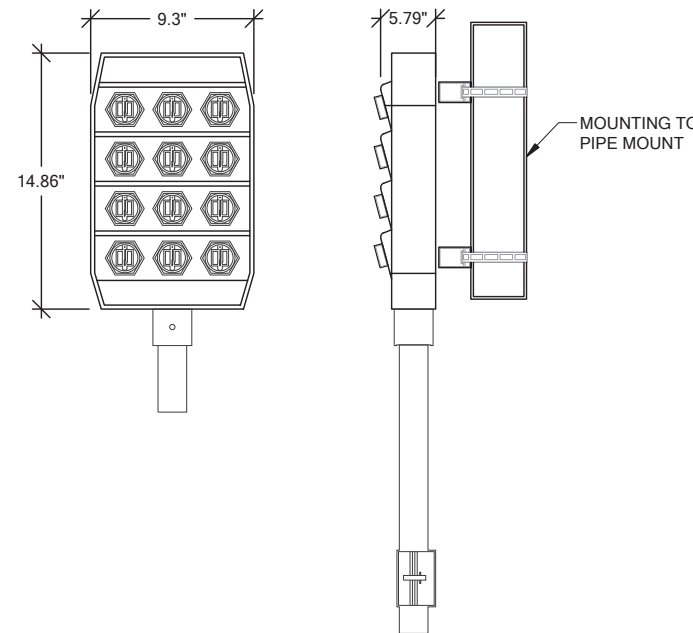
A-6

HYBRID CABLE		
STRUCTURE	# OF CABLES	LENGTH
UTILITY POLE	2	125'



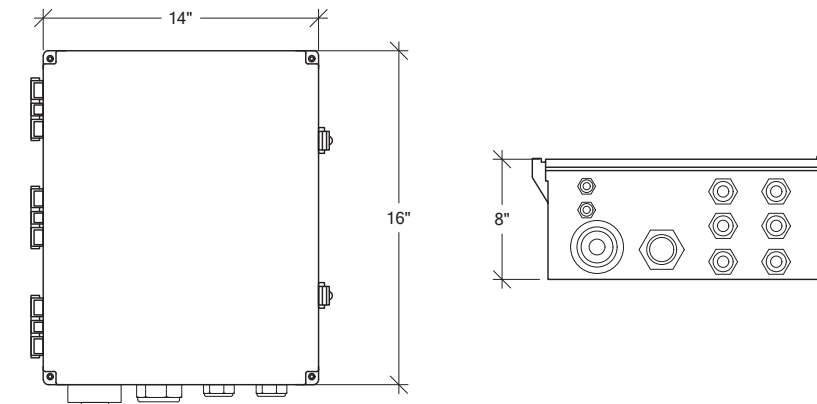
1 HYBRID TRUNK CABLE DETAIL
SCALE: NTS

MANUFACTURER: ALLIANCE CORPORATION
MODEL: ACFB05-HICAP-FULLASY-CRS
DIMENSION (HxWxD): 9.3" x 14.86" x 5.79"
WEIGHT: 8.76LBS
MOUNTING KIT: PROVIDED



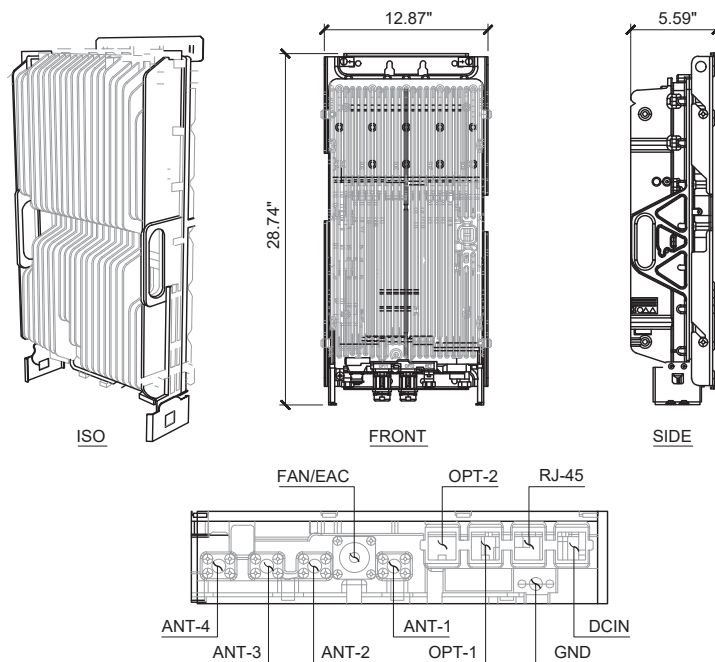
2 HCS 2.0 PENDANT DETAIL
SCALE: NTS

FIBER & POWER JUNCTION BOX W/ OVP
MANUFACTURER: COMMSCOPE
MODEL: FE-16148-OVP-B12
DIMENSION (HxWxD): 16" x 14" x 8"
WEIGHT: 23.5lbs



3 OVP/JUNCTION BOX DETAIL
SCALE: NTS

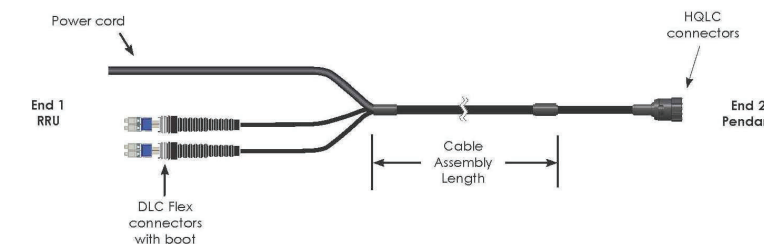
MANUFACTURER: NOKIA
MODEL: AHFIG
WEIGHT: 70.5 LBS
DIMENSION (LxWxD) w/ COVER: 28.74" x 12.87" x 5.59"



4 AHFIG DETAIL
SCALE: NTS

General Specifications

	HFT410-4SNOK2-xx	HFT410-4SNOK3-xx (for FASB)
Cable Type	HELIX® FiberFeed®	HELIX® FiberFeed®
Brand	HELIX® FiberFeed®	HELIX® FiberFeed®
Total Fiber Quantity	4	4
Fiber Type	Bend insensitive single mode fiber (G.657.A2)	Bend insensitive single mode fiber (G.657.A2)
Jacket Color	Black	Black
Dimensions		
Cable Weight	456.1 kg/km 306.5 lb/ktf	456.1 kg/km 306.5 lb/ktf
Breakout Length Fiber, end 1	815 mm 32 in	1560 mm 61 in
Breakout Length Power, end 1	895 mm 35 in	457 mm 18 in
Breakout Length Fiber, end 2	600 mm 24 in	600 mm 24 in
Diameter Over Jacket	1831 mm 0.72 in	1831 mm 0.72 in
Physical Specifications		
Minimum Bend Radius, loaded	365.8 mm 14.4 in	365.8 mm 14.4 in
Minimum Bend Radius, unloaded	221.0 mm 8.7 in	221.0 mm 8.7 in
Tensile Load, long term, maximum	801 N 180 lbf	801 N 180 lbf
Tensile Load, short term, maximum	2669 N 600 lbf	2669 N 600 lbf



5 HCS 2.0 HYBRID JUMPER DETAIL
SCALE: NTS

HELIX FiberFeed Hybrid Jumpers

Fiberfeed hybrid jumpers are constructed specifically for the conditions of the last few feet to the RRU.

Features

- Smallest cable diameter for high flexibility
- Corrugated aluminum shield resists bird/animal damage
- Exact fit to Pendant and RRU

Specifications

Cable Series	# of Power Conductors	# of Fibers	End 1 Power Breakout (inches)	End 1 Fiber Breakout (inches)	End 2 Fiber Breakout (inches)
Hybrid Jumpers					
10 AWG power conductor wire					
4 Single mode fibers					
HFT410-4SNOK2	4	4	35	32	24
HFT410-4SNOK3	4	4	18	61	24

Hybrid Jumpers for Nokia Radios

Ordering Information

Description	Length (feet)	Part Number
Hybrid Jumpers for Nokia Radios		
End 1: 4 fibers terminated DLC for Nokia RRU with flush cut power cord (red/black conductor).	6	HFT410-4SNOK2-6
End 2: 4 fibers terminated LC and 4 X 10 AWG conductors terminated at hybrid trunk connector (HQLC)	10	HFT410-4SNOK2-10
	15	HFT410-4SNOK2-15
	20	HFT410-4SNOK2-20
	25	HFT410-4SNOK2-25
	30	HFT410-4SNOK2-30
	40	HFT410-4SNOK2-40
	50	HFT410-4SNOK2-50
	60	HFT410-4SNOK2-60
	70	HFT410-4SNOK2-70
	80	HFT410-4SNOK2-80
	90	HFT410-4SNOK2-90
	100	HFT410-4SNOK2-100

Note: Longer lengths are available; contact your CommScope sales representative for details.



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SE05317B**

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LICENSURE:



DRAWING INFORMATION:

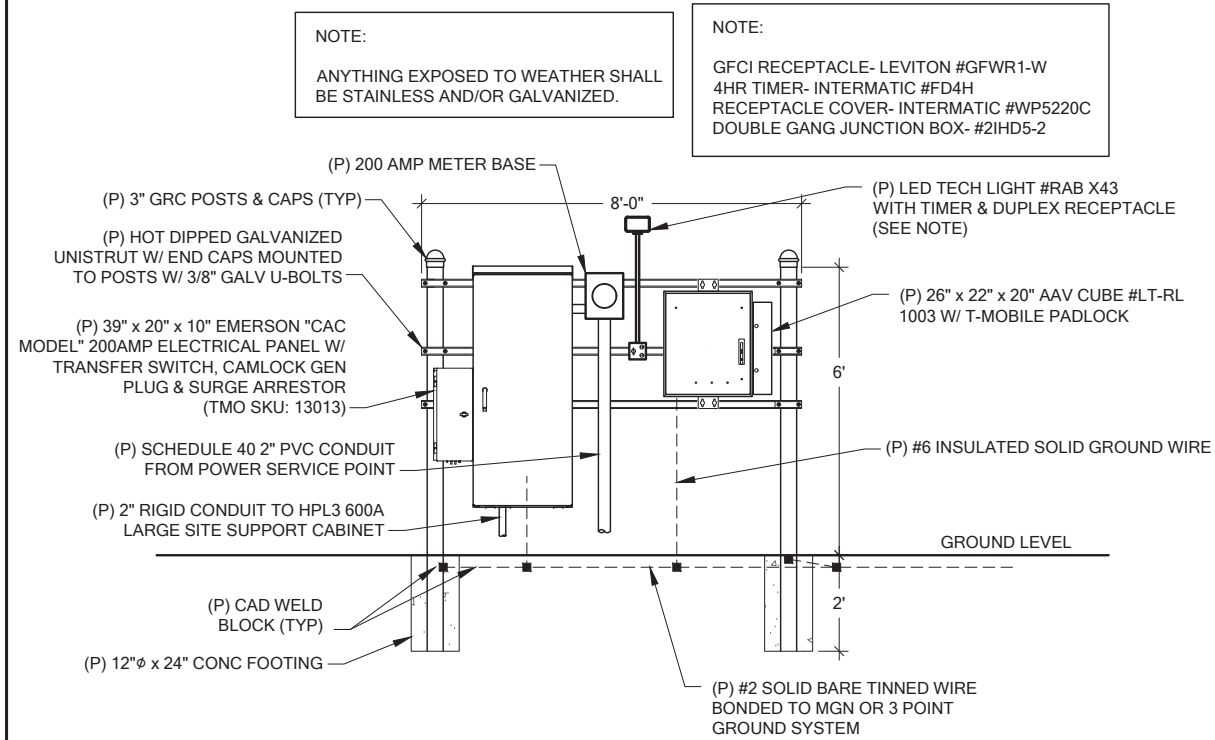
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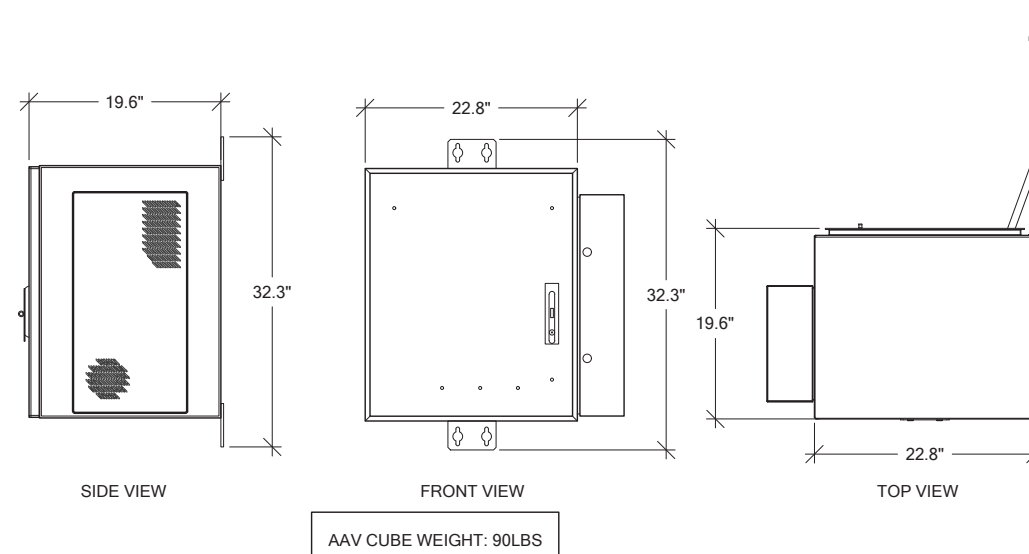
GENERAL DETAILS

