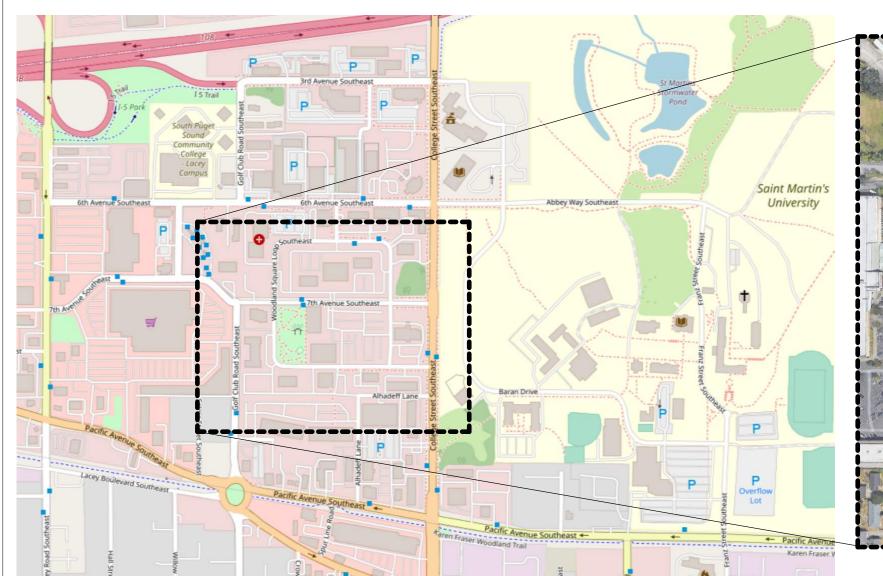
629 WOODLAND 629 WOODLAND SQ LOOP; LACEY, WA SITE PLAN SUBMITTAL - 9/29/23

PERSPECTIVE



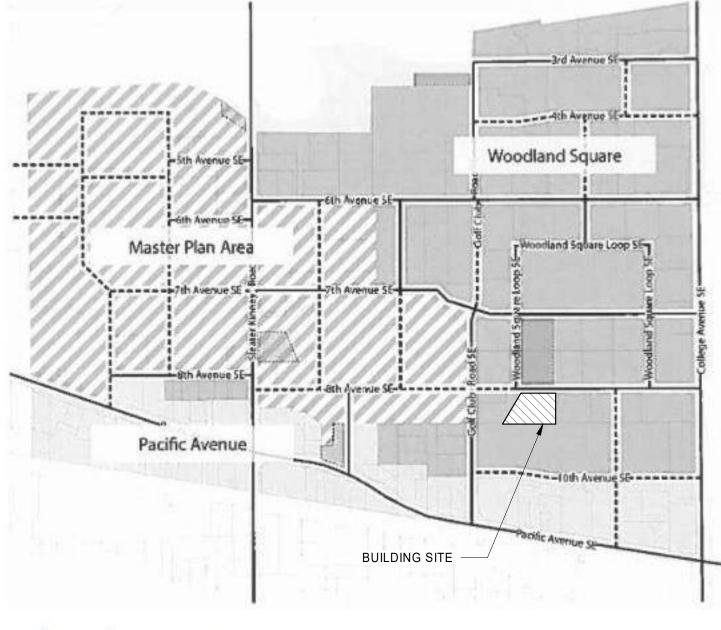
PROJECT PROXIMITY & VICINITY MAP





URBAN NEIGHBORHOOD MAP

Figure 16.24.010-1. Regulating Plan, Subdistricts



⁽Ord. 1487 §3 (part), 2016).

PROJECT TEAM

OWNER

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LANDSCAPE ARCHITECT

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STRUCTURAL ENGINEER

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APPLICABLE CODES & PERMIT NUMBERS

APPLICABLE CODES:

LACEY MUNICIPAL CODE INTERNATIONAL BUILDING CODE, 2018 EDITION, (WAC 51-50) UNIFORM PLUMBING CODE, 2018 EDITION, (WAC 51-57 AND LMC 14.06) INTERNATIONAL FIRE CODE, 2018 EDITION, (WAC 51-54 AND LMC 14.07) INTERNATIONAL MECHANICAL CODE, 2018 EDITION, (WAC 51-52 AND LMC 14.05) WA STATE ENERGY CODE, 2018 EDITION, (WAC 51-11) NATIONAL ELECTRICAL CODE, 2020* EDITION, AS AMENDED BY THE STATE DEPARTMENT OF LABOR AND INDUSTRIES AND THE CITY OF LACEY (WAC 296-46B AND LMC 14.13). ICC A117.1 - 2009

PERMIT PACKAGES

PERMIT PACKAGES SITE PLAN SUBMITTA CIVIL

ARCHITECTURAL

STRUCTURAL

DEFERRED PERMIT PACKAGES ELECTRICAL MECHANICAL PLUMBING FIRE ALARM & SPRINKLER

SHEET INDEX

SHEET NUMBER	SHEET NAME	SITE PLAN SUBMITTAL	TBD	TBD	TBD
GENERAL					
G0.00	COVER SHEET	•			
G0.01	ABBREVIATIONS, SYMBOLS, & GENERAL NOTES	•			
G1.00	LAND USE ANALYSIS	•			
G1.01	LAND USE ANALYSIS	•			
G4.00	RENDERINGS	•			
G4.01	RENDERINGS	•			
CIVIL C1.0	COVER SHEET	•			
C2.0	EXISTING CONDITIONS	•			
C3.0	TESC & DEMO PLAN	•			
C4.0	SITE PLAN	•			
C5.0	GRADING & DRAINAGE PLAN	•			
C6.0	UTILITY PLAN	•			
ARCHITEC	TURE	•			
A1.01	CONCEPTUAL LANDSCAPE PLAN	•			
A2.00	FLOOR PLAN LEVEL L1	•			
A2.01	FLOOR PLAN LEVELS - L2-L3	•			
A2.02	FLOOR PLAN LEVELS - L4	•			
A2.03	FLOOR PLAN LEVEL - ROOF	•			
A3.00	BUILDING ELEVATIONS	•			
A3.01	BUILDING ELEVATIONS	•			
A4.00	BUILDING SECTIONS	•			

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Project:

629 WOODLAND APTS, LACEY

629 WOODLAND SQ LOOP, LACEY, WA

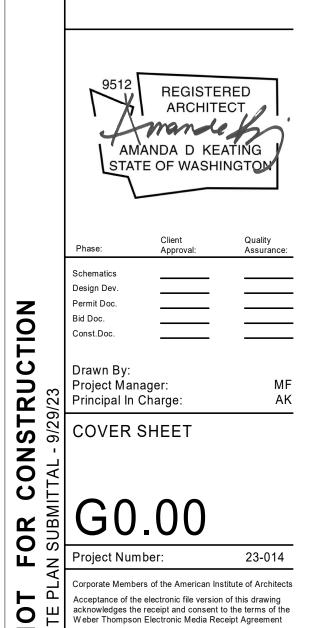
Client:

MJR DEVELOPMENT

6725 116TH AVE. NE, SUITE 100 KIRKLAND, WA 98033

Issue:

Construction Revision



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ABBREVIATIONS

A/C AB	AIR CONDITIONING ANCHOR BOLT	DMPR DMR
ACC	ACCESSIBLE ACOUSTICAL INSULATION	DN DOC
ACS DR	ACCESS DOOR ACCESS PANEL	DR DR
ACT AD	ACOUSTICAL CEILING TILE	DR DR CL
ADDL	ADDITIONAL ADDENDUM	DR FR DR OP
ADJ ADMIN	ADJACENT ADMINISTRATION	DRST
AFC	ABOVE FINISHED COUNTER ABOVE FINISHED FLOOR	DW
AFG	ABOVE FINSIHED GRADE	DWG DWR
AHU ALM	AIR HANDLING UNIT ALARM	EA
ALT ALUM	ALTERNATE ALUMINUM	EXP JNT EL
APPRX APT		ELAST ELEC
ARCH ASSY	ARCHITECT(URAL) ASSEMBLY	ELEV EMER
AUTO AVE	AUTOMATIC AVENUE	EPDM
AWT	ACOUSTICAL WALL TREATMENT	EQ EQUIP
B PL	BASE PLATE	ESMT ETC
BALC BATH	BALCONY BATHROOM	EVAC EX
BB BD	BASEBOARD BOARD	EXH EXH DT
BDRM BDRY	BEDROOM BOUNDARY	EXH FN EXH HD
BF BKG	BIFOLD BACKING	EXIST
BLDG	BUILDING BLOCKING	EXP BT
BLKG BLR	BOILER	EXT
BLT IN BLVD	BUILT-IN BOULEVARD	EXT
BLW BM	BELOW BEAM	FAB FAR
BOM BOS	BOTTOM OF MULLION BOTTOM OF STEEL	FAS FD
BP BRCG	BUILDING PAPER BRACING	FDN FE
BRDG BRG	BRIDGING BEARING	FEC
BSMT BTWN	BASEMENT BETWEEN	FF
BP	BY PASS	FF&E
C&G C&P	CURB & GUTTER CARPET & PAD	FG FIN
CAB CALC	CABINET CALCULATE	FIN FLR FIN GR
CANT CB	CANTILEVER CATCH BASIN	FIX FL
CB CEM	CERAMIC BASE CEMENT	FL OUT FLASH
CER CERT	CERAMIC CERTIFY	FLG FLR
CF CF/OI	CONTRACTOR FURNISHED CONTRACTOR FURNISHED/	FLUOR
CFM	OWNER INSTALLED CUBIC FEET PER MINUTE	FOF FOS
CG	CORNER GUARD	FPL FR
CHFR CIP	CHAMFER CAST IN PLACE	FT
CJ CL	CONTROL JOINT CENTERLINE	FT FTG
CLG CLO	CEILING CLOSET	FURN FURN
CLR CMU	CLEAR CONCRETE MASONRY UNIT	
CNR CNTR	CORNER COUNTER	GALV GB
CO COL	CLEANOUT COLUMN	GD GEN
CONC CONN	CONCRETE CONNECTION	GEN GFCI
CONST CONT	CONSTRUCTION CONTINUOUS	GL
CORR CPT	CORRIDOR CARPET	GLZ GLU LAM
CSMT CSWK	CASEMENT CASEWORK	GR GRAN
СТ СТВ	CERAMIC TILE CERAMIC TILE BASE	GRL GYP
CTF CTR	CERAMIC FLOOR CENTER	GWB
CTV CU FT	CABLE TELEVISION CUBIC FEET	HB HC
D	DRYER	HCWD HDR
DBL DEG	DOUBLE DEGREE	HDWR HD
DEMO DEPT	DEMOLITION DEPARTMENT	HM HNDRL
DET DETN	DETAIL DETENTION	HORIZ
DEV DF	DEVELOPMENT DRINKING FOUNTAIN	HS HT
DF DH DIA	DOUBLE HUNG DIAMETER	HVAC
DIAG DIM(S)	DIAGONAL DIMENSION(S)	HW
DISP DIST	DISPOSAL DISTANCE	IAQ ID
DIV	DIVISION	ID IIC
		INCL INFO
		INSUL