DRAWING NUMBER:

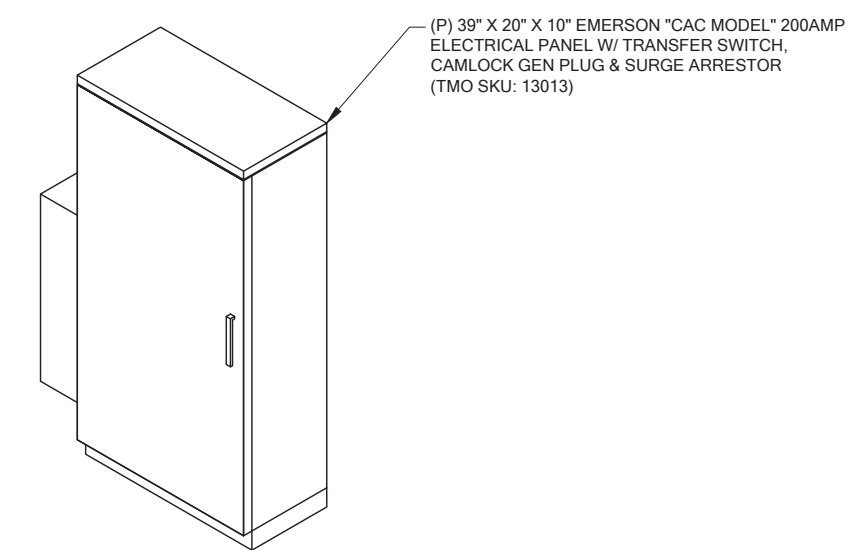
A-7



1 EQUIPMENT H-FRAME DETAIL
SCALE: NTS

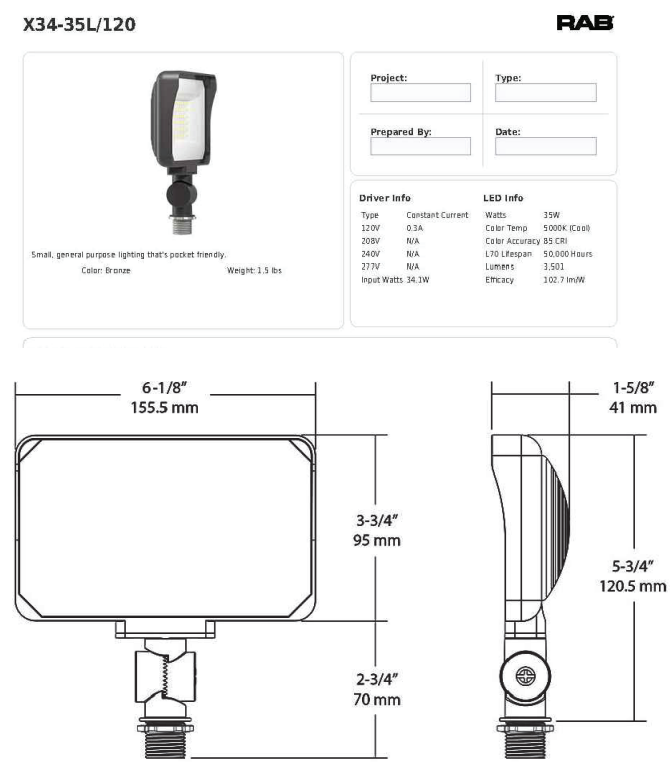


2 AAV ROUTER "CUBE" DETAIL
SCALE: NTS



MANUFACTURER:	VERTIV
MODEL:	EMERSON CAC MODEL
DIMENSIONS:	39" x 20" x 10"
WEIGHT:	75LBS

3 200AMP AC PANEL DETAIL
SCALE: NTS



4 LED TECH LIGHT DETAIL
SCALE: NTS

PanLoc Lite

PanLoc Lite was developed to eliminate compatibility issues between Alternate Power Source Connections in a more compact cost effective solution.

- Eliminates Multiple Generator Plugs and Adapters
- Industry Standard, color coded Single Pole Connectors
- Touch Safe Design
- Industry Standard Mounting
- Decreased Down Time
- 200A, 3-Phase Capabilities
- kAIC Rating: Up to 10,000 amps
- Aluminum Construction
- Removable access cover
- Dimensions 10.5"h x 9"w x 9.25"d
- Ease of use
- UL Listed

* Contact a PanLoc Inc. Sales Representative for configuration verification and pricing

PanLoc Spec Sheet.doc R1

5 CAMLOCK GEN PLUG DETAIL
SCALE: NTS

PROJECT INFORMATION:

**OLYMPIA LACEY
AMTRAK/PSE/LP HOA
SE05317B**

**59TH LP SE & STOCKTON ST SE
LACEY, WA 98513**

ISSUED FOR:

BUILDING PERMIT

REVISION HISTORY:

NO.	DATE:	DESCRIPTION:	CHK. BY:
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2	12/6/2022	REVISED PER REDLINES	BJT
1	11/15/2022	ISSUED DESIGN REVIEW	BJT

PLANS PREPARED BY:

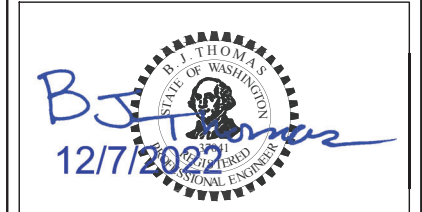
**B. J. THOMAS, P.E.
7607 80TH AVE NE
MARYSVILLE, WA 98270
206-851-1106**

DRAWN BY: CHK. BY:

JL

BJ

LICENSURE:



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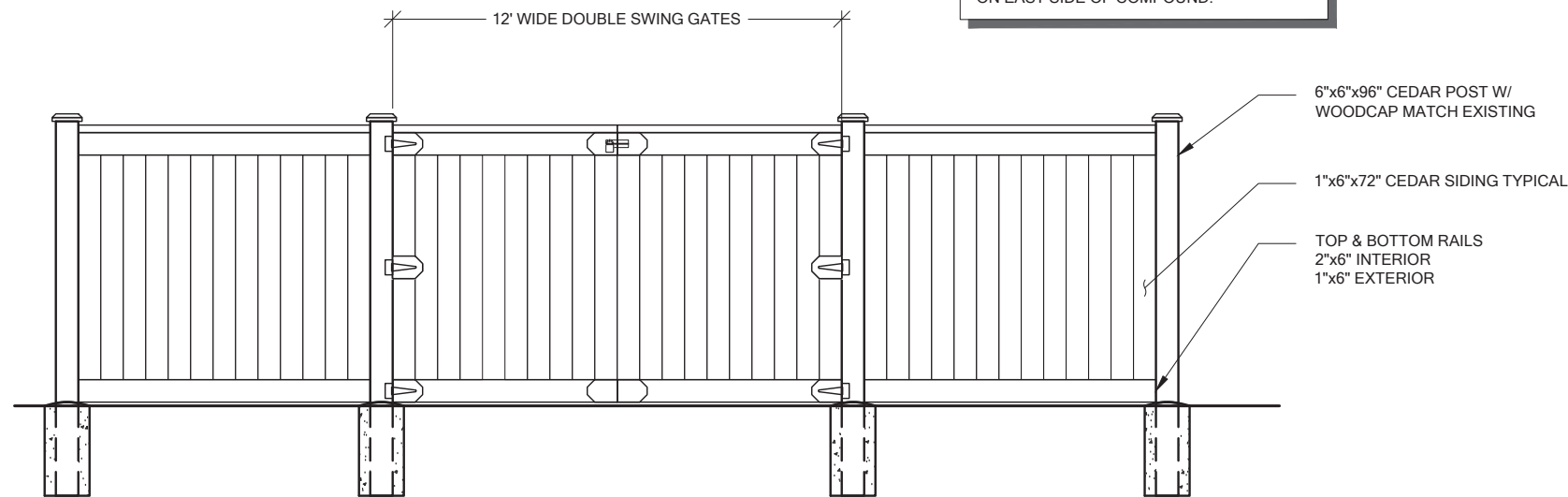
GENERAL DETAILS

DRAWING NUMBER:

A-8

GATE NOTE:

7' DOUBLE SWING GATES TO BE INSTALLED ON EAST SIDE OF COMPOUND.



FENCE & GATE NOTES:

1. TOP RAIL & BRACE RAIL: SHALL BE CEDAR OR P/T IF OTHER WOOD IS USED.
2. BARBED WIRE: NO BARBED WIRE ALLOWED AT THIS LOCATION
3. GATE LATCH: SWINGING GATE LATCH; MATCH EXISTING; VERIFY WITH PROJECT MANAGER.

1 WOOD FENCE DETAIL
A-8 SCALE: NTS

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DRAWING TITLE:

**ANTENNA MOUNT
DETAILS**

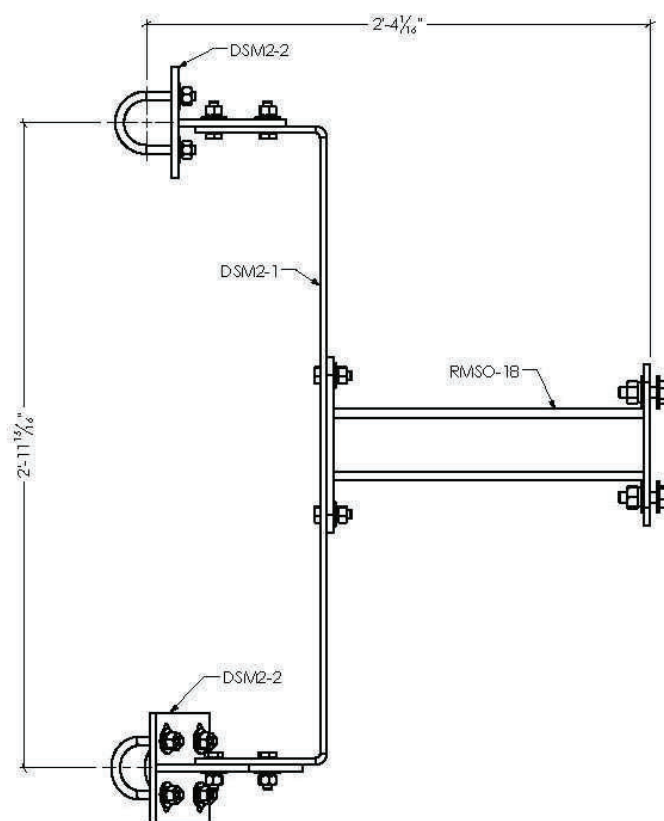
DRAWING NUMBER:

A-9

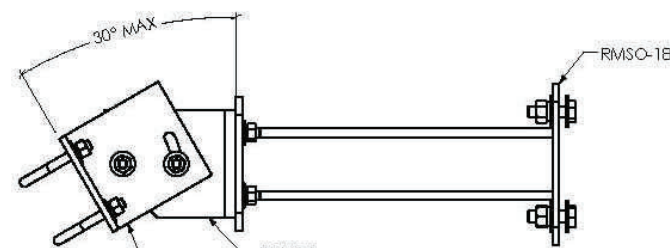
BILL OF MATERIALS

TOTAL GALV. WT= 84#

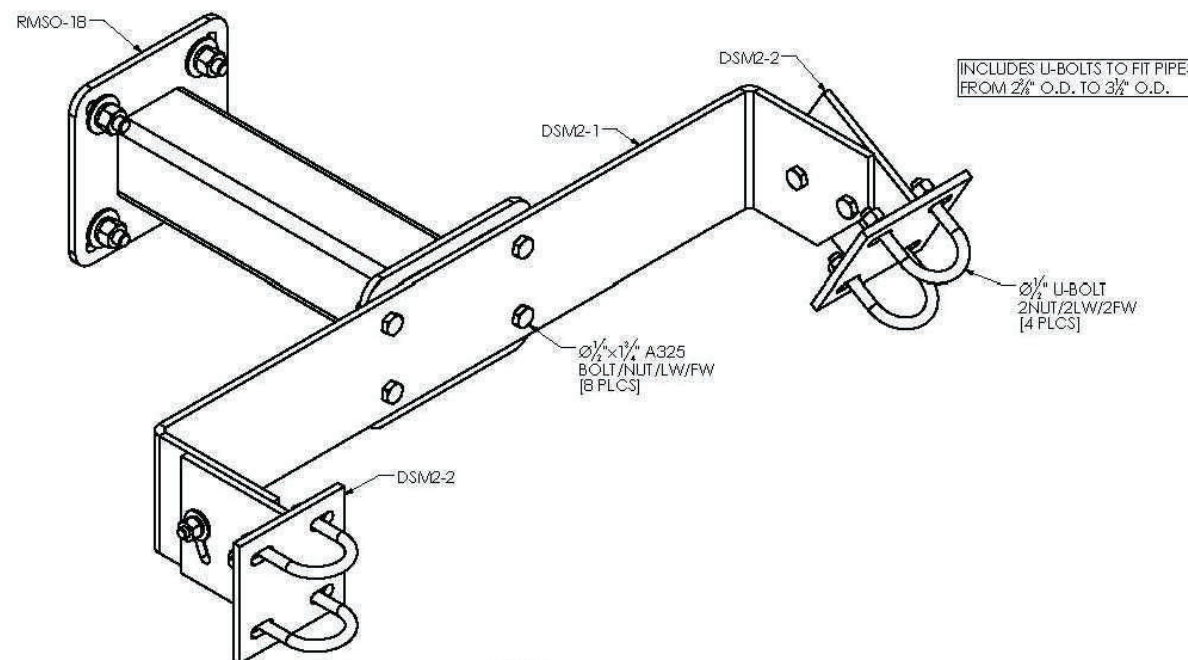
SHIP MARK	PC MARK	QTY.	DESCRIPTION	LENGTH	REMARKS	BLACK WT	Galv. WT
DSM1	-	1	ARM BRACKET	4'-1 3/16"	BURN/FORM	30.2	31.4
DSM2	-	2	PIPE MOUNT BRACKET WELDMENT	0'-6 3/8"	WELD	7.3	7.6
RMSO-18	-	1	1'-6" RING MOUNT STAND-OFF	1'-6"	KIT	33.6	34.9
HARDWARE							
-	BG-12-175-A	8	Ø1/2" GALV. BOLT A325	0'-1 3/4"			
-	NG-12-H	8	Ø1/2" GALV. NUT D.H.				
-	WLG-12	8	Ø1/2" GALV. LOCK WASHER				
-	WFG-12	8	Ø1/2" GALV. FLAT WASHER				
-	UB-12-212-4	4	Ø1/2" x 2 1/2" GALV. U-BOLT ASSEMBLY	0'-4"			
-	UB-12-300-5	4	Ø1/2" x 3" GALV. U-BOLT ASSEMBLY	0'-5"			
-	UB-12-358-5	4	Ø1/2" x 3 5/8" GALV. U-BOLT ASSEMBLY	0'-5"			



TOP VIEW



SIDE VIEW



DSM2
SCALE 1:6

REVISIONS			
REV.	DATE	DESCRIPTION	BY
0	2/9/2018	INITIAL RELEASE	JW

ATC
Advanced Tower Components, LLC
1645 SALEM INDUSTRIAL DR.
SALEM, OR, 97301
(T) 503-540-0777
(F) 503-540-0999

PROJECT TITLE
DSM2, DUAL ADJUSTABLE TILT
2'-4" STAND-OFF MOUNT
INSTALL DRAWING

CLIENT / CUSTOMER
ATC CATALOG

DRAWN BY	DATE	CHECKED BY	DATE	SCALE
JW	2/8/2018	ER	2/8/2018	NTS

GENERAL NOTES
HOLES: AS NOTED
FINISH: A123 GALVANIZING
WELDING: STEEL S GR.50; E70T-1 WME
STEEL S GR.65; E80T-1 WME

TOLERANCE FRACTIONS: ±1/4"
ANGLE: ±1°

REV. 0
SHEET A-01

APPROVED
FOR CONSTRUCTION ON:
2/9/2018

PROJECT INFORMATION:

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AMTRAK/PSE/LP HOA
SE05317B**

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PLANS PREPARED BY:

**B. J. THOMAS, P.E.
7607 80TH AVE NE
MARYSVILLE, WA 98270
206-851-1106**

DRAWN BY: CHK. BY:

JL

BJ

LICENSURE:



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DRAWING TITLE:

ELECTRICAL SITE PLAN

DRAWING NUMBER:

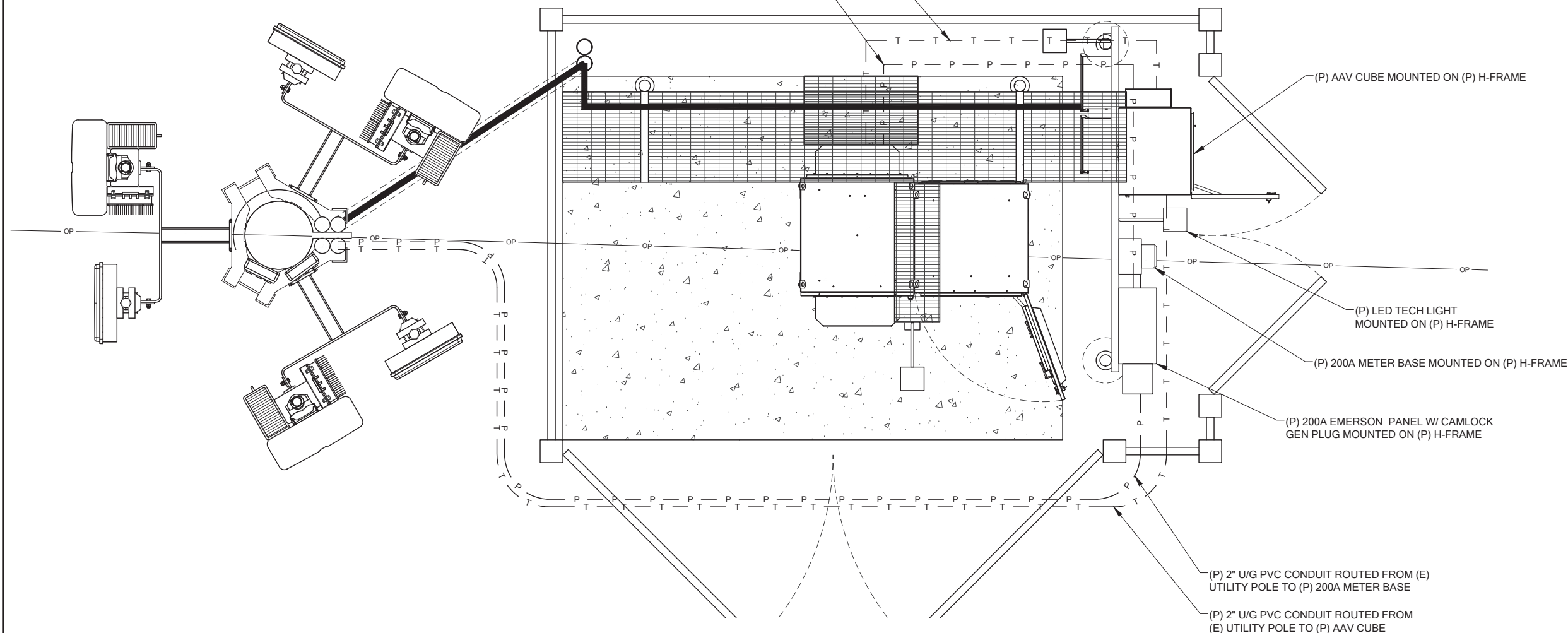
E-1

ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND ANY LOCAL, CITY, OR COUNTY CODES THAT MAY APPLY.
- GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING, FILINGS, INSPECTIONS, AND TESTING AS REQUIRED BY THE PERMITTING AUTHORITY AND T-MOBILE.
- UNDERGROUND CONDUIT SHALL BE RIGID POLYVINYL CHLORIDE CONDUIT, SCHEDULE 40, TYPE 1, CONFORMING TO UL ARTICLE 651; MANUFACTURED BY WESTERN PLASTICS, CARLON, OR EQUAL. ALL BENDS SHALL BE 30" MINIMUM RADIUS.
- CONTRACTOR SHALL CONTACT ALL UTILITIES FOR LOCATION OF UNDERGROUND SERVICES. SERVICE LOCATIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- ALL EQUIPMENT, WIRING, AND MATERIALS MUST HAVE A UL LABEL.
- CONTRACTOR SHALL PROVIDE AND INSTALL A 2" PVC CONDUIT WITH PULL ROPE FROM THE TELCO LINE BOX AND TELCO DEMARCATION POINT.
- CONTRACTOR SHALL PROVIDE AND INSTALL A 2-1/2" PVC CONDUIT FROM POWER COMPANY SERVICE/DEMARCATON POINT AND METER BASE OR SERVICE PANEL WHERE APPLICABLE.
- CONDUIT USED INDOORS SHALL BE EMT. CONDUIT USED OUTDOORS SHALL BE RMC. COUPLINGS SHALL BE RIGID STEEL AND COMPRESSION TYPE FOR EMT (SET SCREW FITTINGS ARE NOT PERMITTED). RMC TO BE USED FOR ALL CONDUIT STUB-UPS.
- WIRES AND CABLES SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITH NO SPLICES ALLOWED.
- ALL JUNCTION AND OUTLET BOXES SHALL BE LABELED WITH KROY TAPE OR EQUAL. CONTRACTOR TO DESIGNATE ALL CIRCUIT NUMBERS CONTAINED IN EACH BOX.
- THE DISTRIBUTION PANEL SHALL HAVE A TYPED LEGEND IDENTIFYING THE LOADS OF ALL CIRCUIT BREAKERS.
- CONTRACTOR SHALL INSTALL CONDUIT SEALING COMPOUND (BLACKBURN DX DUCT SEAL OR EQUAL) AFTER WIRING IS PULLED AND TERMINATED.

(P) (4) SM LC TO LC (3MM) FIBER
(2) SHIELDED CAT 6 (ALARMS)
(2) #10 THHN DC POWER CABLES
2" CONDUIT FROM CUBE TO HPL3
1" INNERDUCT (INSIDE 2") FOR FIBER
(TRENCH AS NEEDED)

(P) 2" RIGID ELECTRICAL CONDUIT FROM (P)
EMERSON PANEL TO (P) HPL3 600A LARGE
SITE SUPPORT CABINET
(TRENCH AS NEEDED)



ELECTRICAL SITE PLAN

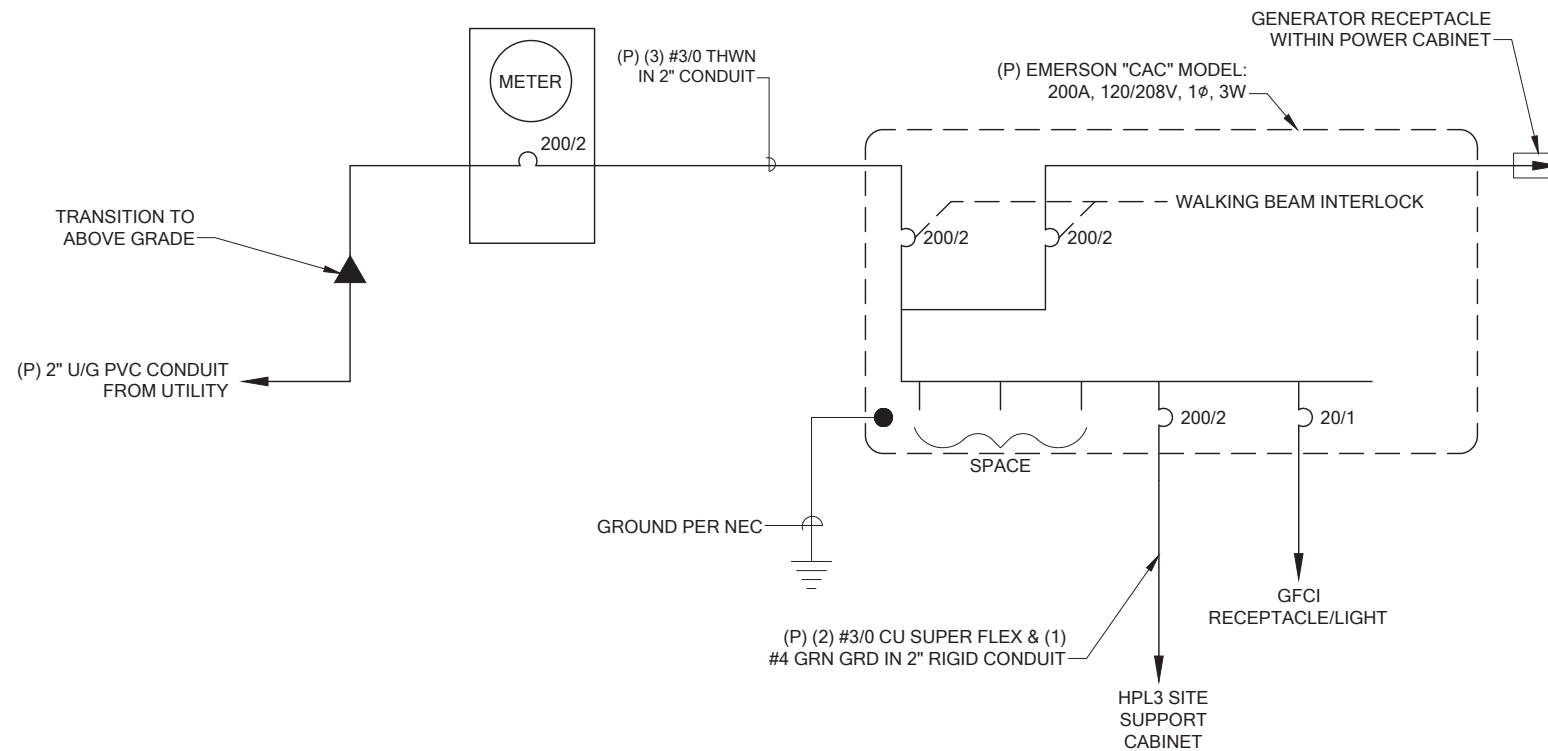
22x34 SCALE: 1/4" = 1'
11x17 SCALE: 1/8" = 1'

NEMA 3R - PANELBOARD FURNISHED BY T-MOBILE
WIRELESS, INSTALLED BY CONTRACTOR.