DAMPER DIMMER	INT ISO
DOWN DOCUMENT	J-BOX
DOOR DRAIN	JST JT
DRIVE DOOR CLOSER	KB
DOOR FRAME DOOR OPENING DOOR STOP	KIT LAM
DOWNSPOUT DISHWASHER	LAV LB(S)
DRAWING DRAWER	LF LINO
EACH	LRG LT
EXPANSION JOINT ELEVATION ELASTOMERIC	LTG LVL LVR
ELECTRICAL ELEVATOR	MACH
EMERGENCY ETHYLENE PROPLYLENE	MAINT
DIENE MONOMER EQUAL	MAT MAX
EQUIPMENT EASEMENT	MECH MED
ET CETERA EVACUATE EXISTING	MEZZ MFG MFR
EXHAUST EXHAUST DUCT	MGT
EXHAUST FAN EXHAUST HOOD	MIN MIR
EXISTING EXPANSION	MISC MLWK
EXPANSION BOLT	MTL MUA
EXTERIOR EXTINGUISHER	MULL
FABRICATOR FLOOR AREA RATIO	NA NIC NO
FASCIA FLOOR DRAIN	NOM NTS
FOUNDATION FIRE EXTINGUISHER	0/
(SURFACE MOUNT) FIRE EXTINGUISHER & CABINET (SEMI-RECESSED)	OA OC
FINISH FACE FURNITURE, FIXTURES &	OFD OH OPG
EQUIPMENT FINISHED GRADE	OPG OPP OPT
FINISHED FINISH FLOOR	ORD ORD
FINISH GRADE FIXTURE	ORIG OVFL
FLOORLINE FLOOR OUTLET FLASHING	PAR
FLOORING FLOOR	PAT PED
FLUORESCENT FACE OF CONCRETE	PEND PERF
FACE OF FINISH FACE OF STUD	PERIM PERP PKWY
FIREPLACE FIRE RATING	PL PLAM
FOOT / FEET FIRE TREATED FOOTING	PLY PNL
FURNACE FURNITURE	PREFAI PREFIN
GAUGE	PRELIM PREP
GRAB BAR	PRKG PROJ PROP
GENERAL	PSI PT
GENERATOR GROUND FAULT CIRCUIT INTERRUPTER	PT PT
GLASS GLAZING	PVG PWR
GLUED LAMINATED WOOD GRADE	QRY
GRANITE GRILLE	QTR QTY
GYPSUM GYPSUM BOARD	R R&S
HOSE BIBB HANDICAP	RAD RB
HOLLOW CORE WOOD DOOR HEADER	RCP
HARDWARE HOLDDOWN	RECEP RD RD
HOLLOW METAL HANDRAIL	REC RC REC'D
HORIZONTAL HOUR HAND SINK	RECPT REF
HEIGHT HEATING / VENTILATION /	REQ REQD
AIR CONDITIONING HOT WATER	RES RESIL
	REST REV RFG
IDENTIFICATION INTERIOR DESIGN	RIG RIG RM
IMPACT ISOLATION CLASS INCLUDE(ING, D) INFORMATION	RO ROW
INSULATION	

	INTERIOR ISOMETRIC
	JUNCTION BOX JOIST JOINT
	KNEE BRACE KITCHEN
	LAMINATE LAVATORY POUND(S) LINEAR FOOT / F LINOLEUM LARGE LIGHT LIGHTING LEVEL LOUVER
- F	MACHINE MAINTENANCE MANUFACTUREI MATERIAL MAXIMUM MECHANICAL MEDIUM MEZZANINE MANUFACTURIN MANUFACTURIN MANUFACTURE(MANAGEMENT MIDDLE MINIMUM MIRROR MISCELLANEOU MILLWORK METAL MAKE UP AIR UN MULLION
	NOT APPLICABL NOT IN CONTRA NUMBER NOMINAL NOT TO SCALE
	OVER OUTSIDE AIR ON CENTER OVERFLOW DRA OVERHEAD OPENING OPPOSITE OPTIONAL ORDINANCE OVERFLOW ROC ORIGINAL OVERFLOW
AB N	PARALLEL PATTERN PEDESTAL PENDANT PERFORATED PERIMETER PERPENDICULAI PARKWAY PROPERTY LINE PLASTIC LAMINA PLYWOOD PANEL PREFABRICATE PREFINISH
Μ	PRELIMINARY PREPARATION PARKING PROJECT PROPERTY POUNDS PER SC PAINT POST TENSIONE PRESSURE TREA PAVING POWER
	QUARRY QUARTER QUANTITY
P ROOM T	RISER ROD & SHELF RADIUS RUBBER BASE RESILIENT BASE REFLECTED CEI RECEPTION ROOF DRAIN ROAD RECREATION RO RECESSED RECEPTACLE REFRIGERATOR REQUIRE REQUIRE REQUIRED RESIDENTIAL RESILIENT RESILIENT RESTROOM REVISION ROOFING RIGID ROOM ROUGH OPENIN
	RIGHT OF WAY

	RT RV RL	RIG ROC RAII
FEET	S&P SAT SB SCH SCP SCRN SCWD SD SD SDG SECT SF SG SGD SHR SHT SH	SHE SUS SPL SCF SCL SCF SOL STC SID SEC SUD SAF SLIE SHE SHE
D	SIM SL SM SND SPEC SQ SS	SIM SLIE SMA SAN SPE SQL STA
NG E(R)	SSTL ST STR STD STL STOR	STA STR STA STA STE STC
JS	STRUCT SV SW SYM	STR SHE SWI SYM
NIT	T&B T&G	TOF TON
LE ACT	T/S TB TD TD TEL TEMP TFA TFB	TUB TOV TOV TRE TEL TEM TO I TO I TO I
AIN OF DRAIN	TFF THRU TI TO FDN TOB TOC TOF TOM TOP	TOF THR TOF TOF TOF TOF TOF TOF
	TOS TOW TP TR TSTAT TV TYP	TOF TOF TOII TOV THE TEL TYP
NR E ATE	UC UNO UR UTIL	UNE UNL URII UTII
QUARE INCH ED EATED	VAR VB VCT VEN VERT VEST VIC VIF VOL VER VTO VTR VWC	VAR VIN VEN VER VES VICI VER VER VER VEN VIN
E ILING PLAN	W/ W/D WO WC WC WD WEEP WDW WHF WIC	WIT WAS WIT WO WAS WO WEI WIN WAS
ООМ	WM WP WRB	WA ⁻ WA ⁻ WE/ BAR
٦	WSCT WT WTR WW	WAI WEI WA ⁻ WIN
	X BRACE XFMR	CRC TRA
	YD YR	YAR YEA

RIGHT OOF VENT AIN WATER LEADER HELF & POLE JSPENDED ACOUSTICAL TILE PLASH BLOCK HEDULE CUPPER CREEN DLID CORE WOOD DOOR ORM DRAIN **MOKE DETECTOR** DING ECTION QUARE FOOT / FEET AFETY GLASS IDING GLASS DOOR HOWER IEET IELVING MILAR IDING WINDOW/DOOR 1ALL ANITARY NAPKIN DISPENSER PECIFICATIONS QUARE ANDING SEAM (ROOF) AINLESS STEEL REET AIRS ANDARD EEL ORAGE RUCTURAL HEET VINYL VITCH MBOL OP & BOTTOM ONGUE & GROOVE JB/SHOWER OWEL BAR OWEL DISPENSER ENCH DRAIN LEPHONE MPORARY FLOOR ABOVE) FLOOR BELOW OP OF FINISH FLOOR IROUGH NANT IMPROVEMENT OP OF FOUNDATION OP OF BEAM OP OF CONC/CURB OP OF FLOOR OP OF MULLION **DP OF PARAPET** OP OF SLAB OP OF WALL DILET PAPER DISPENSER OWEL RACK ERMOSTAT LEVISION 'PICAL NDERCUT NLESS NOTED OTHERWISE RINAL FILITY RIES NYL BASE NYL COMPOSITION TILE ENEER ERTICAL ESTIBULE CINITY ERIFY IN FIELD LUME ERIFY ENT TO ROOF ENT THROUGH ROOF NYL WALL COVERING ASHER / DRYER THOUT OOD BASE ATER CLOSET ALL COVERING OOD EEP HOLE INDOW ATER HEATER HOLE HOUSE FAN ALK IN CLOSET ATER METER ATERPROOFING EATHER RESISTANT ARRIER AINSCOT EIGHT ATER INDOW WALL ROSS BRACE RANSFORMER