SURFACE MOUNTING 65,000 AIC		PANEL SCHEDULE									
NO.	A	LOCATION: FENCED COMPOUND SERVING: T-MOBILE		120/208 VOLTS 1PHASE 3WIRE 200 AMPS WITH 200 MAIN BREAKER							
CKT NO.	LOAD DESCRIPTION	KVA	TRIP AMPS		TRIP AMPS	KVA	LOAD DESCRIPTION	CKT NO.			
1	TVSS	-	30		20	.2	GFCI RECPT & LIGHT	2			
3	TVSS	-	"					4			
5	HPL3	24	200					6			
7	HPL3	"	"					8			
9	HPL3	"	"					10			
11	HPL3	"	"					12			
13								14			
15								16			
17								18			
19								20			
21								22			
23								24			

REMARKS:

CONNECTED LOAD: 24.2 KVA 106.7 AMPS
DEMAND LOAD: 24.2 KVA 106.7 AMPS



ELECTRICAL ONE LINE



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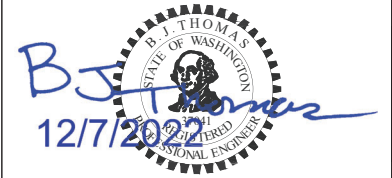
B. J. THOMAS, P.E.
7607 80TH AVE NE
MARYSVILLE, WA 98270
206-851-1106

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JL

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LICENSURE:



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**ELECTRICAL
DETAILS**

DRAWING NUMBER:

E-1.1

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AMTRAK/PSE/LP HOA
SE05317B**

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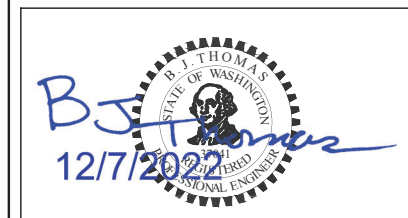
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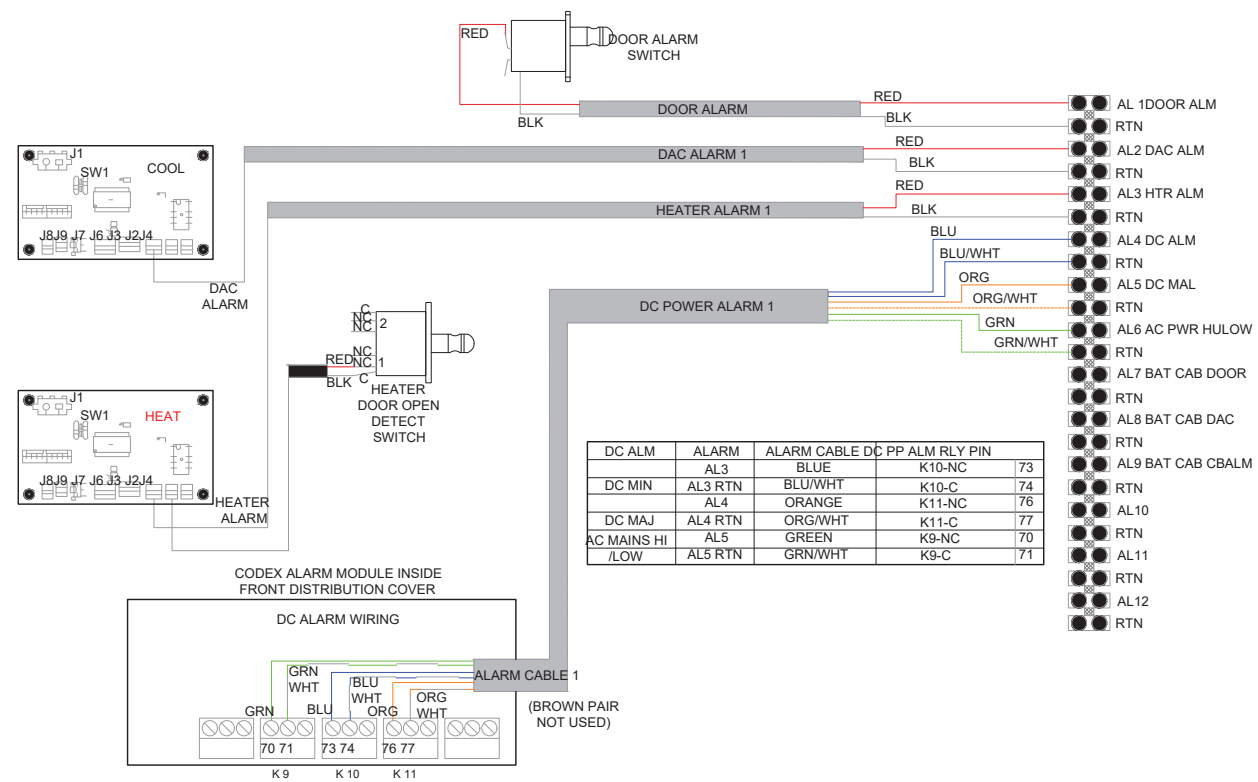
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**ELECTRICAL
DIAGRAMS**

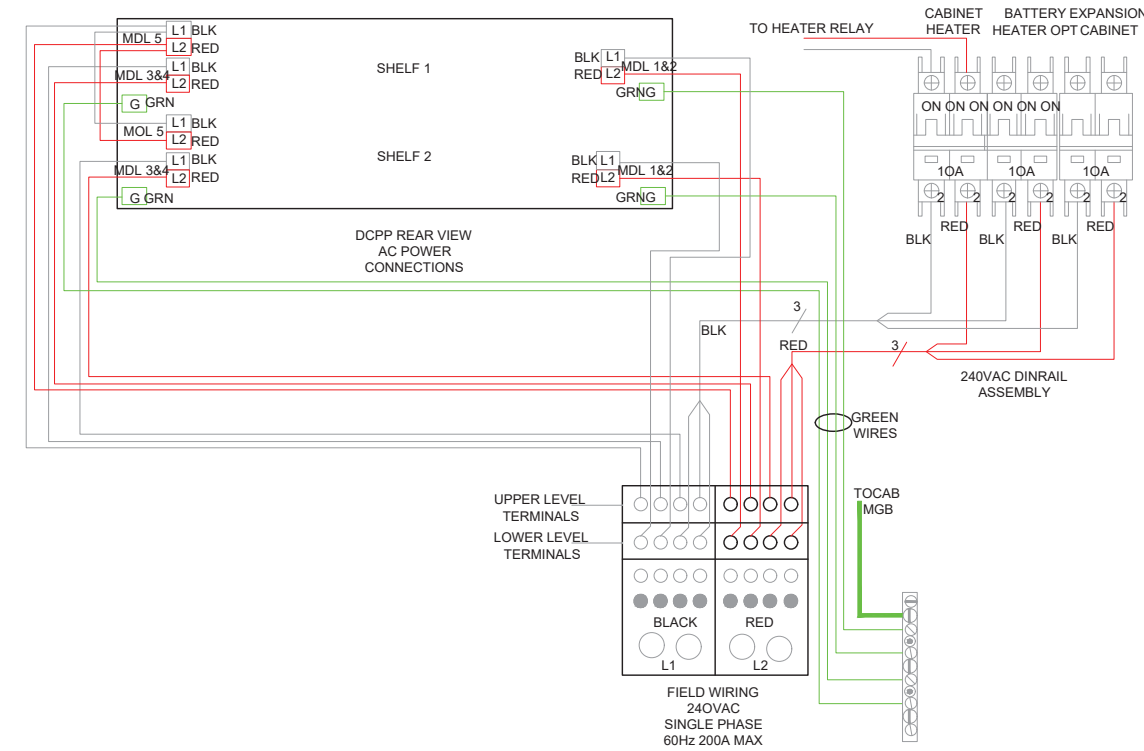
DRAWING NUMBER:

E-1.2

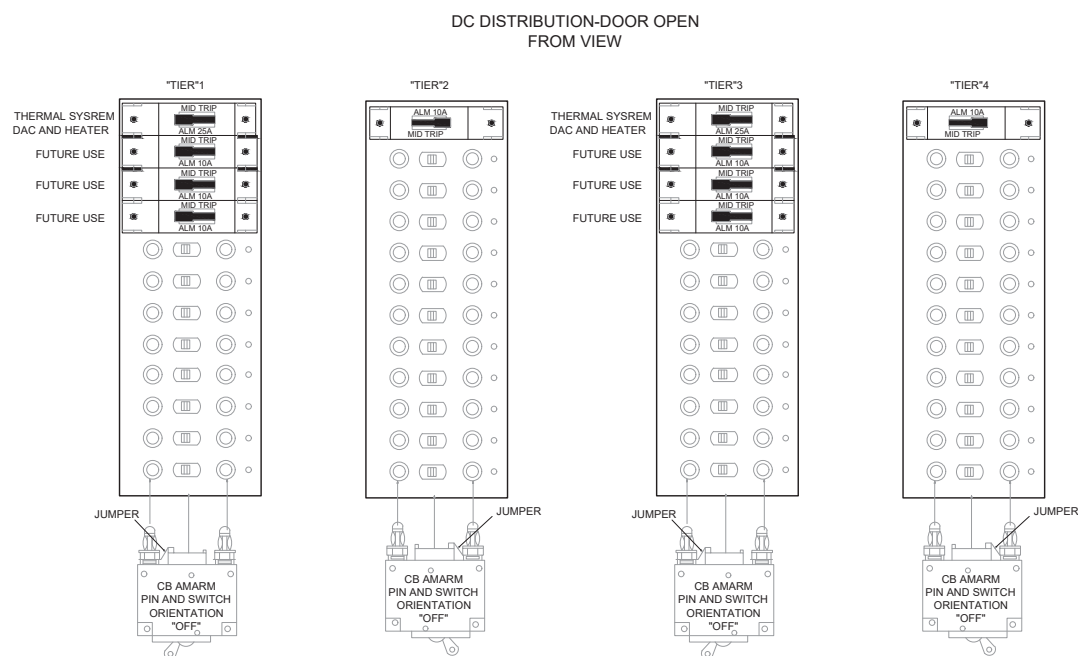


ALARM WIRING DIAGRAM

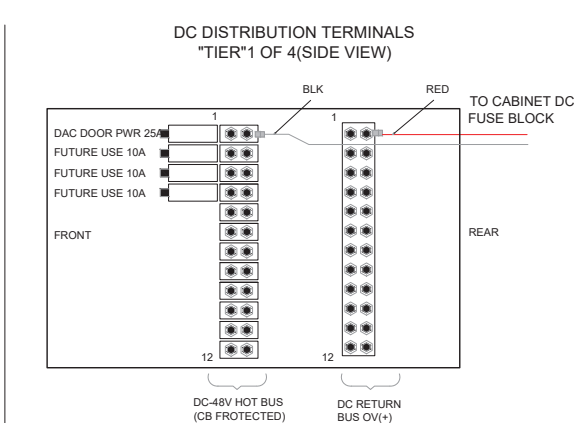
NOTE:
DIAGRAMS PROVIDED ARE PER
MANUFACTURER INSTALLATION GUIDE



AC POWER WIRING DIAGRAM



OBSERVE CORRECT ALARM PIN ORIENTATION



DC POWER WIRING DIAGRAM

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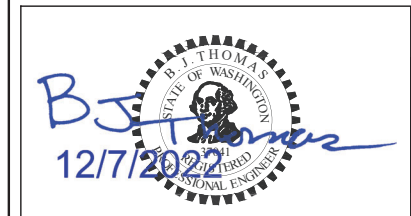
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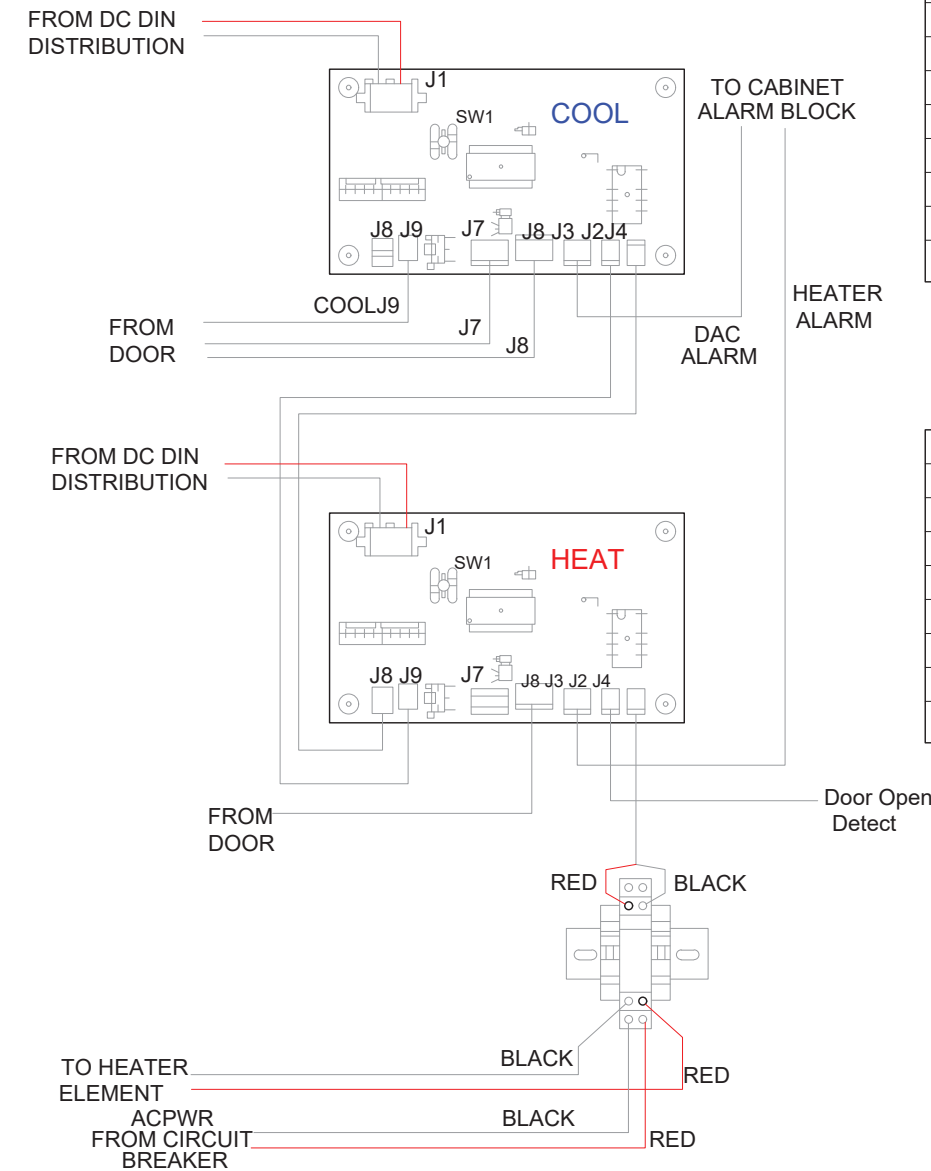
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DIAGRAMS**

DRAWING NUMBER:

E-1.3



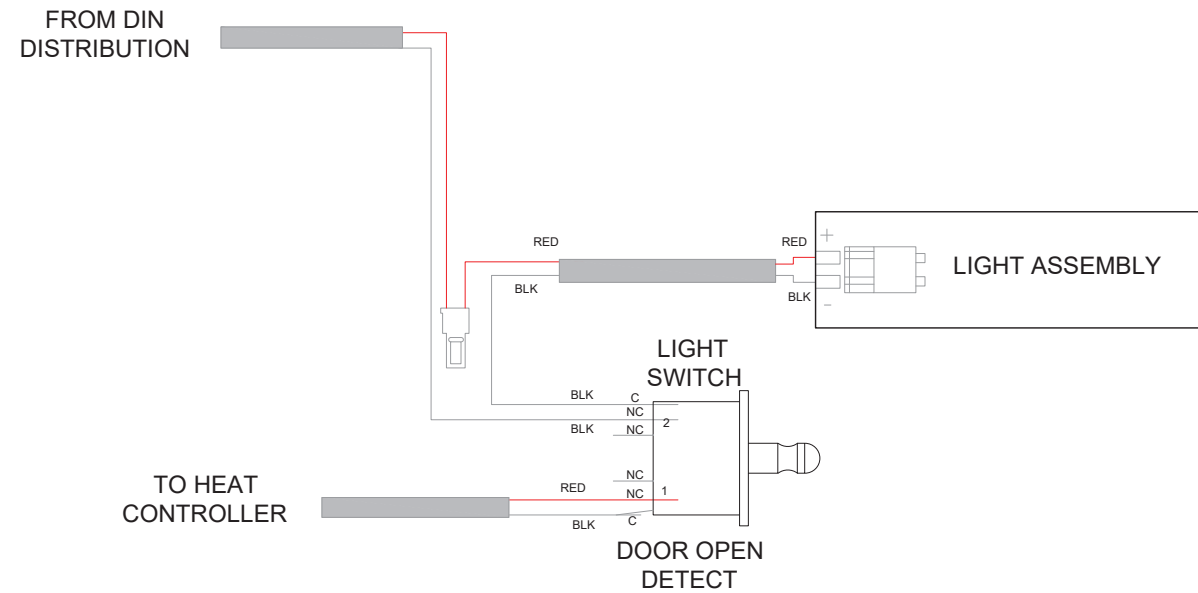
DC HEATING AND COOLING WIRING DIAGRAM

DAC (COOLING) CONTROLLER

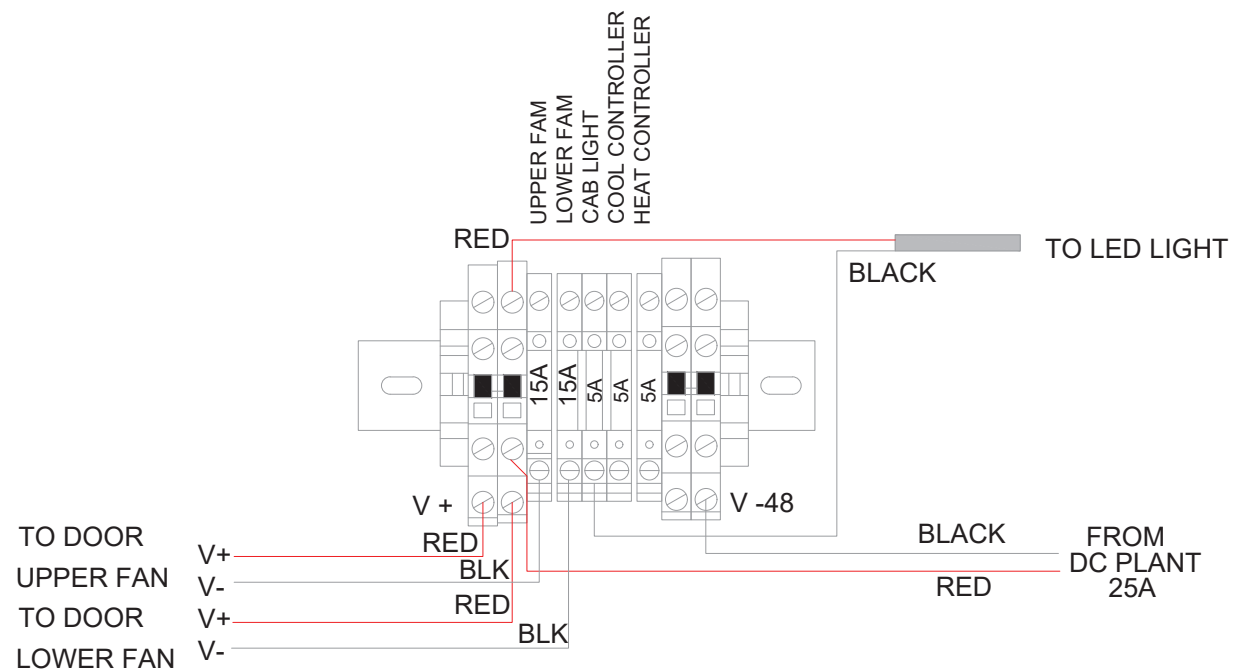
COHN FUNCTION	
J1	PIWR IN
J8	DELTA T JUMPER
J9	OUTSIDE TEMPERATURE
J7	DACFAN (LOWER)
J6	DACFAN (UPPER)
J3	ALARM
J2	COOLING INHBIT
J4	HEAT REQUEST

HEATER CONTROLLER

COHN FUNCTION	
J1	PIWR IN
J8	HEAT REQUEST
J9	COOLING INHBIT
J7	UNUSED
J6	HEATER FAN
J3	ALARM
J2	DOOR SW INPUT
J4	HEATER REALY CONTROL



DC CABINET DOOR LIGHT POWER WIRING DIAGRAM



DC FUSE BLOCK WIRING DIAGRAM

DC DISTRIBUTION (BLACK WIRE JUMPERS TO FUSE POSOTIONS REMOVED FOR CLARITY)

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**ELECTRICAL
GROUNDING PLAN**

DRAWING NUMBER:

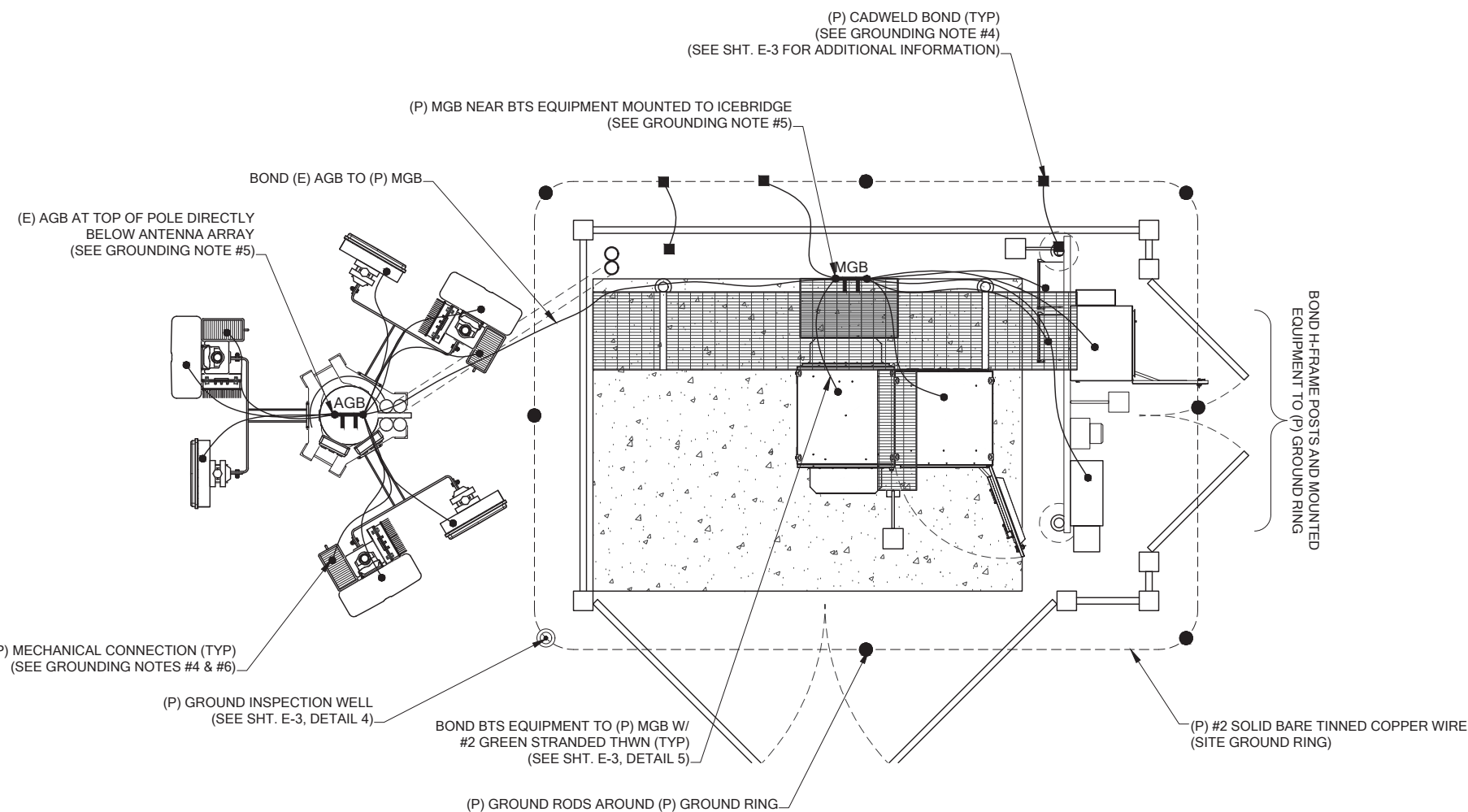
E-2

SYMBOL LEGEND:

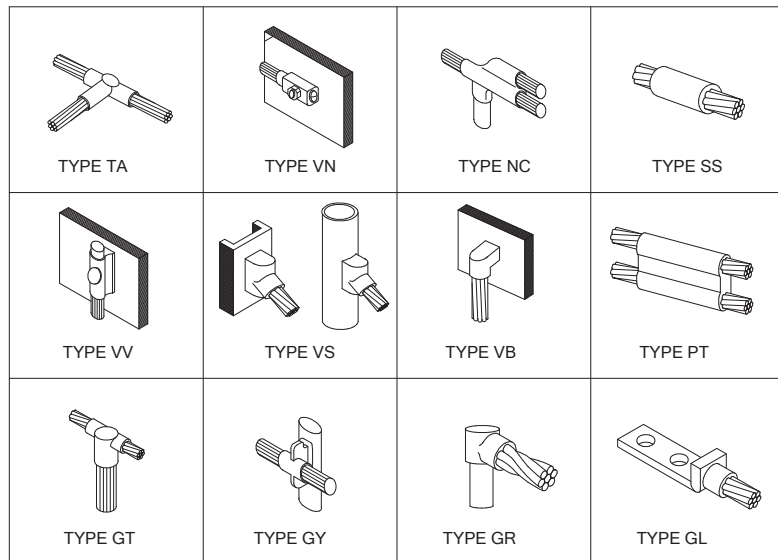
- MGB MASTER GROUND BAR 1/4"x4"x24" COPPER
- AGB ACCESSORY GROUND BAR 1/4"x4"x12" OR 1/4"x4"x20" COPPER
- EXPOSED WIRING
- UNDERGROUND WIRING
- CADWELD
- MECHANICAL CONNECTION
- 5/8"x8' COPPER CLAD STEEL GROUND ROD
- INSPECTION PORT
- EXOTHERMIC (CADWELD) BELOW GROUND
- GROUND

GROUNDING NOTES:

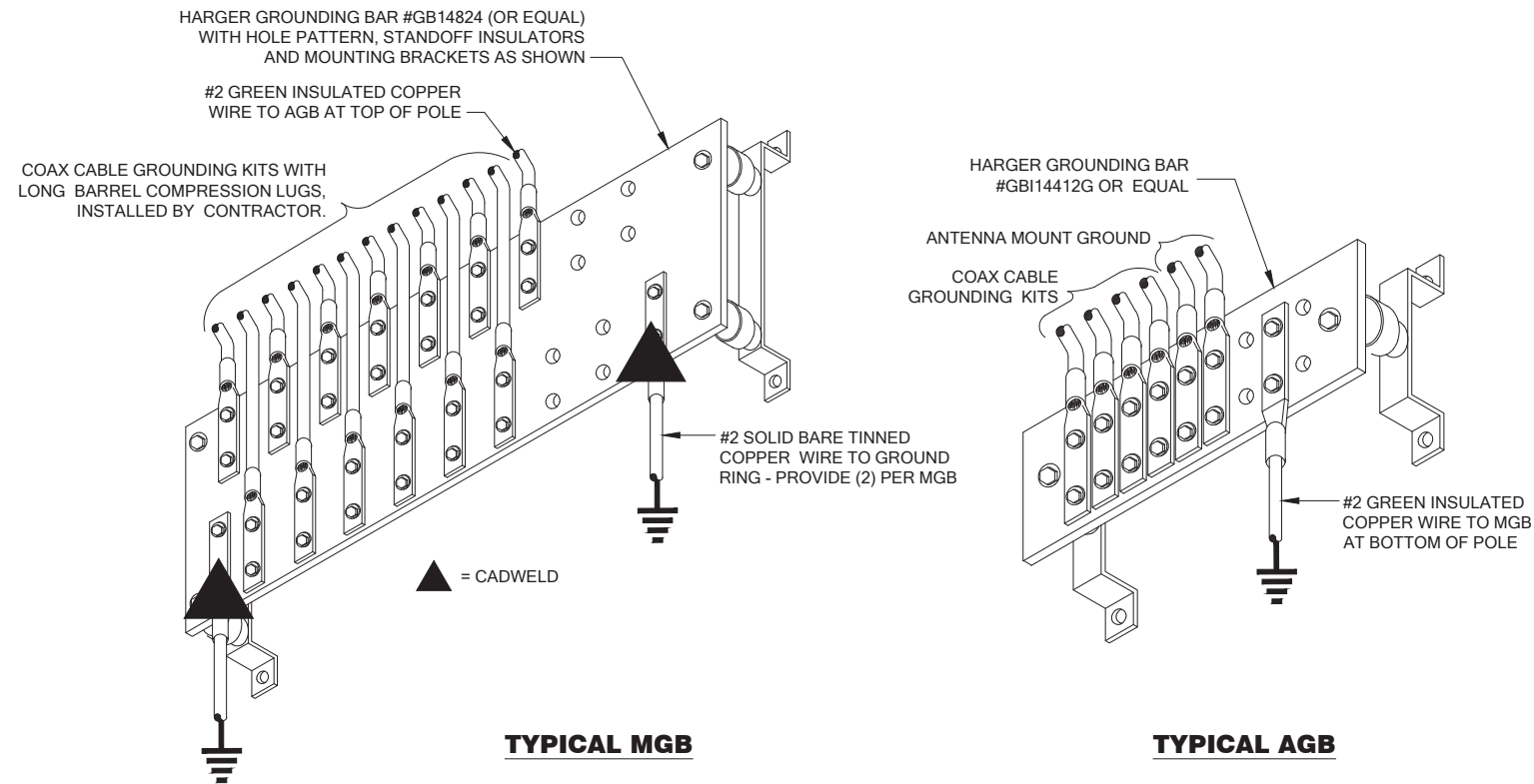
1. GROUNDING SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
2. MINIMUM BENDING RADIUS FOR GROUND CONDUCTOR IS 8".
3. NO SPLICES PERMITTED IN GROUND CONDUCTORS.
4. ALL GROUNDING CONNECTORS TO BE CLEAN AND FREE OF PAINT AT THEIR MATING SURFACES AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. USE PENETROX OR EQUIVALENT ANTIOXIDANT GREASE.
5. ALL GROUND BAR CONNECTIONS ARE TO BE 2 HOLE LUG COMPRESSION TYPE. STACKED CONNECTIONS ARE NOT ACCEPTABLE. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR WILL BE PERMITTED.
6. ENSURE ALL MECHANICAL CONNECTORS ARE TORQUED TO THE MANUFACTURER'S SPECIFIED VALUES.
7. MULTIPLE BONDS ON GROUND RODS TO BE SEPARATED BY AT LEAST 6".
8. MAXIMUM RESISTANCE OF THE COMPLETED GROUND SYSTEM SHALL NOT EXCEED A RESISTANCE OF 5 OHMS TO EARTH.
9. GROUND WIRES SHALL NOT BE INSTALLED THROUGH HOLES IN ANY METAL OBJECTS OR SUPPORTS; TO PRECLUDE ESTABLISHING A "CHOKE" POINT.
10. GROUND BARS SHALL NOT BE FIELD MODIFIED.
11. GROUND RING BURIAL DEPTH SHALL BE 30".
12. A CERTIFIED CONTRACTOR WILL MAKE ALL MEASUREMENTS REQUIRED TO TEST THE GROUNDING SYSTEM USING A MEGGER OR EQUIVALENT. THE ACCEPTABLE RESISTANCE MEASURED FOR THE GROUNDING SYSTEM WILL NOT EXCEED 5 OHMS RESISTANCE. THREE DISTANCES SHALL BE USED: 1 AT 100 FEET, 1 AT 70 FEET, AND 1 AT 35 FEET. THESE DISTANCES ARE SUBJECT TO A SITE BY SITE BASIS. T-MOBILE-WTS SHALL BE GIVEN 24 HOURS NOTICE. ALL COSTS ASSOCIATED WITH GROUND TESTING WILL BE AT THE EXPENSE OF THE CONTRACTOR.



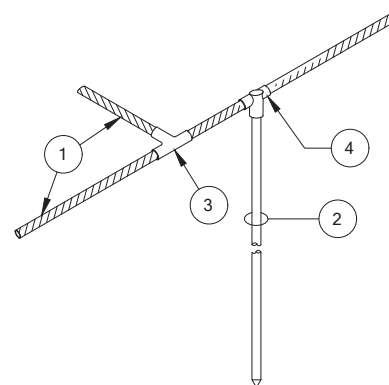
1 ELECTRICAL GROUNDING PLAN
E-2
22x34 SCALE: 1/2" = 1'
11x17 SCALE: 1/4" = 1'



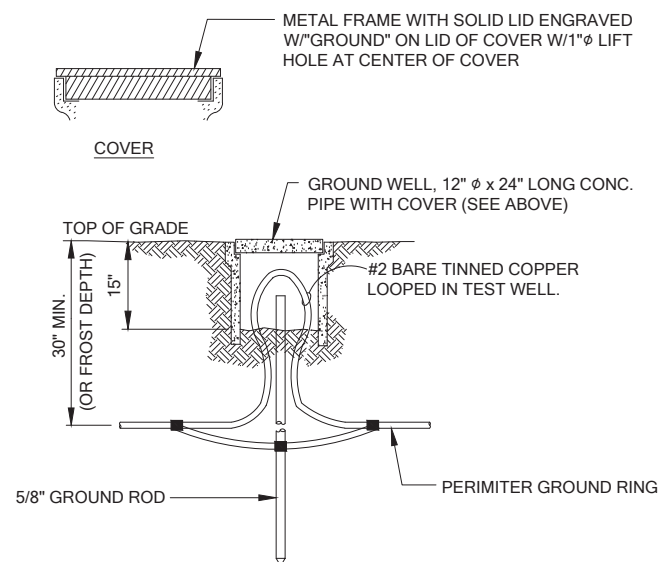
1 **TYPICAL CADWELD CONNECTIONS**
E-3 N.T.S.



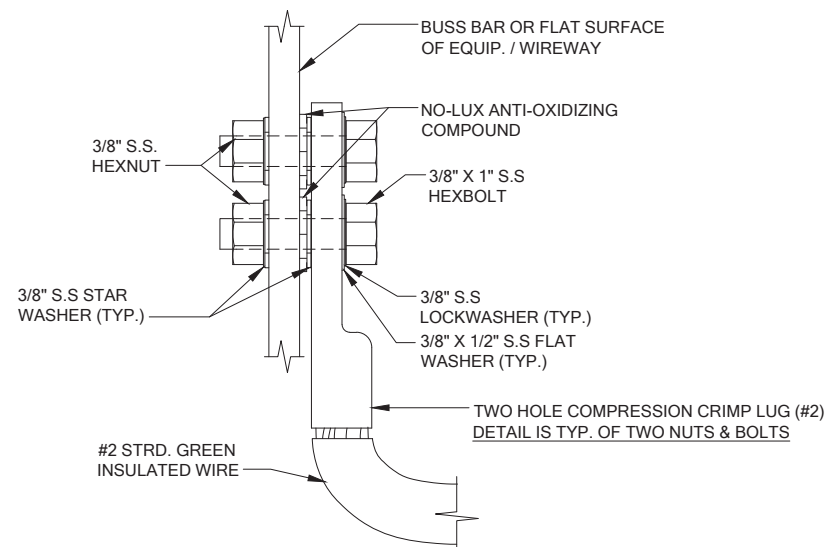
2 **GROUND BAR DETAILS**
E-3 N.T.S.



3 **GROUND ROD CONNECTION**
E-3 N.T.S.



4 **GROUND INSPECTION WELL**
E-3 N.T.S.



NOTES

1. TYP. ALL GROUND WIRES FOR ELECT. AND OTHER EQUIPMENT.

2. THE ENTIRE LUG AND AREA TO BE SPRAYED WITH CLEAR LAQUER OR COLD GALVANIZING SPRAY

3. GROUND LEADS TO BE CADWELDED TO GROUND RING.

5 **TYPICAL CABINET GROUNDING DETAIL**
E-3 N.T.S.

PROJECT INFORMATION:

**OLYMPIA LACEY
AMTRAK/PSE/LP HOA
SE05317B**

**59TH LP SE & STOCKTON ST SE
LACEY, WA 98513**

ISSUED FOR:

BUILDING PERMIT

REVISION HISTORY:

NO.	DATE:	DESCRIPTION:	CHK. BY:
3	12/7/2022	MINOR REV	BJT
2	12/6/2022	REVISED PER REDLINES	BJT
1	11/15/2022	ISSUED DESIGN REVIEW	BJT

PLANS PREPARED BY:

**B. J. THOMAS, P.E.
7607 80TH AVE NE
MARYSVILLE, WA 98270
206-851-1106**

DRAWN BY: CHK. BY:

JL BJ

LICENSURE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:

**ELECTRICAL
GROUNDING
DETAILS**

DRAWING NUMBER:

E-3

RECEIVED

OFFICIAL USE ONLY



CITY OF LACEY
Community Development Department
420 College Street SE
Lacey, WA 98503
(360) 491-5642

FEB 03 2023
BY 23-0035

Table with 4 rows: CASE NUMBER, RELATED CASE NUMBERS, PLANNER ASSIGNED, PW ASSIGNED

PRESUBMISSION CONFERENCE REQUEST FORM

ONE WEEK PRIOR TO REQUESTED DATE, SUBMIT VIA EMAIL TO PLANNING@CI.LACEY.WA.US, OR TO LACEY CITY HALL. NO FEE IS REQUIRED. SUBMISSION SHOULD INCLUDE COMPLETED APPLICATION, SITE PLAN DRAWING, VICINITY MAP, AND TRAFFIC GENERATION WORKSHEET.

APPLICANT: Carolyn Driscoll
ADDRESS: 4529 32nd LN SE CITY: Lacey STATE: WA ZIP: 98503
PHONE NUMBER: 360-970-7652 EMAIL: ptepperson@gmail.com

REPRESENTATIVE: Peter Epperson
ADDRESS: Same as above CITY: STATE: ZIP:
PHONE NUMBER: EMAIL:

PROJECT ADDRESS: 4520 32nd LN SE, Lacey, WA
ASSESSOR'S TAX PARCEL NUMBER(S):
BRIEF DESCRIPTION OF PROJECT: exploring options for ingress and egress to property for development.
TOTAL ACREAGE: 3.45 TOTAL SQ. FT OF BLDG: ZONING: Moderate Density
PROPOSED LAND USE: () SINGLE-FAMILY () MULTI-FAMILY () INDUSTRIAL DUPLEX () COMMERCIAL () M.H. PARK
EXISTING ACCESS: private drive PROPOSED ACCESS: private drive or Montclair

INDICATE PREFERENCE FOR A MEETING DATE AND TIME:
(MEETINGS ARE HELD THE 2ND AND 4TH WEDNESDAY OF EACH MONTH) DATE: Feb. 22, '23 TIME: 1 pm

A presubmission conference is an opportunity for the developer and/or their representative to meet with staff to discuss preliminary studies or sketches of the proposed project. At the conference, staff will make available, pertinent information relating to the proposed development. The intent is to identify and/or eliminate as many potential problems as possible in order for the project to be processed without delay. The conference should take place prior to detailed work by an engineer or surveyor; however, the site drawing submitted, should have sufficient information to allow for staff review. Discussion topics will include such things as Comprehensive Plan, Street Plan, Storm Run Off & Retention, Shoreline Master Program, Zoning, Availability of Water/Sewer, Development Concepts, other requirements and permits, and the environmental impact. If the applicant owns adjacent land, the possibilities of future development will be discussed. Written information regarding process, specific requirements & related issues, will be furnished at the meeting. Staff will typically visit the site prior to the meeting and may enter the property if deemed necessary to gain a full understanding of the project.

OASIS MULTI-FAMILY

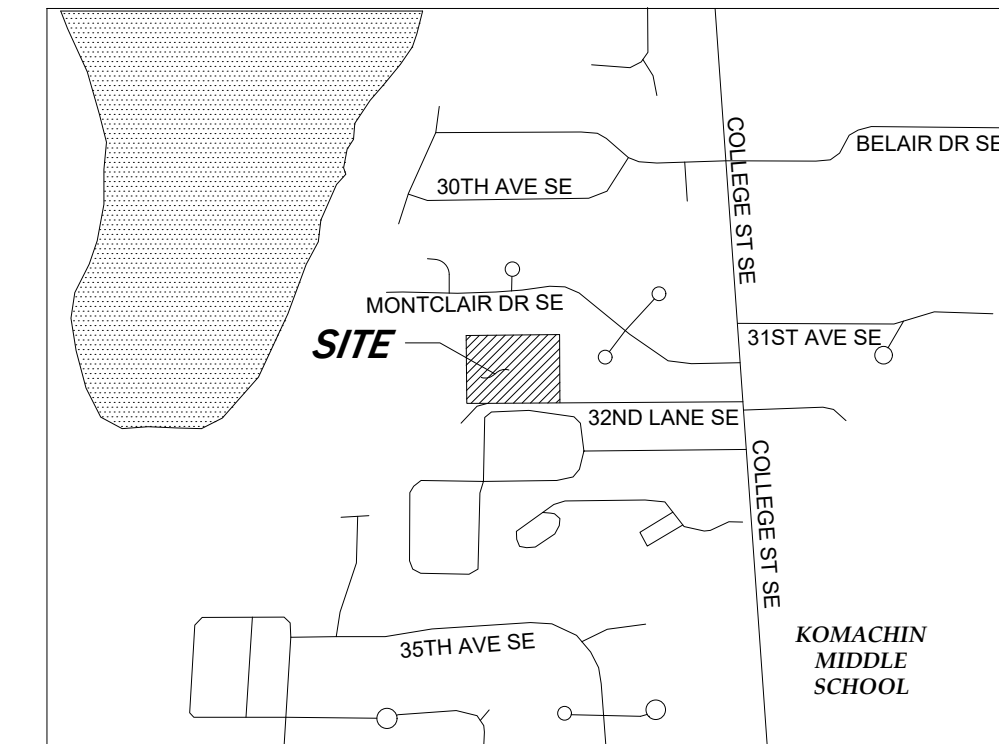
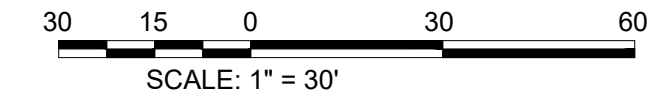
4520 32ND LANE SE LACEY, WA 98503

PROJECT PROPONENT

PETER EPPERSON
4520 32ND LN SE.
LACEY, WA 98503
(360) 970-7652

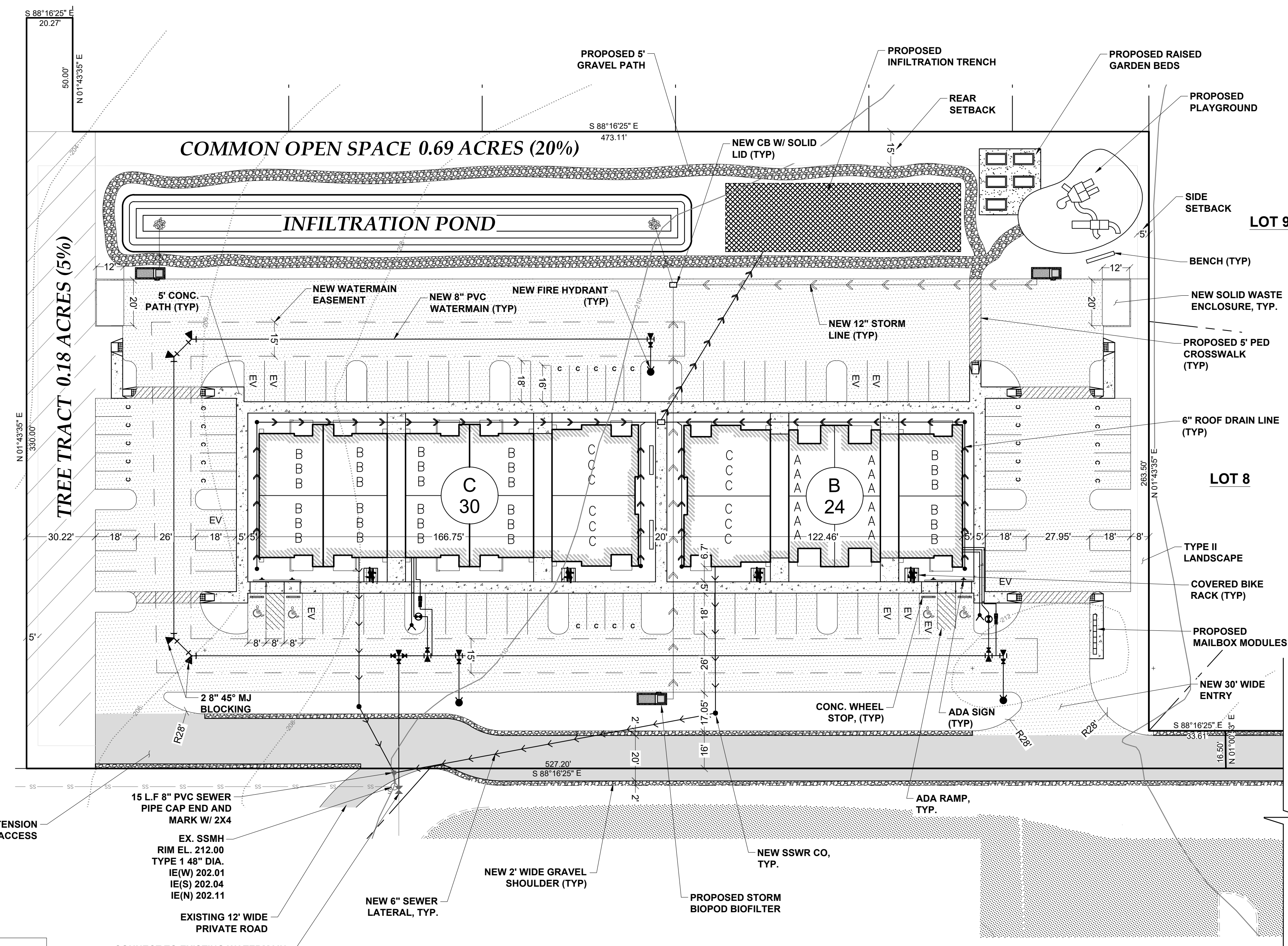


CITY OF LACEY	CITY OF LACEY
VERTICAL DATUM NGVD 29 THURSTON COUNTY HIGH PRECISION SURVEY CONTROL NETWORK	MERIDIAN HORIZONTAL DATUM PLAT OF KOMACHIN VILLAGE RECORDED UNDER THURSTON COUNTY AUDITOR'S FILE NO. 3085583



LEGEND

	EX. WATER VALVE COVER
	EX. MONITOR WELL
	EX. SANITARY SEWER MANHOLE
	EX. SEWER VALVE COVER
	EX. SEWER CLEANOUT
	EX. CULVERT
	EX. DECIDUOUS TREE AND SIZE
	EX. HOGWIRE FENCE
	EX. CHAIN LINK FENCE
	EX. WOOD FENCE
	PAINTED LOCATE (GREEN) APWA UNIFORM COLOR CODE FOR SEWERS, DRAINS
	PAINTED LOCATE (ORANGE) APWA UNIFORM COLOR CODE FOR COMMUNICATIONS
	PAINTED LOCATE (ORANGE) APWA UNIFORM COLOR CODE FOR COMMUNICATIONS (MARKED FIBER OPTIC)
	PAINTED LOCATE (BLUE) APWA UNIFORM COLOR CODE FOR POTABLE WATER
	EX. MAJOR CONTOUR
	EX. MINOR CONTOUR
	FINISH MAJOR CONTOUR
	FINISH MINOR CONTOUR
	NEW WATER LINE
	NEW STORM LINE
	NEW GRAVITY SEWER LATERAL
	NEW ROOF DRAIN LINE
	NEW FIRE HYDRANT
	NEW WATER METER
	NEW FDC
	NEW GATE VALVE
	NEW SEWER CLEANOUT
	NEW CATCH BASIN TYPE 2
	NEW CATCH BASIN TYPE 1
	NEW CATCH BASIN W/ SOLID LID
	NEW STORM BIPOD BIOFILTER
	NEW LIGHTING J BOX
	NEW HIGH MAST W/ PED SCALE LIGHT
	NEW ADA PARKING STALL
	NEW INFILTRATION GALLERY
	NEW ASPHALT
	NEW CONCRETE