SYMBOLS

GENERAL NOTES

		CODE COMPLIANCE:
()	NORTH ARROW	1. REFER TO SHEET G2.00 FOR APPLICABLE BUILDING CODES, FIRE CODES, M/E/P CODES, FEDERAL
		GLAZING CODES, AND BARRIER-FREE ACCESSIBILITY REQUIREMENTS. 2. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT
	GRID BUBBLE	[ADA]; WASHINGTON STATE BARRIER FREE REQUIREMENTS; AND THE REQUIREMENTS OF ANSI A117.1. FOR APPLICABLE SECTIONS OF THESE ACTS, REFER TO SHEETS <u>G3.00 THROUGH G3.06</u> ;
(00)	(LETTERS I AND O OMITTED)	BARRIER FREE STANDARDS DRAWINGS ON SHEETS <u>G3.00</u> THROUGH <u>G3.06</u> SHALL GOVERN OVER PLANS IN CASE OF CONFLICT, EXCEPT IN CASES WHERE WASHINGTON STATE BARRIER FREE
		REQUIREMENTS ARE MORE STRINGENT. 3. NOTIFY ARCHITECT IN WRITING IMMEDIATELY IF BUILDING CODE REQUIREMENTS CONFLICT WITH
		OTHER PROJECT REQUIREMENTS, OR IF CODES ARE IN CONFLICT, OR IF THE FIELD INSPECTOR[S] CONTRADICT PLANS EXAMINER APPROVALS OR PRIOR DISCRETIONARY INTERPRETATION(S).
X (A0.00)	DETAIL (IDENTIFIED ON PLAN & SECTION)	 THE ELEVATORS SHALL BE CONNECTED TO EMERGENCY STANDBY POWER SUPPLIED BY A CONNECTION AHEAD OF THE SERVICE DISCONNECTING MEANS, IN ACCORDANCE WITH THE
		AUTHORITY HAVING JURISDICTION. 5. ALL CONSTRUCTION CREW MEMBERS, INCLUDING TRUCK DRIVERS, ALLOWED ON SITE WILL BE
X		REQUIRED TO COMPLY WITH WASHINGTON STATE'S POLICIES AND PROCEDURES FOR THE ENVIRONMENTAL PROTECTION AND HISTORIC PRESERVATION, ARCHEOLOGICAL STATE
(A0.00)	DETAIL (IDENTIFIED ON ELEVATION)	REGULATIONS PERTAINING TO THE IDENTIFICATION AND PROTECTION OF CULTURAL RESOURCES (E.G., RCW 27.44, RCW 27.53), AND COMPLIANCE WITH THE WASHINGTON STATE ENVIRONMENTAL
_		POLICY ACT (SEPA). THE ARCHAEOLOGICAL SITES AND RESOURCES ACT (<u>RCW 27.53</u>) PROHIBITS KNOWINGLY DISTURBING ARCHAEOLOGICAL SITES WITHOUT A PERMIT FROM THE WASHINGTON
X	BUILDING SECTION	STATE DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION (DAHP), AND THE INDIAN GRAVES AND RECORDS ACT (RCW 27.44) PROHIBITS KNOWINGLY DISTURBING NATIVE AMERICAN
A0.00	(IDENTIFIED ON PLAN)	OR HISTORIC GRAVES.
\wedge		RELATIONSHIPS AND RESPONSIBILITIES:
X A0.00	WALL SECTION (IDENTIFIED ON PLAN OR ELEVATION,	1. WORK IS GOVERNED BY AND SHALL BE CONDUCTED IN ACCORDANCE WITH THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, WHICH IS ADJOINED TO THE
	NOT BOTH)	OWNER/CONTRACTOR CONTRACT; READ IN CONJUNCTION WITH SUPPLEMENTARY GENERAL
		CONDITIONS WHERE APPLICABLE. 2. EXECUTION OF THE CONTRACT BY THE GENERAL CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR WAS VIOLED THE OUTE AND DECOME CENTERALLY FAMILIAD WITH COAL CONDITIONS
A0.00	EXTERIOR ELEVATION	CONTRACTOR HAS VISITED THE SITE AND BECOME GENERALLY FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED; AND THAT THE GENERAL CONTRACTOR HAS
		CONFIRMED ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. EXECUTION OF THE CONTRACT IS A FURTHER REPRESENTATION THAT THE CONTRACTOR HAS NOT RELIED UPON ANY STATEMENT
_	WORK POINT,	OR REPRESENTATION OF THE OWNER OR THE ARCHITECT OTHER THAN THOSE EXPRESSLY CONTAINED IN THE CONTRACT DOCUMENTS.
\bullet	CONTROL POINT, OR DATUM POINT	 THE CONTRACT DOCUMENTS [DRAWINGS, SPECIFICATIONS, PROJECT MANUAL, CONTRACTS, AND SPECIAL REPORTS AS MAY BE APPLICABLE OR REQUIRED UNDER PERMIT] ARE COMPLEMENTARY
		DOCUMENTS USED BY THE ARCHITECT TO DESCRIBE THE BUILDING PROJECT AND BY THE GENERAL CONTRACTOR TO DEVELOP AN UNDERSTANDING OF THE ARCHITECT'S DESIGN INTENT.
	MATCH LINE SYMBOL	WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL OF THE CONTRACT DOCUMENTS, INCLUDING, BUT NOT LIMITED TO, THE PROJECT MANUAL AND THESE DRAWINGS.
•		REPORT DISCREPANCIES, ERRORS, OMISSIONS, OR INCONSISTENCIES DISCOVERED BY THE CONTRACTOR PROMPTLY AND IN WRITING TO ARCHITECT AS A REQUEST FOR
٨		INFORMATION/INTERPRETATION (RFI). 4. THE ARCHITECT HAS AUTHORITY TO ACT ON BEHALF OF THE OWNER <u>ONLY TO THE EXTENT</u>
	BREAKLINE SYMBOL	PROVIDED IN THE CONTRACT DOCUMENTS. IN MATTERS WHERE THE ARCHITECT HAS NOT BEEN ENGAGED BY THE OWNER TO CONDUCT CONSTRUCTION ADMINISTRATION DUTIES, THE OWNER
		SHALL FULFILL THE ROLE OF THE ARCHITECT AND SHALL BE RESPONSIBLE FOR ENSURING FAITHFUL PERFORMANCE OF THE CONTRACT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
\bigotimes	FIRE EXTINGUISHER CABINET	 IF THE CONTRACTOR IS REQUESTED BY THE OWNER TO PROVIDE PRICING OR TO SIGN A CONTRACT FOR CONSTRUCTION BASED ON DOCUMENTS WHICH ARE NOT YET 100% COMPLETE,
F.E.	w/FIRE EXTINGUISHER	OR WHICH ARE MARKED AS 'NOT FOR CONSTRUCTION'; CONTRACTOR SHALL INCLUDE SUFFICIENT ALLOWANCES FOR BUILDING ELEMENTS AND MATERIALS WHICH ARE REASONABLY INFERABLE,
7'-0"		STANDARD INDUSTRY PRACTICE, OR KNOWN TO THE CONTRACTOR FROM PARTICIPATION IN PRE- CONSTRUCTION SERVICES MEETINGS, AND DOCUMENTED IN MEETING MINUTES [OR OTHER
<u> </u>	DENOTES CHANGE IN ELEVATION	WRITTEN COMMUNICATIONS] WHICH HAVE BEEN DISTRIBUTED TO THE CONTRACTOR. 6. THE ARCHITECT HAS BEEN CONTRACTED TO CONDUCT INFREQUENT CONSTRUCTION
		OBSERVATION AND WILL NOT BE REQUIRED TO MAKE EXHAUSTIVE OR CONTINUOUS ON-SITE INSPECTIONS TO CHECK QUALITY OR QUANTITY OF THE WORK. IT IS THE GENERAL
⊗P	EXIT SIGN, PENDANT	CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT SELF-PERFORMED WORK AND THE WORK OF
		ITS SUB-CONTRACTORS IS PERFORMED IN PRECISE ACCORDANCE WITH INDUSTRY STANDARDS, MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND WITH ALL OF THE CONSTRUCTION DOCUMENTS INCLUDING DRAWINGS, SPECIFICATIONS, PROJECT MANUALS AND ALL CONTRACTS.
	— PROPERTY LINE	NEITHER THESE OBSERVATIONS / INSPECTIONS, NOR ARCHITECT'S OR ITS SUBCONSULTANTS'
		ADMINISTRATION OF THE CONTRACT BETWEEN GENERAL CONTRACTOR AND OWNER OR PREPARATION OF ANY CONTRACT DOCUMENTS OR OTHER RELATED CONSTRUCTION DOCUMENTS,
	5	SHALL CREATE OR BE THE BASIS OF ANY OBLIGATION OR DUTY OWED BY THE ARCHITECT OR ITS SUBCONSULTANTS TO THE GENERAL CONTRACTOR, OR ANY SUBCONTRACTOR, AND THE
	REVISION CLOUD	GENERAL CONTRACTOR OR ITS SUBCONTRACTORS SHALL NOT BE DEEMED A THIRD PARTY BENEFICIARY OF ANY CONTRACT OR AGREEMENT BETWEEN ARCHITECT AND OWNER.
		7. THE ARCHITECT WILL NOT HAVE CONTROL OVER OR CHARGE OF, AND WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR
$\underline{1}$	REVISION TAG	SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THESE DUTIES BELONG EXCLUSIVELY TO THE GENERAL CONTRACTOR.
		8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THEIR TRADE CONTRACTORS AND DELEGATED DESIGN-BUILD CONTRACTORS ACQUIRE AND EXECUTE THEIR WORK OFF OF THE
WD-1 ST	FLOORING TRANSITION	VERY LATEST DRAWINGS AND BACKGROUNDS ISSUED FOR CONSTRUCTION. 9. THE GENERAL CONTRACTOR'S TRADE SUB-CONTRACTORS AND DELEGATED DESIGN-BUILD SUB-
× 51-		CONTRACTORS ARE RESPONSIBLE FOR THE LAYOUT AND COORDINATION OF THEIR OWN WORK, AND TO ENSURE THAT THEIR OWN WORK COMES TOGETHER WITH, AND DOES NOT CONFLICT
Ŵ3	WINDOW OR LOUVER TAG	WITH, THAT OF OTHERS. REPORT DISCREPANCIES IN THE DRAWINGS OR SPECIFICATIONS TO THE ARCHITECT IN WRITING FOR CLARIFICATION OF DESIGN INTENT.
	W = WINDOW	10. DESIGN-BUILD SYSTEMS INCLUDE, BUT ARE NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, SECURITY SYSTEM, LOW VOLTAGE WIRING, AUDIO/VISUAL SYSTEMS, GLAZING
	L = LOUVER 3 = TYPE	SYSTEMS, BUILDING MAINTENANCE [INCLUDING WINDOW WASHING] AS BIDDER-DESIGNED DESIGN- BUILD SYSTEMS. GENERAL CONTRACTOR SHALL FULLY COORDINATE THE DESIGN AND
	0 1112	INSTALLATION OF ALL DELEGATED DESIGN-BUILD / BIDDER-DESIGNED SYSTEMS AND OBTAIN SEPARATE CONSTRUCTION PERMITS FOR EACH SYSTEM, AS REQUIRED.
	DOOR TAG OPENING / BORROWED LITE NUMBER	DRAWINGS AND DOCUMENTS:
	TO CORRESPOND TO ROOM ENTERING UNO	1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. CONSULT ARCHITECT FOR REQUIRED
	WALL TAG	DIMENSIONAL CLARIFICATION. CAREFULLY REVIEW DIMENSIONS INDICATED ON DRAWINGS AS WELL AS SITE CONDITIONS IN ADVANCE OF CONSTRUCTION. NOTIFY ARCHITECT IN WRITING
	SEE SHEET A8.00 FOR WALL TYPE DETAILS	IMMEDIATELY OF CONFLICTS OR PROBLEMS, PRIOR TO CONSTRUCTING THE WORK. 2. IT IS NOT POSSIBLE NOR PRACTICAL TO DETAIL ALL UNIQUE CONDITIONS ON A COMPLEX PROJECT.
FIRE RATING	FRAMING SIZE DESIGNATION	WHEN CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR PARTS OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK OR 'TYPICAL' DETAILS. IF QUESTIONS CANNOT
•		BE RESOLVED IN THIS MANNER, CONTACT THE ARCHITECT VIA RFI PRIOR TO PROCEEDING WITH THE WORK.
(1)	KEY NOTE	 ALL WORK PERFORMED ON THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS, "LEASED SPACE REQUIREMENTS" DATED JULY 2005, FOUND ON WEBSITE:
		http://www.des.wa.gov/RES/LeasedSpace.htm, AS PUBLISHED BY THE STATE OF WASHINGTON, DEPARTMENT OF ENTERPRISE SERVICES DIVISION OF REAL ESTATE SERVICES (RES), INCLUDING
ROOM NAM	E ROOM TAG	ALL ALLOWANCES AND DIRECTIVES AS DESCRIBED IN PART A5, AND ALL ADDENDA. 4. CONSTRUCTION DOCUMENTS TO BE SUPPLEMENTED WITH TENANT IMPROVEMENT DOCUMENTS
ANSI Type		FOR COMMERCIAL SPACE. IF THERE IS A CONFLICT BETWEEN THE CONSTRUCTION DOCUMENTS AND THE TENANT IMPROVEMENT DOCUMENTS, CONTACT THE ARCHITECT VIA RFI PRIOR TO
1 🔫		PROCEEDING WITH THE WORK. 5. LATER DATED DOCUMENTS SHALL GOVERN OVER EARLIER DOCUMENTS OF THE SAME SUBJECT.
	ELEVATION IDENTIFICATION	 DRAWINGS OF LARGER SCALE SHALL GOVERN OVER THOSE OF SMALLER SCALE OF THE SAME DATE.
4 (A8.10)	2 (SHEET	 DIMENSIONS SHOWN IN DRAWINGS SHALL GOVERN OVER DIMENSIONS SCALED FROM DRAWINGS. STRUCTURAL DRAWINGS GOVERN OVER ARCHITECTURAL DRAWINGS IN MATTERS OF
3	(WHERE ELEVATION IS DRAWN)	 STRUCTURAL DRAWINGS GOVERN OVER ARCHITECTURAL DRAWINGS IN MATTERS OF STRUCTURAL DESIGN. 9. HORIZONTAL DIMENSIONS ARE TO BUILDING GRID LINES, OR FACE OF <u>FRAMING</u> UNLESS NOTED
Q		 9. HORIZONTAL DIMENSIONS ARE TO BUILDING GRID LINES, OR FACE OF <u>FRAMING</u> UNLESS NOTED OTHERWISE. 10. HORIZONTAL CLEAR DIMENSIONS ARE TO FACE OF <u>FINISHED</u> WALL OR SURFACE UNLESS NOTED
	ACCESSIBILITY SYMBOL	OTHERWISE.
		11. VERTICAL HEIGHTS ARE DIMENSIONED FROM TOP OF SLAB DATUM IN CONCRETE AND STEEL CONSTRUCTION AND TOP OF SUBFLOOR <u>OR TOPPING SLAB IN WOOD FRAMED CONSTRUCTION</u>
		UNLESS NOTED OTHERWISE. VERIFY AS-BUILT SLAB CONDITIONS AND ACCOUNT FOR SLAB CURL OR DEVIATION. 12. CLAZING SYSTEM DIMENSIONS ARE TO CENTER OF MULLION, FACE OF METAL BANEL FEATURE
		12. GLAZING SYSTEM DIMENSIONS ARE TO CENTER OF MULLION, FACE OF METAL PANEL FEATURE, OUTSIDE / INSIDE CORNER OR R.O. OF PUNCHED OPENING UNLESS NOTED OTHERWISE. VERIFY AS-BUILT ROUGH OPENINGS PRIOR TO ORDERING WINDOWS OR STOREFRONT.
		AS-BUILT ROUGH OPENINGS PRIOR TO ORDERING WINDOWS OR STOREFRONT. 13. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN SAME PLANE. 14. REPETITIVE FEATURES NOT SHOWN IN DRAWINGS ISUCH AS THOSE REFERENCED WITH "TYPICAL"
		14. REPETITIVE FEATURES NOT SHOWN IN DRAWINGS [SUCH AS THOSE REFERENCED WITH "TYPICAL" OR "TYP."] SHALL BE INCLUDED IN THE CONTRACT AND COMPLETELY PROVIDED AS IF DRAWN IN FULL.
		15. LOCATE DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS WITH EDGE OF FINISHED OPENINGS A MINIMUM OF THREE INCHES TO PERPENDICULAR FRAMING AT
		DOORS, OR AS DIMENSIONED. CONSULT WITH ARCHITECT IN CASE OF CONFLICT.
		16. REFER TO ELECTRICAL LIGHTING DESIGN DRAWINGS FOR LOCATIONS OF ALL ILLUMINATED EGRESS, PATHWAY AND EXIT SIGNAGE AND LIGHTING LOCATIONS.

MEANS AND METHODS:

- 1. THE GENERAL CONTRACTOR SHALL INSPECT PORTIONS OF WORK ALREADY PERFORMED UNDER THIS CONTRACT TO DETERMINE THAT SUCH PORTIONS ARE IN PROPER CONDITIONS TO RECEIVE SUBSEQUENT WORK. WHERE A COMPLEX ASSEMBLY INVOLVING SEVERAL TRADES IS CALLED FOR ON DRAWINGS, SUBMIT SHOP DRAWINGS SHOWING THE PROPOSED INTERACTION OF RELATED ELEMENTS FOR ARCHITECT'S REVIEW. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS AND FOR PROPER COORDINATION OF ALL TRADES, ASSEMBLIES AND SYSTEMS.
- PRIOR TO ORDERING MATERIALS FOR EACH PORTION OF THE WORK, INVESTIGATE AND VERIFY SITE CONDITIONS AND DIMENSIONS OF ALL WORK TO ASCERTAIN THAT WORK IS FEASIBLE AS SHOWN, AND THAT REQUIRED TOLERANCES ARE ACHIEVABLE AND CONSTRUCTIBLE. IMMEDIATELY NOTIFY ARCHITECT IN WRITING OF ANY PROBLEMS WITH SITE CONDITIONS OR DIMENSIONAL TOLERANCES. GENERAL CONTRACTOR SHALL COORDINATE SIZES AND LOCATIONS OF FLOOR AND WALL
- OPENINGS, PENETRATIONS AND SLEEVE LOCATIONS FOR WORK PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO MECHANICAL ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK
- 4. GENERAL CONTRACTOR SHALL ENSURE CONTINUITY IN, AND INTEGRITY OF, ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES AND CONSTRUCTION IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES: INSTALL FIRE-STOPS, FIRE STOPPING, FIRE SAFING, FIRE SEALANTS AND OTHER RELATED FIRE LIFE SAFETY ELEMENTS IN STRICT ACCORDANCE WITH AUTHORITY HAVING JURISDICTION AND WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, NATIONAL FIRE PROTECTION ASSOCIATION, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND DOCUMENTED AND FIRE-TESTED WALL, FLOOR/CEILING OR ROOF/CEILING ASSEMBLIES, AND IN PRECISE ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS. GENERAL CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO ANNULAR SPACE FIRE-STOPPING AT MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS OR RECESSES IN OR THROUGH FIRE RATED WALLS/ASSEMBLIES, PARTY WALLS, AND SEPARATIONS.
- 5. ALL FIRE RATED VERTICAL AND HORIZONTAL ASSEMBLIES MUST USE APPROPRIATE PRODUCTS AND BE INSTALLED EXACTLY PER THE REQUIREMENTS OF THE LISTED TESTED ASSEMBLY AS INCLUDED IN CONSTRUCTION DOCUMENTS AS WELL AS PRODUCT MANUFACTURER SPECIFICATIONS AND INSTRUCTIONS AND INDUSTRY STANDARDS. BRING ANY CONFLICT BETWEEN THE ASSEMBLY DESIGN NUMBER, THE SPECIFICATIONS, INDUSTRY STANDARDS OR THE ASSEMBLY
- DETAIL TO THE ARCHITECT'S ATTENTION IMMEDIATELY FOR CLARIFICATION. FIRE PROOFING PROVIDED FOR STRUCTURAL ELEMENTS SHALL NOT BE DISTURBED - OR SHALL BE FULLY REPAIRED IF DISTURBED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, IN ACCORDANCE WITH INDUSTRY STANDARDS, MANUFACTURER'S INSTRUCTIONS, AND TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION BUILDING INSPECTOR AND BUILDING OFFICIAL.
- PROVIDE A WEATHER-TIGHT AND WATERPROOFED BUILDING ENVELOPE COMPLETE WITH REQUIRED FOUNDATION DRAINAGE, WEATHER BARRIERS, FLASHINGS, SEALANTS, WATERPROOF MEMBRANES, ROOFING MEMBRANE AND EXTERIOR BUILDING ENVELOPE THAT IS IN STRICT ACCORDANCE WITH BUILDING CODES, INDUSTRY STANDARDS, PRECISE MANUFACTURER SPECIFICATIONS AND THE EXPLICIT REQUIREMENTS AND/OR DIRECTION OF THE BUILDING ENVELOPE CONSULTANT.
- 8. GENERAL CONTRACTOR SHALL PAY SPECIAL ATTENTION TO WATERPROOFING OF THE SUB-GRADE PARKING GARAGE, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, INDUSTRY STANDARDS, MANUFACTURER'S PRODUCT SPECIFICATIONS AND INSTALLATION DIRECTIVES, AND IN ACCORDANCE WITH EXPLICIT GUIDANCE FROM THE BUILDING ENVELOPE CONSULTANT. 9. CLEAN AND PREPARE SUBSTRATE SURFACES PRIOR TO INSTALLATION OF SELF-ADHESIVE
- MEMBRANE FLASHINGS IN PRECISE ACCORDANCE WITH MEMBRANE MANUFACTURER'S EXPLICIT RECOMMENDATIONS AND/OR AS DIRECTED BY THE BUILDING ENVELOPE CONSULTANT. 10. GENERAL CONTRACTOR SHALL INSTALL FIRE EXTINGUISHERS, STANDPIPES AND CONNECTIONS AT LOCATIONS INDICATED, UNLESS OTHERWISE REQUIRED BY LOCAL BUILDING INSPECTION JURISDICTION OR FIRE DEPARTMENT, AND [WHEN LOCATED ON PARKING LEVELS] SHALL PROVIDE BOLLARD OR METAL PLATE PROTECTION AS NEEDED TO PROTECT THESE ELEMENTS FROM DAMAGE. PROMPTLY NOTIFY THE ARCHITECT AND OWNER IN WRITING IN THE EVENT INDICATED LOCATIONS ARE UNACCEPTABLE TO THE LOCAL BUILDING INSPECTION JURISDICTION OR FIRE DEPARTMENT, OR IN CASE OF CONFLICT BETWEEN AGENCIES OR PLAN EXAMINERS AND FIELD INSPECTOR[S].
- 11. TENANT IMPROVEMENTS OR BUILD-OUT SHALL NOT INTERFERE WITH THE ORIGINAL SMOKE CONTROL SYSTEM DESIGN, OR ZONE CONFIGURATION AS APPROVED BY AUTHORITY HAVING JURISDICTION.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SEALING OFF OCCUPIED AREAS FROM CONSTRUCTION DUST, DEBRIS, AND NOISE RELATED TO THE IMPROVEMENT WORK INCLUDING BUT NOT LIMITED TO DOOR OPENINGS, CORE DRILLS AND WALL PENETRATIONS.
- 13. GENERAL CONTRACTOR SHALL CONSULT AND COLLABORATE WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION REGARDING APPROPRIATE EFFORTS TO ENSURE THAT CONCRETE DECKS ARE INSTALLED SO AS TO AVOID "SLAB CURL"; AND SO AS TO ENSURE THAT "WAVES" OR CRACKING IN SLABS IS MINIMIZED TO THE GREATEST DEGREE POSSIBLE. ALL DECKS SHALL HAVE A MINIMUM OF 1/4" PER FOOT (2%) SLOPE FOR POSITIVE DRAINAGE PER SLAB PLANS OR AS DIRECTED BY ARCHITECT IN WRITING. GENERAL CONTRACTOR SHALL REVIEW SLAB SLOPE PLANS CAREFULLY IN ADVANCE OF CONSTRUCTION TO ENSURE THAT PRESCRIBED SLAB SLOPE AND POSITIVE DRAINAGE IS CONSTRUCTIBLE, AND THAT IT ACCOUNTS FOR POSSIBLE 'SLAB CURL'
- 14. GENERAL CONTRACTOR SHALL INSTALL SIDEWALKS IN THE RIGHT OF WAY IN ACCORDANCE WITH ALL STATE OF WASHINGTON STANDARDS, INCLUDING THE REQUIREMENT THAT CROSS SLOPE BE PROVIDED AT 2% FOR POSITIVE DRAINAGE TO STREET.
- 15. EXISTING FIRE PROOFING FOR STRUCTURAL ELEMENTS SHALL NOT BE DISTURBED OR SHALL BE REPAIRED.