SITE DATA

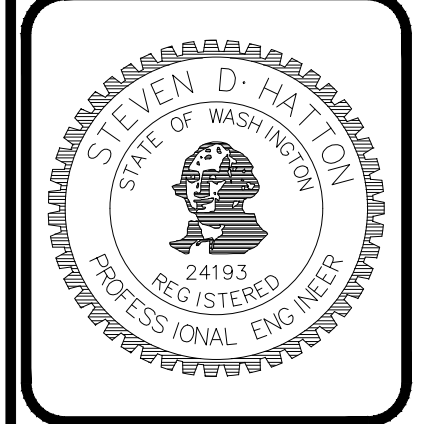
SITE ADDRESS	4520 32ND LN SE., LACEY, WA 98503
ASSESSORS PARCEL NUMBER	11829130700
ZONING	MODERATE DENSITY RESIDENTIAL 8-16 UNITS PER ACRES
TOTAL AREA	150,063 SF (3.45 AC.)
PROPOSED BLDG. COV.	BLDG. B 6,769 SF / BLDG. C 9,294 SF
PROPOSED DEV. COV.	72,142 SF (1.66 AC.)
NUMBER OF APT. UNITS	54
PARKING INFO	(55) STANDARD STALLS (29) COMPACT STALLS (30%) (10) EV STALLS (10%) (4) ADA STALLS (97) TOTAL (1.75 PER UNIT)
DENSITY	16.0 UNITS/ACRES
OPEN SPACE	33,977 SF (0.78 AC.) (23%)
OPEN SPACE REQUIRED	30,013 SF (0.69 AC.) (20%)
COMMON OPEN SPACE PROVIDED	30,013 SF (0.69 AC.) (20%)
PRIVATE OPEN SPACE PROVIDED	3,964 SF (AC.) (0.09%)
NEW TREE TRACT	7,811 SF (0.18 AC.) (5%)
NEW LANDSCAPED AREA	16,676 SF (11%)
OCCUPANCY TYPE	R-2 APARTMENT (13R SPRINKLED)
UNIT MIX	(12) STUDIO = A (30) 1-BED = B (12) 2-BED = C
SETBACKS	FRONT 10' SIDE 5' REAR 15'
UTILITIES	WATER.....CITY OF LACEY SEWER.....CITY OF LACEY GAS/ELECTRICITY.....PSE (EXISTING) TEL/COM.....COMCAST REFUSE.....LEMAY FIRE.....LACEY DISTRICT #3

TOPOGRAPHIC NOTE:
THE EXISTING TOPOGRAPHIC DATA SHOWN ON THESE DRAWINGS HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, HGP CANNOT ENSURE ITS ACCURACY AND THUS IS NOT RESPONSIBLE FOR THE ACCURACY OF THAT INFORMATION OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.

NOTE: THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

THIS DRAWING DOES NOT REPRESENT A RECORD DOCUMENT, UNLESS CERTIFIED BY HATTON GODAT PANTIER.
ANY ALTERATIONS TO THE DESIGN SHOWN HEREON MUST BE REVIEWED AND APPROVED BY HATTON GODAT PANTIER.

DESIGNED BY: CC
DRAWN BY: MD
CHECKED BY: SDH
DATE: AUG 2022
SCALE: H 1" = 20'
V N/A

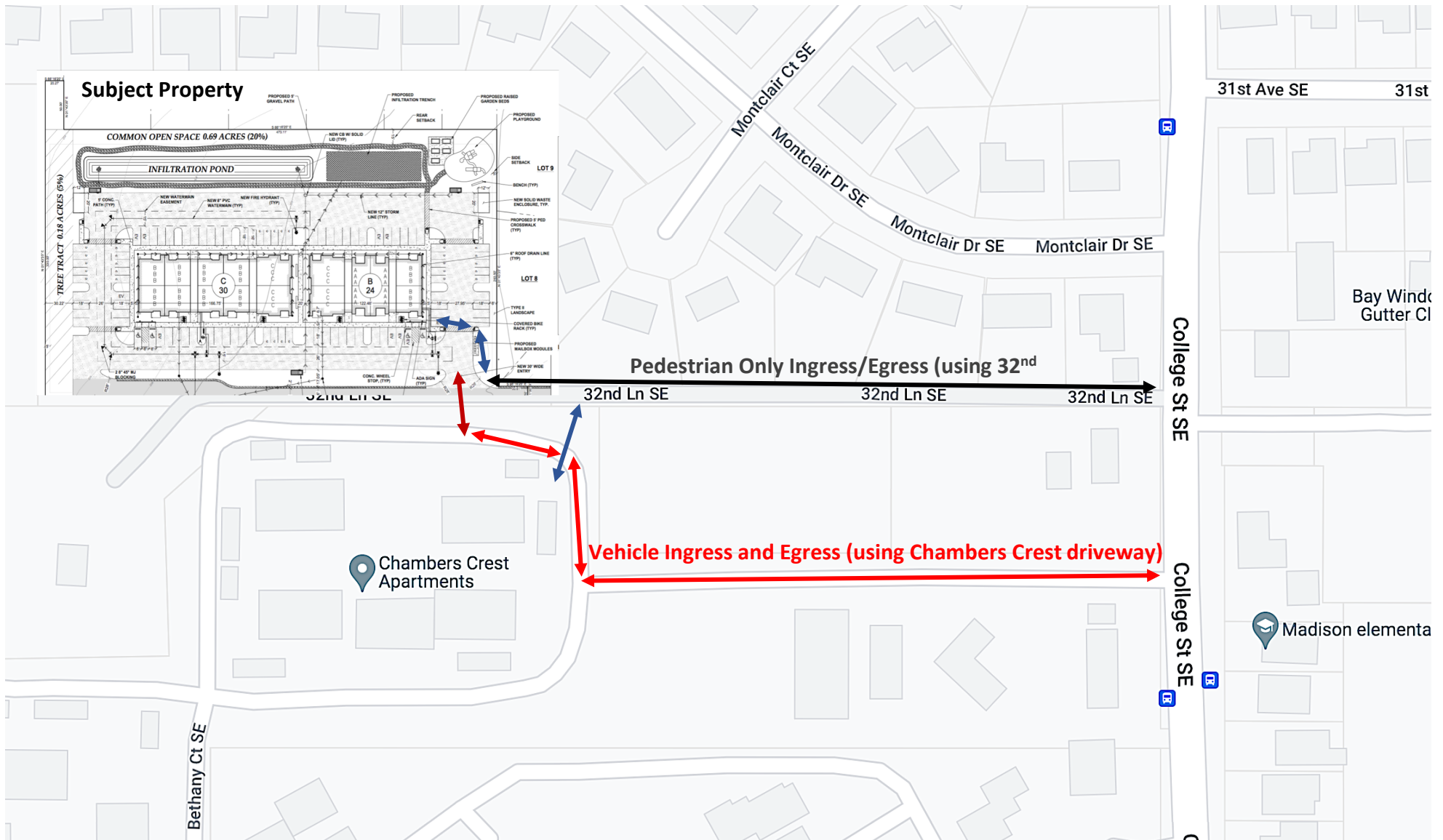


HATTON GODAT PANTIER
ENGINEERS AND SURVEYORS
3910 MARTIN WAY E, SUITE B
OLYMPIA, WA 98506
TEL: 360.943.1599 FAX: 360.357.6299
hattonpantier.com

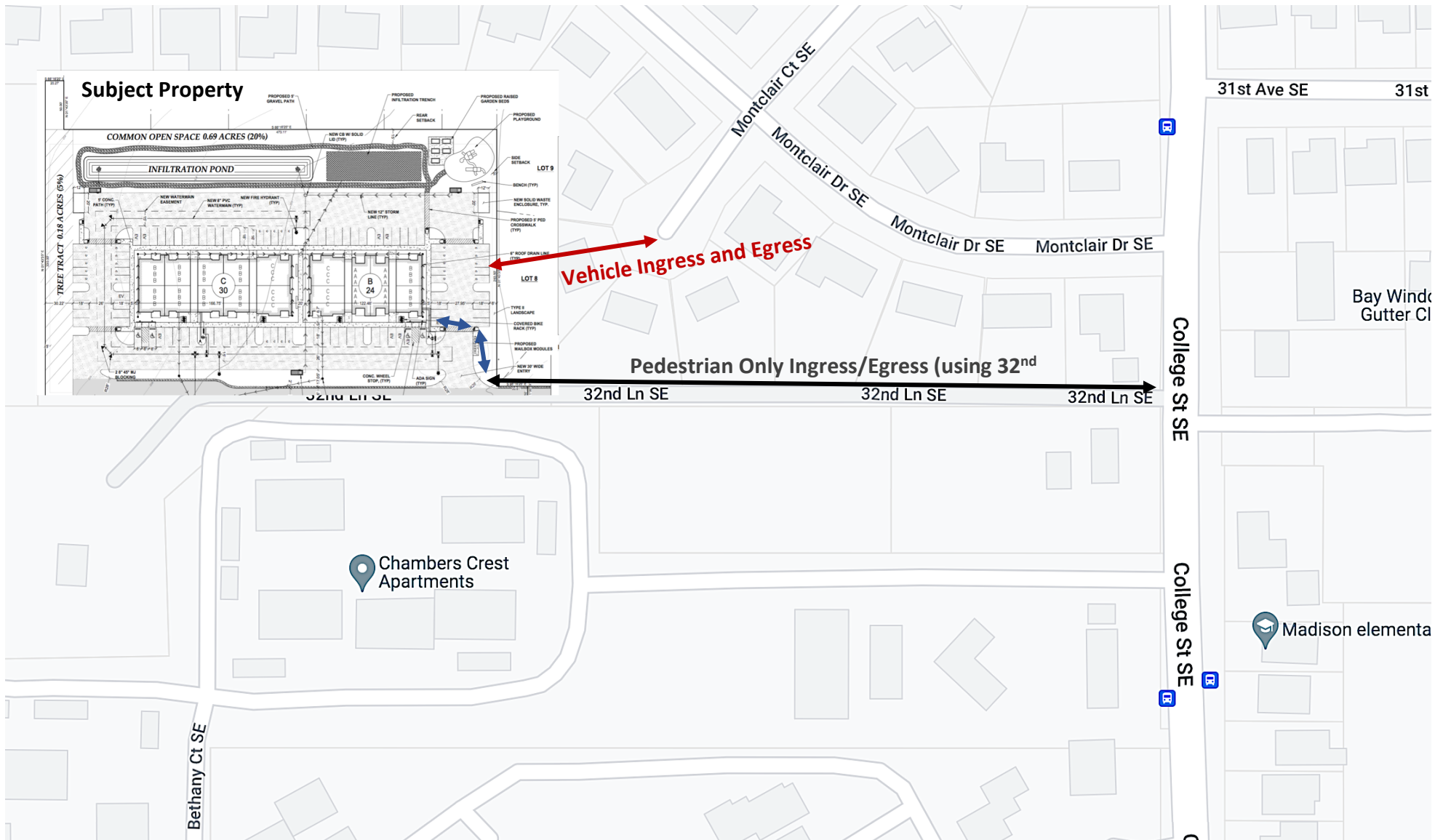
DATE:	
REVISIONS:	

TP# 11829130700
OASIS MULTI-FAMILY
4520 32ND LN SE LACEY, WA 98503
PRELIMINARY SITE PLAN
A PORTION OF SECTION 23, TOWNSHIP 14 NORTH, RANGE 1 WEST, WA

AGENCY NO. _____
SHEET 1 OF 1
H10122-000122-000 Preliminary
22-036 pre-sp-alternate.dwg
INDEX:
JOB: 22-036



In this option, Chambers Crest residents and The Oasis tenants would share the existing Chambers Crest driveway off college. 32nd LN drive would become a pedestrian only path used by Chambers Crest and Oasis tenants. The new driveway between The Oasis and Chambers Crest (in a darker red) would be designed to comply with current code and meet fire safety standards. The Oasis and Chambers Crest Pedestrian access (see blue arrow) to 32nd LN would be a minimum of 5' wide and crosswalks on the driveways would be marked.



In this option, Oasis tenants would use Montclair Dr SE off college and turn south on Montclair CT SE. A new 20' driveway between The Oasis and Montclair CT (in red) would connect through Lot 8. The new driveway would comply with current code and meet fire safety standards. Oasis tenants would use 32nd LN as a pedestrian only walkway.



In this option, Oasis tenants would use Montclair Dr SE off college and turn south onto a new 20' driveway between The Oasis and Montclair DR SE (in red). The driveway would be through 4407 Montclair Dr. The new driveway would comply with current code and meet fire safety standards. Oasis tenants would use 32nd LN as a pedestrian only walkway. The on-site water treatment would be modified to accommodate a sidewalk connector with 32nd LN SE.