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ABBREVIATIONS,

SYMBOLS, & GENERAL

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	LACEY MUNICIPAL CODE
	OFF-STREET PARKING AND STALLS PER SITE PLAN.
TOTAL STALLS PROVIDED	STALLS PROVIDED = 86 ON SITE, TOTAL. STANDARD STALLS: 69 COMPACT STALLS: 17
	ACCESSIBLE STALLS PROVIDED = 4 STALLS TOTAL (ALL STANDARD SIZE) VAN STALLS PROVIDED = 1
OFF STREET PARKING (TABLE 16T-13)	RESIDENTIAL OPTIONAL MINIMUM: • 1 PER STUDIO, • 1.5 PER 1 - 2 BR
	SEE A1.00 FOR CALCULATIONS
ACCESSIBLE STALLS: (IBC TABLE 1106.1 & 1106.3.1	• WHEN BETWEEN 76-100 STALLS ARE PROVIDED, AT LEAST 4 STALLS SHALL BE ACCESSI • FOR R-2 OCCUPANCY THAT REQUIRE TYPE A OR TYPE B DWELLING UNITS, AT LEAST 29 NOT LESS THAN ONE, OF EACH TYPE OF PARKING SPACE PROVIDED SHALL BE ACCESSIE
	SEE A1.00 FOR CALCULATIONS
VAN SPACES: (IBC 1106.6)	• FOR EVERY 6, OR FRACTION THERE OF, ACCESSIBLE PARKING SPACES, AT LEAST ONE SHALL BE A VAN-ACCESSIBLE PARKING SPACE
	SEE A1.00 FOR CALCULATIONS
BICYCLE PARKING: (TABLE 16T-13)	• MULTIFAMILY: 1 PER 10 AUTO STALLS. 2 MIN PER BUILDING.
· · ·	SEE A1.00 FOR CALCULATIONS
BICYCLE PARKING SPACE STANDARDS (16.72.050.C.3)	• BICYCLE PARKING SPACES SHALL BE 2' X 6' WITH NO LESS THAN A 7' OVERHEAD AND 5' MANEUVERING AISLE BEHIND EACH ROW OF BICYCLE PARKING.

STANDARDS (16.72.050.C.3)	MANEUVERING AISLE BEHIND EACH ROW OF BICYCLE PARKING. • BICYCLE PARKING AREAS SHOULD BE SEPARATED FROM VEHICULAR PARKING AREAS BY A BARRIER, POST, BOLLARD OR AT LEAST 5' OF OPEN SPACE BEHIND THE MANEUVERING AREA. • BICYCLE FACILITIES SHALL BE LOCATED NO FURTHER FROM A PUBLIC ENTRANCE THAN THE NEAREST NON-HANDICAPPED PARKING STALL. • IF PUBLIC BICYCLE PARKING IS NOT CLEARLY VISIBLE FROM THE MAIN ENTRANCE, THEN PROVIDE DIRECTIONAL SIGNS.
PARKING DEVELOPMENT	• BACKING OUT ONTO THE STREET OR ROW IS PROHIBITED.
STANDARDS (16.72.050)	 PROVIDE 30 - 50 % OF STALLS FOR COMPACT SIZE CARS. PROTECTED PEDESTRIAN ACCESS FEATURES TO INCLUDE: RAISED CROSSWALKS WITH DIFFERENTIATING COLOR AND TEXTURE, PLANTER AREAS TO PROVIDE SEPARATION FROM AUTO ACCESS LANES, LIGHTING TO ENHANCE SAFETY
PARKING LOT LANDSCAPING (PRE-SUBMITTAL MEETING NOTES)	THE PARKING LOT CAN REMAIN AS IS IF THERE ARE LIMITED CHANGES.
LANDSCAPING REQUIRED AT PARKING (16.80.050)	• WHEN PARKING AREA CONTAINS MORE THAN 25 SPACES, AT LEAST 50 SF OF LANDSCAPE DEVELOPMENT MUST BE PROVIDED FOR EACH STALL.
	• MIN WIDTH FOR TYPE IV LANDSCAPING IS 6'. AT PARKING AREA PEDESTRIAN WALKS WHERE ACCENT TREES ARE USED, THE WIDTH MAY BE REDUCED TO 4'.
	• EACH PLANTING AREA SHOULD CONTAIN AT LEAST 1 TREE.
	 NO PARKING STALL SHALL BE LOCATED MORE THAN 50' FROM A TREE. A LANDSCAPED AREA MUST BE PLACED AT THE INTERIOR END OF EACH PARKING ROW IN A
	MULTIPLE LANE PARKING AREA. IT MUST BE 8' WIDE AND EXTEND THE LENGTH.
	 THERE MUST BE AT LEAST ONE LANDSCAPING ISLAND EVERY SEVEN PARKING SPACES, MIN 8' WIDE AND 10' LONG.
	• 70 - 100% OF PARKING AREA TREES MUST BE DECIDUOUS.

ZONING SUMMAR				CT DAT								
LACEY MUNI	ZONING SUMMARY CIPAL CODE: WOODLAND SQUARE - URBAN NEIGHBORHOOD 1 HOUSEHOLD LIVING IS PERMITED OUTRIGHT.	NOTES & DEPARTURES	OWNER:		MJR DEVEL 6725 116TH KIRKLAND,	AVE. NE, SUI	TE 100					
SQUARE DISTRICT Table 16.24.030-1)			BUILDING AD ZONING:		WD (WOOD	AND SQ. LOC	CT), URBAN N	IEIGHBORHO				
/	WHEN RESIDENTIAL USES OCCUR ON THE GROUND FLOOR, VERTICAL AND HORIZTONAL SEPARATION IS REQUIRED; MINIMUM AND MAXIMUM VERTIACAL	SEE FRONTAGE TYPE 4 BELOW (FIGURE AND TABLE 16.24.070-4)	LEGAL DESC	RIPTION:	UNDER REC	CORDING NO.	8709180126,	RECORDS O	SS-BLA-6144 RECOR OF THURSTON COUI			, 1987
16.24.030.C.3)	AND HORIZONTAL DISTANCES FROM THE SIDE WALK PER LMC 16.24.070		ASSESSOR'S	5 TAX/PARCEL	. #: 8499000140	ON COUNTY, 0	WASHINGTO	l				
STANDARDS FOR DEVELOPMENT 16.24.040)	DEVELOPMENT WITHIN WOODLAND DISTRICT MUST COMPLY WITH THE STANDARDS PRESCRIBED IN THIS CHAPTER AND THE STANDARDS SET FORTH		GROSS LOT / PROJECT DE		99,326 SF (2				THE EXISTING 4-ST			G (B
	BY THE PACIFIC NORTHWEST ARCHITECTURAL STYLE GUIDELINES AND DESIGN CHARACTER ELEMENTS. IN THE EVENT OF A CONFLICT BETWEEN THIS CHAPTER AND ANY OTHER ORDINANCES OF THE CITY OF LACEY, THE PROVISIONS OF THIS				OCCUPANC	Y) INTO A MU	LTI-FAMILY F	RESIDENTIAL	BUILDING (R2 OCC	CUPANCY) C	CONSISTIN	IG ÒF
	CHAPTER SHALL PREVAIL WITH THE EXCEPTION OF ORDINANCES WHOSE STANDARDS ARE MORE RESTRICTIVE.				INSULATION	N VALUES. TH	E EXISTING S	STEEL STRUG	TH NEW FENESTRA CTURE WILL REMA (ING CONFIGURATIO	AIN INTACT.	EXISTING	
PERMITTED BUILDING &	• WOODLAND SQUARE LOOP SE FALLS UNDER THE "ALL OTHER STREETS"											
ANDSCAPING FRONTAGE TYPE: TABLE 16.24.050.2) STREET TYPES: FIG 16.24.050.1 &	HEADING AND IS DEFINED AS A "LOCAL STREET".		ENVIRONMEN SENSITIVE A		NONE							
ABLE 16.24.050.2	A. SECONDARY FRONTAGE TYPE B. LOCAL STREET											
	C. AESTHETIC CHARACTER: VARIES D. BUILDING & LANDSCAPE FRONTAGE PERMITTED: LINEAR FORECOURT											
	PORCH-STOOP-TERRACE, LANDSCAPE BUILDING LOW WALL AND TRELLIS, URBAN WALL OR FENCE, LANDSCAPE SETBACK E. ROLE IN NETWORK: BIKE, PEDESTRIAN, LOCAL VEHICULAR CONNECTIVITY		BUIID	ING MA	TRACIE	S						
	F. DESIGN SPEED: UNDER 20 MPH G. RIGHT OF WAY EASMENT: VARIES					U						
	H. LOCATION OF BUILD-TO LINE: AT FRONT PROPERTY LINE I. CURB-TO-CURB WIDTH: VARIES (+/- 35') J. TRAVEL LANES: TWO					GROSS	ם ווו ופ					
	K. TRAVEL LAND WIDTH 9.5 FEET FOR LOCAL STREETS N. BIKE FACILITIES: N/A					VERTIC	AL		HORIZONTAL			XTERIO
	O. SIDEWALK WIDTH: VARIES											
BUILDING HEIGHT	• MAX. BUILDING HEIGHT IS 150 FEET.	• EXISTING BUILDING HEIGHT IS 55'	LEVEL 1 LEVEL 2 LEVEL 3	661 0	0 0 0 0 0 0		6,29 7,17 7,17	79 76	608 611 611	0 8,3	334 SF 334 SF 334 SF	0
TABLES 16.24.060.1&16.24.070.1)	 MIN. BUILDING HEIGHT IS 30 FEET. MAX PODIUM HEIGHT IS 55 FEET. 	• THE BUILDING IS EXISTING. NO ADDITIONAL HEIGHT IS PROPOSED.	LEVEL 3	0	0 0 0 0		7,17	78 76	611 2,441	0 8,3	334 SF 335 SF	0
BUILDING FORM, SITING AND	PRIMARY STREET FACING FRONTAGE IS WOODLAND SQUARE LOOP SE FRONT SETBACK: SEE FRONTAGE TYPE 4 BELOW	THE BUILDING IS EXISTING. NO ADDITIONAL HEIGHT OR HORIZONTAL EXPANSION IS				,	nit Matrix -					-
16.24.060.1)	SIDE YARD SETBACK RESIDENTIAL: 20' MIN REAR YARD SETBACK RESIDENTIAL: 20' MIN	PROPOSED.	Units		Studi		en 1	1 BR	1 BR + Den	2BR	Units p	oer leve
SITE DESIGN & LANDSCAPE -	BUILDING HEIGHT: 30' MIN. 150' MAX. SETBACKS FOR SURFACE PARKING ADJACENT TO A SECONDARY STREET:	SURFACE PARKING IS EXISTING AND WILL		ROOF L4							;	12
SURFACE PARKING TABLE 16.24.060-3)	FRONT SETBACK: MIN 10' SIDE SETBACK: MIN 10'	REMAIN.	Floor Levels	13	$\frac{2}{4}$		$\frac{4}{4}$	$\frac{4}{4}$	· <u>0</u>	<u>1</u>	+	13
	• REAR SETBACK: MIN 10				3		2	5	0	<u> </u>	<u> </u> 1	11
SOIL AMENDMENT (16.24.070.B.2)	• ALL DISTURBED AREAS SHALL BE REPLANTED WITH NATIVE AND DROUGHT-TOLERANT VEGETATION AND SHALL MEET SOIL AMENDMENT REQ'S IN THE CURRENT CITY OF LACEY STORMWATER DESIGN MANUAL			hits per type of Mix	13 27%		14 9%	17 35%	1 2%	4 8%		<mark>49</mark>)0%
RONTAGE DEFINITION 16.24.070.B.4)	FRONTAGE SHALL BE DEFINED AS THE LINEAR DISTANCE BETWEEN THE CENTERLINES OF THE PERPENDICULAR PRIMARY STREET, SECONDARY STREET					U		- by Unit				
RONTAGE REQUIREMENTS	OR THROUGH CONNECTION. • PRIMARY STREET FRONTAGE: THE FRONT FAÇADE OF THE BUILDING IS	• THE PROJECT PRIMARY FRONTAGE IS ALONG	UNIT NAME	ТҮРЕ	SIZE	L1	L2	L3 I	L4 UNIT COUNT SUBTOTAL	T UNIT TYPE SUBTOTAL		
16.24.070.B.5)	EXISTING AND FOLLOWS THE LANDSCAPE SETBACK FRONTAGE CRITERIA.	WOODLAND SQUARE LOOP NE. AND UTILIZES AN EXISTING LANDSCAPE SETBACK FRONTAGE.	A1 (x03) A2 (x08)	STUDIO STUDIO	458 412	0	1 1	1	1 3 0 3	_		
RONTAGE TYPE 4	MINIMUM BUILDING DEPTH: 40' MIN. FAÇADE SHALL BE SETBBACK 10' MIN & 15' MAX ALONG THE BUILD-TO LINE.	• EXISTING BUILDING DEPTH IS 68' • ENTRANCE TO RECEIVE A CANOPY	A3 (x09) A4 (x10)	STUDIO STUDIO	439 421	1 1	1 1	-	0 3 0 3	13	437	26.5
,	ENTRANCE TO BE WEATHER PROTECTED WITH CANOPY OR RECESSED ENTRY GROUND FLOOR WINDOWS TO BE 60% TRANSPARENT MIN. OF PRIMARY	SEE TRANSPARANCY DIAGRAM EXISTING BUILDING IS 37'-5" FROM	A4a (410)	STUDIO	495 Subtotals	0 3	0 4	•	1 1 2			
	STREET-FACING FAÇADE AREA.	BUILD-TO-LINE (PROPERTY LINE)										
RONTAGE TYPE - 7			B1 (x02)	OPEN 1	471	0	1	1	1 3			
ANDSCAPE SETBACK	FRONTAGE: SURFACE PARKING AREAS SHALL BE SCREENED WITH A LANDSCAPE SETBACK ALONG THE BUILD-TO LINE.	• EXISTING PARKING AND LANDSCAPE RELATIONSHIP WILL NOT CHANGE	B1 (x02) B2 (x04) B2a (104)	OPEN 1 OPEN 1 OPEN 1	471 488 535	0 0 1	1 1 0	1 1 0	1 3 1 3 0 1		404	20.0
TABLE 16.24.070-7)	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY	• EXISTING PARKING AND LANDSCAPE RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE.	B2 (x04)	OPEN 1	488	0 0 1 0 1	1 1 0 1 1	1 1 0 1 1 1	1 3	14	484	28.6
TABLE 16.24.070-7)	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY (SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM	B2 (x04) B2a (104) B3 (x05)	OPEN 1 OPEN 1 OPEN 1	488 535 455	0 0 1 0 1 2	1 1 0 1 1 4	1 1 1	1 3 0 1 1 3	14	484	28.6
TABLE 16.24.070-7) SEE G1.01 LANDSCAPE SETBACK	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUNDCOVER ARE STILL REQUIRED.) • LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE.	B2 (x04) B2a (104) B3 (x05)	OPEN 1 OPEN 1 OPEN 1	488 535 455 498	0 0 1 0 1 2 1 1 0 0	1 1 0 1 1 4 0 1 1 4 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 4	1 3 0 1 1 3 1 4	14	484	28.6
TABLE 16.24.070-7) SEE G1.01 LANDSCAPE SETBACK RONTAGE DIAGRAM.	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY (SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUNDCOVER ARE STILL REQUIRED.) • LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG STREET FRONTAGES.	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE.	B2 (x04) B2a (104) B3 (x05) B4 (x12) C1 (103) C2 (x06) C2a (106)	OPEN 1 OPEN 1 OPEN 1 OPEN 1 1 BED 1 BED 1 BED	488 535 455 498 Subtotals 524 671 669	0 0 1 0 1 2 1 0 1 0 1 0 1 0 1 0 0 0 0	1 1 0 1 4 0 1 0 1 0 1 0 1 0 1 0 1	1 1 4 0 1	1 3 0 1 1 3 1 4 4 1 0 1			
TABLE 16.24.070-7) SEE G1.01 LANDSCAPE SETBACK	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUNDCOVER ARE STILL REQUIRED.) • LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE.	B2 (x04) B2a (104) B3 (x05) B4 (x12) C1 (103) C2 (x06) C2a (106) C3 (x07) C3a (x07)	OPEN 1 OPEN 1 OPEN 1 OPEN 1 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED	488 535 455 498 Subtotals 524 671 669 742 675	0 0 1 0 1 2 1 0 1 1 0 1 0 1 0 1 0 1 1 0 1 1 0 1 1 0 1 1 1 0 1 1 1 0 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 0 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1	1 1 4 0 1 0 1 0 1 0 1 0 1 0	1 3 0 1 1 3 1 4 4 4 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1	14	649	28.6
TABLE 16.24.070-7) SEE G1.01 LANDSCAPE SETBACK RONTAGE DIAGRAM.	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUNDCOVER ARE STILL REQUIRED.) • LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG STREET FRONTAGES. ITEMS TO BE REVIEWED: • LOW IMPACT DELELOPMENT APPROACHES (LIDA) - N/A	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE. • THE PROJECT IS EXISTING WITH MINIMAL SITE	B2 (x04) B2a (104) B3 (x05) B4 (x12) C1 (103) C2 (x06) C2a (106) C3 (x07)	OPEN 1 OPEN 1 OPEN 1 OPEN 1 1 BED 1 BED 1 BED 1 BED 1 BED	488 535 455 498 Subtotals 524 671 669 742 675 595 635	0 0 1 0 1 2 1 0 1 0 1 0 1 0 1 1 1 1 1 5	1 1 0 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 1 4	1 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1	1 3 0 1 1 3 1 4 4 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3			
TABLE 16.24.070-7) SEE G1.01 LANDSCAPE SETBACK RONTAGE DIAGRAM.	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY (SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUNDCOVER ARE STILL REQUIRED.) • LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG STREET FRONTAGES. ITEMS TO BE REVIEWED: • LOW IMPACT DELELOPMENT APPROACHES (LIDA) - N/A • STREET AND THROUGH CONNECTION CROSSINGS - N/A • TRAFFIC CALMING APPROACHES - N/A • PRESUBMISSION CONFERENCE IS REQUIRED FOLLOWED BY • LIMITED ADMINISTRATIVE REVIEW MAY BE REQUIRED FOLLOWED BY	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE. • THE PROJECT IS EXISTING WITH MINIMAL SITE WORK • PRESUBMISSION CONFERENCE IS COMPLETE (08/16/23 DATE)	B2 (x04) B2a (104) B3 (x05) B4 (x12) C1 (103) C2 (x06) C2a (106) C3 (x07) C3a (x07) C4 (x11) C5 (x13)	OPEN 1 OPEN 1 OPEN 1 OPEN 1 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED	488 535 455 498 Subtotals 524 671 669 742 675 595	0 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 1 0 1 1 1 1 5 0 0 1 0 1	1 0 1 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 1 4 0	1 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1	1 3 0 1 1 3 1 4 4 4 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 4		649	34.7
TABLE 16.24.070-7) SEE G1.01 LANDSCAPE SETBACK RONTAGE DIAGRAM. DESIGN TOOLBOX (16.24.080)	 LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUNDCOVER ARE STILL REQUIRED.) LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG STREET FRONTAGES. ITEMS TO BE REVIEWED: LOW IMPACT DELELOPMENT APPROACHES (LIDA) - N/A STREET AND THROUGH CONNECTION CROSSINGS - N/A TRAFFIC CALMING APPROACHES - N/A 	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE. • THE PROJECT IS EXISTING WITH MINIMAL SITE WORK • PRESUBMISSION CONFERENCE IS COMPLETE (08/16/23 DATE) • SITE PLAN REVIEW APPROVAL IS REQUIRED FOR MORE THE 2 DWELLING UNITS AND THE	B2 (x04) B2a (104) B3 (x05) B4 (x12) C1 (103) C2 (x06) C2a (106) C3 (x07) C3a (x07) C4 (x11)	OPEN 1 OPEN 1 OPEN 1 OPEN 1 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED	488 535 455 498 Subtotals 524 671 669 742 675 595 635 Subtotals	0 0 1 0 1 2 1 1 0 1 0 1 1 1 1 1 5 0 0 0 0 0 0 0 0 0 0 0 0 0	1	1 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1	1 3 0 1 1 3 1 4 4 4 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 4			
TABLE 16.24.070-7) SEE G1.01 LANDSCAPE SETBACK RONTAGE DIAGRAM. DESIGN TOOLBOX (16.24.080)	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY (SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUNDCOVER ARE STILL REQUIRED.) • LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG STREET FRONTAGES. ITEMS TO BE REVIEWED: • LOW IMPACT DELELOPMENT APPROACHES (LIDA) - N/A • STREET AND THROUGH CONNECTION CROSSINGS - N/A • TRAFFIC CALMING APPROACHES - N/A • PRESUBMISSION CONFERENCE IS REQUIRED FOLLOWED BY • LIMITED ADMINISTRATIVE REVIEW MAY BE REQUIRED FOLLOWED BY • SITE PLAN REVIEW IS REQUIRED FOR PROJECTS WITH MORE THAN 2 DWELLING	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE. • THE PROJECT IS EXISTING WITH MINIMAL SITE WORK • PRESUBMISSION CONFERENCE IS COMPLETE (08/16/23 DATE) • SITE PLAN REVIEW APPROVAL IS REQUIRED	B2 (x04) B2a (104) B3 (x05) B4 (x12) C1 (103) C2 (x06) C2a (106) C3 (x07) C3a (x07) C4 (x11) C5 (x13)	OPEN 1 OPEN 1 OPEN 1 OPEN 1 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED	488 535 455 498 Subtotals 524 671 669 742 675 595 635 Subtotals	0 0 1 0 1 2 1 0 1 0 1 0 1 1 0 1 0 1 0 1 1 0 1 0 1 1 1 0 0 1 1 1 1	1	1 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1	1 3 0 1 1 3 1 4 4 4 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 4		649	34.7
TABLE 16.24.070-7) SEE G1.01 LANDSCAPE SETBACK RONTAGE DIAGRAM. DESIGN TOOLBOX (16.24.080) FORM-BASED CODE REVIEW 16.24.090)	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY (SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUNDCOVER ARE STILL REQUIRED.) • LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG STREET FRONTAGES. ITEMS TO BE REVIEWED: • LOW IMPACT DELELOPMENT APPROACHES (LIDA) - N/A • STREET AND THROUGH CONNECTION CROSSINGS - N/A • TRAFFIC CALMING APPROACHES - N/A • PRESUBMISSION CONFERENCE IS REQUIRED FOLLOWED BY • LIMITED ADMINISTRATIVE REVIEW MAY BE REQUIRED FOLLOWED BY • SITE PLAN REVIEW IS REQUIRED FOR PROJECTS WITH MORE THAN 2 DWELLING UNITS OR WITH A CHANGE OF OCCUPANCY PER THE BUILDING CODE. SECTION 2 PART (h) CODE CITIES MAY NOT: "DENY A BUILDING PERMIT	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE. • THE PROJECT IS EXISTING WITH MINIMAL SITE WORK • PRESUBMISSION CONFERENCE IS COMPLETE (08/16/23 DATE) • SITE PLAN REVIEW APPROVAL IS REQUIRED FOR MORE THE 2 DWELLING UNITS AND THE CHANGE OF USE FROM OFFICE TO RESIDENTIAL • THE EXISTING ELEVATOR DIMENSIONS DO NOT	B2 (x04) B2a (104) B3 (x05) B4 (x12) C1 (103) C2 (x06) C2a (106) C3 (x07) C3a (x07) C3a (x07) C4 (x11) C5 (x13) D1 (408) E1 (x01)	OPEN 1 OPEN 1 OPEN 1 OPEN 1 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 2 BED TOTALS	488 535 455 498 Subtotals 524 671 669 742 675 595 635 Subtotals 778 Subtotals 893 Subtotals	0 0 1 0 1 2 1 2 1 0 1 0 1 1 0 1 1 1 5 0 0 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1 4 0 0 1 1 1 1 1 1 1 1 1 1	1 1 1 4 0 1 0 1 0 1 1 4 0 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 3 0 1 1 3 1 4 4 - 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 4 1 4 1 4 1 1 1 4 1 4 1 4 1 4 1 4 1 4 1 4 1 4 1 4	17 17 1 	649 778 893	34.7 2.0 8.2
TABLE 16.24.070-7) SEE G1.01 LANDSCAPE SETBACK RONTAGE DIAGRAM. DESIGN TOOLBOX (16.24.080) FORM-BASED CODE REVIEW 16.24.090) PER HOUSE BILL 1042; CHAPTER 285, LAWS OF 2023	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY (SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUNDCOVER ARE STILL REQUIRED.) • LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG STREET FRONTAGES. ITEMS TO BE REVIEWED: • LOW IMPACT DELELOPMENT APPROACHES (LIDA) - N/A • STREET AND THROUGH CONNECTION CROSSINGS - N/A • TRAFFIC CALMING APPROACHES - N/A • PRESUBMISSION CONFERENCE IS REQUIRED FOLLOWED BY • LIMITED ADMINISTRATIVE REVIEW MAY BE REQUIRED FOLLOWED BY • LIMITED ADMINISTRATIVE REVIEW MAY BE REQUIRED FOLLOWED BY • SITE PLAN REVIEW IS REQUIRED FOR PROJECTS WITH MORE THAN 2 DWELLING UNITS OR WITH A CHANGE OF OCCUPANCY PER THE BUILDING CODE. SECTION 2 PART (h) CODE CITIES MAY NOT: "DENY A BUILDING PERMIT APPLICATION FOR THE ADDITION OF HOUSING UNITS WITHIN AN EXISTING 8 BUILDING DUE TO NONCONFORMITY REGARDING PARKING, HEIGHT, SETBACKS, ELEVATOR SIZE FOR GURNEY TRANSPORT, OR MODULATION, UNLESS THE CODE CITY OFFICIAL WITH DECISION-MAKING AUTHORITY MAKES WRITTEN FINDINGS	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE. • THE PROJECT IS EXISTING WITH MINIMAL SITE WORK • PRESUBMISSION CONFERENCE IS COMPLETE (08/16/23 DATE) • SITE PLAN REVIEW APPROVAL IS REQUIRED FOR MORE THE 2 DWELLING UNITS AND THE CHANGE OF USE FROM OFFICE TO RESIDENTIAL • THE EXISTING ELEVATOR DIMENSIONS DO NOT NEED TO BE ALTERED FOR THIS PROJECT.	B2 (x04) B2a (104) B3 (x05) B4 (x12) C1 (103) C2 (x06) C2a (106) C3 (x07) C3a (x07) C3a (x07) C4 (x11) C5 (x13) D1 (408) E1 (x01)	OPEN 1 OPEN 1 OPEN 1 OPEN 1 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 2 BED TOTALS	488 535 455 498 Subtotals 524 671 669 742 675 595 635 Subtotals 778 Subtotals 893 Subtotals	0 0 1 0 1 2 1 2 1 0 1 0 1 0 1 1 0 1 1 1 5 5 0 0 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1 4 0 0 1 1 1 1 1 1 1 1 1 1	1 1 1 4 0 1 0 1 0 1 1 4 0 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 3 0 1 1 3 1 4 4 - 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 4 1 4 4 - 1 1 1 4 1 4 1 4 1 4 1 4 1 4 1 4 1 4 1 4	17 17 1 	649 778 893	34.7 2.0 8.2
TABLE 16.24.070-7) SEE G1.01 LANDSCAPE SETBACK RONTAGE DIAGRAM. DESIGN TOOLBOX (16.24.080) FORM-BASED CODE REVIEW 16.24.090) PER HOUSE BILL 1042; CHAPTER 285, LAWS OF 2023 USE OF EXISTING BUILDING FOF RESIDENTIAL PURPOSES"	LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. • SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY (SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUNDCOVER ARE STILL REQUIRED.) • LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG STREET FRONTAGES. ITEMS TO BE REVIEWED: • LOW IMPACT DELELOPMENT APPROACHES (LIDA) - N/A • STREET AND THROUGH CONNECTION CROSSINGS - N/A • TRAFFIC CALMING APPROACHES - N/A • TRAFFIC CALMING APPROACHES - N/A • PRESUBMISSION CONFERENCE IS REQUIRED FOLLOWED BY • LIMITED ADMINISTRATIVE REVIEW MAY BE REQUIRED FOLLOWED BY • LIMITED ADMINISTRATIVE REVIEW MAY BE REQUIRED FOLLOWED BY • SITE PLAN REVIEW IS REQUIRED FOR PROJECTS WITH MORE THAN 2 DWELLING UNITS OR WITH A CHANGE OF OCCUPANCY PER THE BUILDING CODE. SECTION 2 PART (h) CODE CITIES MAY NOT: "DENY A BUILDING PERMIT APPLICATION FOR THE ADDITION OF HOUSING UNITS WITHIN AN EXISTING BUILDING DUE TO NONCONFORMITY REGARDING PARKING, HEIGHT, SETBACKS, ELEVATOR SIZE FOR GURNEY TRANSPORT, OR MODULATION, UNLESS THE CODE CITY OFFICIAL WITH DECISION-MAKING AUTHORITY MAKES WRITTEN FINDINGS THAT THE NONCONFORMITY IS CAUSING A SIGNIFICANT DETRIMENT TO THE SURROUNDING AREA."	RELATIONSHIP WILL NOT CHANGE • EXISTING PARKING IS SETBACK 5'-5 3/4" FROM BUILT-TO-LINE. • THE PROJECT IS EXISTING WITH MINIMAL SITE WORK • PRESUBMISSION CONFERENCE IS COMPLETE (08/16/23 DATE) • SITE PLAN REVIEW APPROVAL IS REQUIRED FOR MORE THE 2 DWELLING UNITS AND THE CHANGE OF USE FROM OFFICE TO RESIDENTIAL • THE EXISTING ELEVATOR DIMENSIONS DO NOT NEED TO BE ALTERED FOR THIS PROJECT.	B2 (x04) B2a (104) B3 (x05) B4 (x12) C1 (103) C2 (x06) C2a (106) C3 (x07) C3a (x07) C3a (x07) C4 (x11) C5 (x13) D1 (408) E1 (x01)	OPEN 1 OPEN 1 OPEN 1 OPEN 1 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 1 BED 2 BED TOTALS	488 535 455 498 Subtotals 524 671 669 742 675 595 635 Subtotals 778 Subtotals 893 Subtotals	0 0 1 0 1 2 1 2 1 0 1 0 1 1 0 1 1 1 5 0 0 1 1 1 5 1 0 1 1 1 1 1 </td <td>0 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1 4 0 0 0 0 0 1 1 1 1 1 1 1</td> <td>1 1 1 4 0 1 0 1 0 1 1 4 0 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td> <td>1 3 0 1 1 3 1 4 4 - 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 4 1 4 1 4 1 1 1 4 1 4 1 4 1 4 1 4 1 4 1 4 1 4 1 4</td> <td>17 17 1 </td> <td>649 778 893</td> <td>34.7 2.0 8.2</td>	0 1 4 0 1 0 1 0 1 0 1 0 1 0 1 0 1 4 0 0 0 0 0 1 1 1 1 1 1 1	1 1 1 4 0 1 0 1 0 1 1 4 0 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 3 0 1 1 3 1 4 4 - 0 1 1 3 0 1 1 3 0 1 1 3 0 1 1 4 1 4 1 4 1 1 1 4 1 4 1 4 1 4 1 4 1 4 1 4 1 4 1 4	17 17 1 	649 778 893	34.7 2.0 8.2
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	MJR DEVELOPMENT 6725 116TH AVE. NE, SUITE 100 KIRKLAND, WA 98033
	629 WOODLAND SQ. LOOP, LACEY, WA 98503
	WD (WOODLAND DISTRICT), URBAN NEIGHBORHOOD 1
	PARCEL A OF BOUNDRY LINE ADJUSTMENT NO. SS-BLA-6144 RECORDED SEPTEMBER 18, 1987 UNDER RECORDING NO. 8709180126, RECORDS OF THURSTON COUNTY, WASHINGTON IN THURSTON COUNTY, WASHINGTON
RCEL #:	84990001400
	99,326 SF (2.28 ACRES)
DN:	MJR DEVELOPMENT PROPOSES TO REDEVELOP THE EXISTING 4-STORY OFFICE BUILDING (B OCCUPANCY) INTO A MULTI-FAMILY RESIDENTIAL BUILDING (R2 OCCUPANCY) CONSISTING OF APPROXIMATELY 50 UNITS VARYING IN SIZE BETWEEN STUDIO, 1-BEDROOM, AND 2-BEDROOM. THE EXISTING STRUCTURE WILL BE RE-CLAD WITH NEW FENESTRATION AND UPGRADED INSULATION VALUES. THE EXISTING STEEL STRUCTURE WILL REMAIN INTACT. EXISTING ON-SIT PARKING SURFACES TO BE REPAIRED AND PARKING CONFIGURATION TO REMAIN.
	NONE

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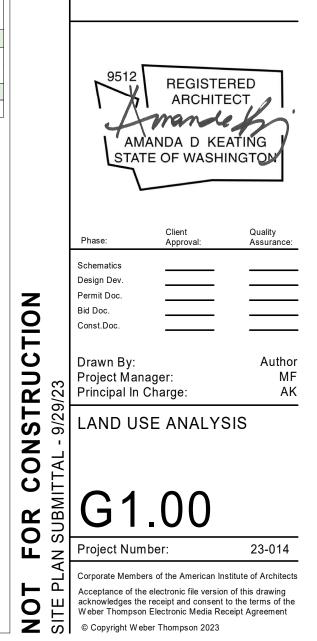
629 WOODLAND SQ LOOP, LACEY, WA

Client:

MJR DEVELOPMENT

6725 116TH AVE. NE, SUITE 100 KIRKLAND, WA 98033

Issue:



FRONTAG LANDSCAPE FRO MAX PODIUM HEI BUILDING HEIGH MAX & MIN BUILD BUILDING SETBA MIN BUILDING DE BUILDING DEPTH WEATHER PROTE WINDOW TRANSI **BUILDING TRANS BUILDING & LAND** SETBACK PARKING FROM BUILD-TO LINE: MIN 10 FEET EXISTING PARKING SETBACK: SURFACE PARKING SHALL BE SCREENED WITH HEDGES OR SHRUBS:

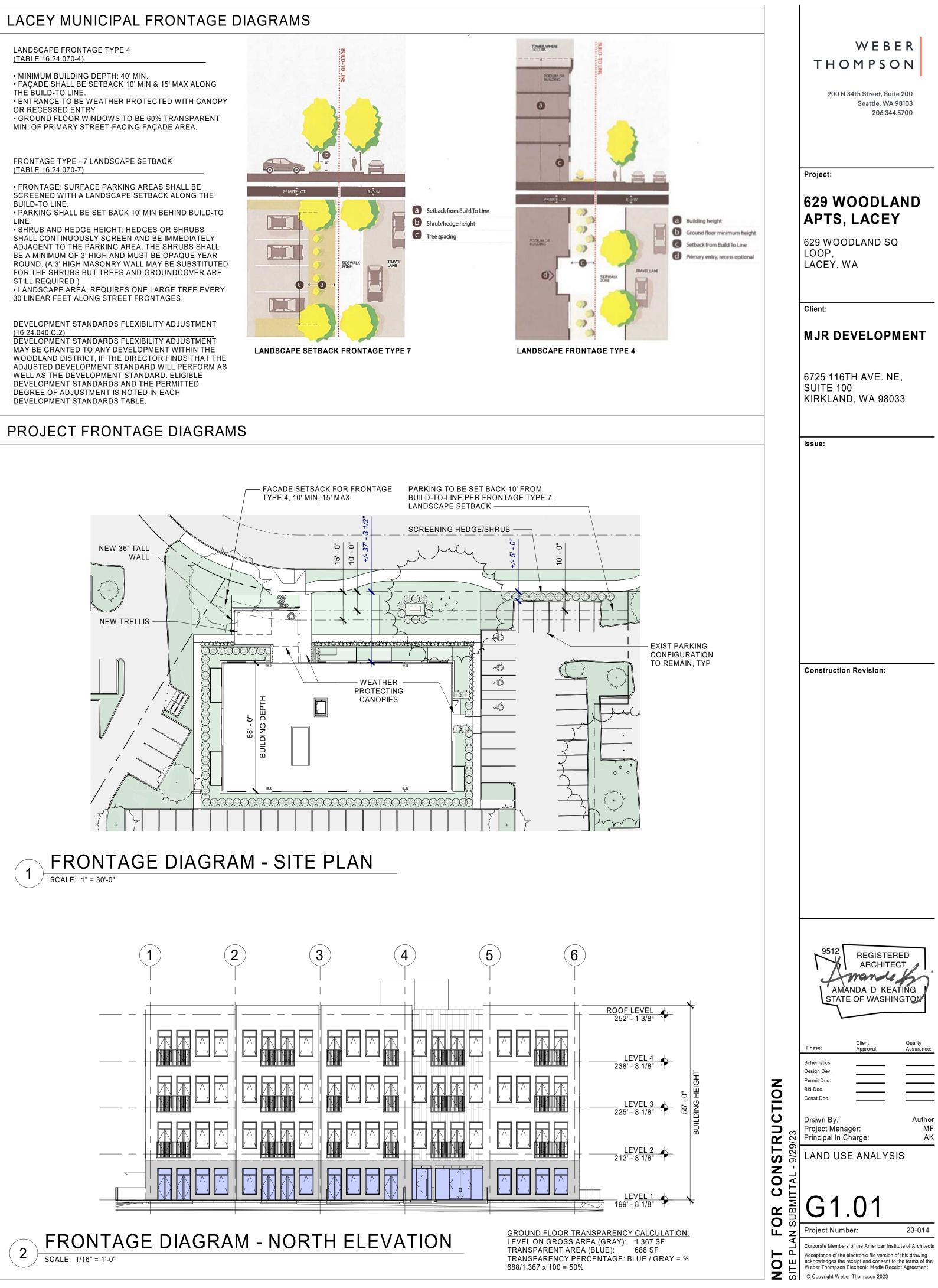
GE CODE R	RESPONSE	LACEY MUNICIPAL FRONTAGE D	IAGRAMS
RONTAGE TYPE 4 REC HEIGHT: GHT: ILDING SETBACK: BACK:	OUIREMENTS 55 FEET 55 FEET (COMPLIES) MAX 15 FEET, MIN 10 FEET 37'-3 1/2" FEET (THE ENTRY LANDSCAPE WALL AND AMENITY TRELLIS ARE WITHIN THE 10' MIN - 15' MAX SETBACK FOR THE ENTRY PORTION OF THE BUILDING FRONTAGE.)	LANDSCAPE FRONTAGE TYPE 4 (TABLE 16.24.070-4) • MINIMUM BUILDING DEPTH: 40' MIN. • FAÇADE SHALL BE SETBACK 10' MIN & 15' MAX ALONG THE BUILD-TO LINE. • ENTRANCE TO BE WEATHER PROTECTED WITH CANOPY OR RECESSED ENTRY • GROUND FLOOR WINDOWS TO BE 60% TRANSPARENT MIN. OF PRIMARY STREET-FACING FAÇADE AREA.	
DEPTH: TH:	40 FEET 68 FEET (COMPLIES)	FRONTAGE TYPE - 7 LANDSCAPE SETBACK (TABLE 16.24.070-7)	
DTECTION @ ENTRY: NSPARENCY: NSPARENCY:	SEE SITE PLAN DIAGRAM 1/G1.01. (COMPLIES) 60% MIN OF GROUND FLOOR 50% (EXISTING FENESTRATION ENLARGED BY APPROX. 247 SF, 18% FOLLOWING THE INTENT OF THE CODE)	 • FRONTAGE: SURFACE PARKING AREAS SHALL BE SCREENED WITH A LANDSCAPE SETBACK ALONG THE BUILD-TO LINE. • PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE. 	PRIVATÊLOT
NDSCAPE FRONTAGE	TYPE 7 REQUIREMENTS	SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR	

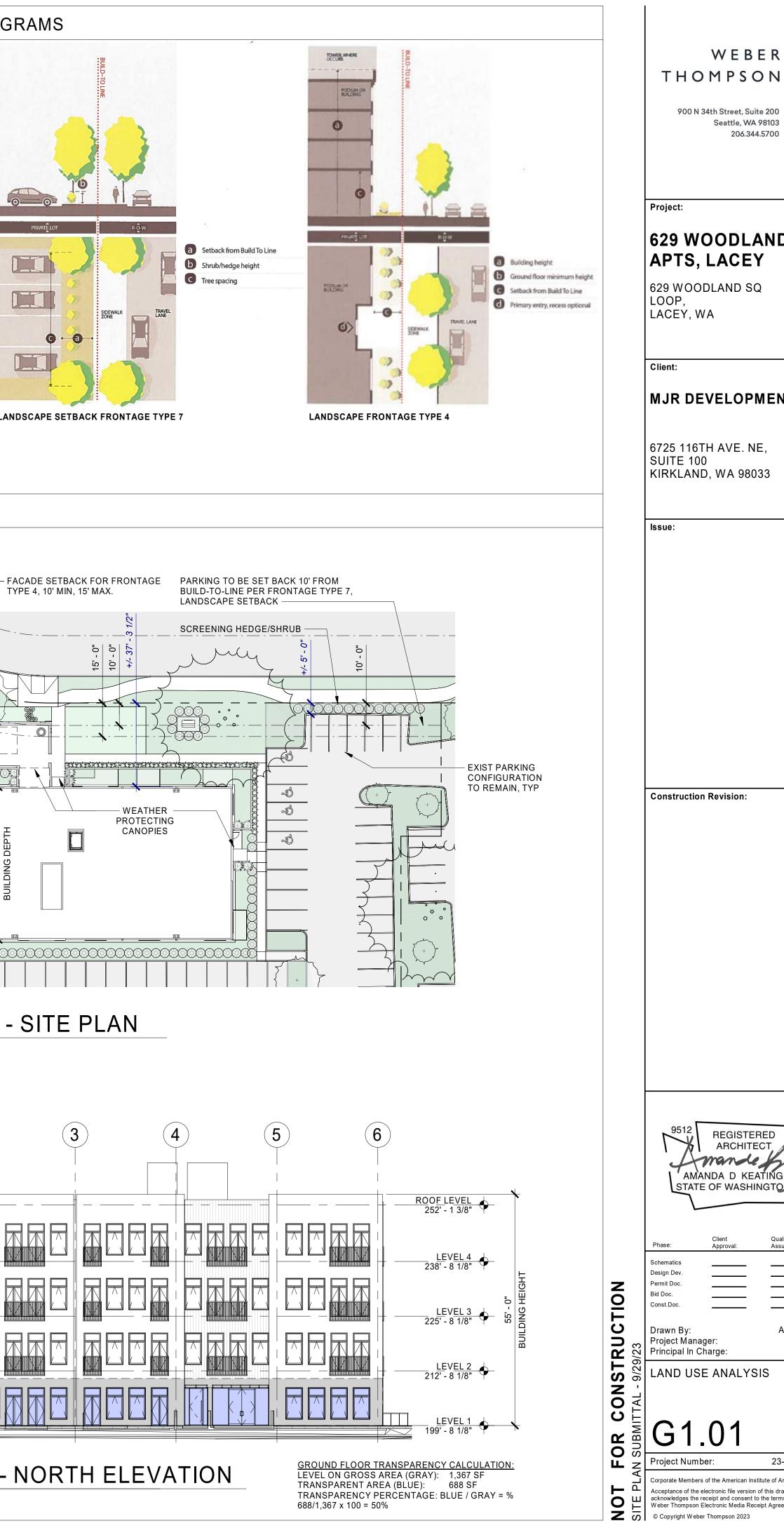
5 FEET (SCREENING LANDSCAPE ADDED TO EXISTING CONDITION FOLLOWING THE INTENT OF THE CODE)

COMPLIES

(16.24.040.C.2) DEVELOPMENT STANDARDS FLEXIBILITY ADJUSTMENT MAY BE GRANTED TO ANY DEVELOPMENT WITHIN THE WELL AS THE DEVELOPMENT STANDARD. ELIGIBLE DEVELOPMENT STANDARDS AND THE PERMITTED DEGREE OF ADJUSTMENT IS NOTED IN EACH







MF

AK









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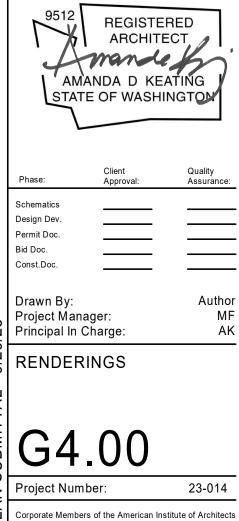
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lssue:

Construction Revision:



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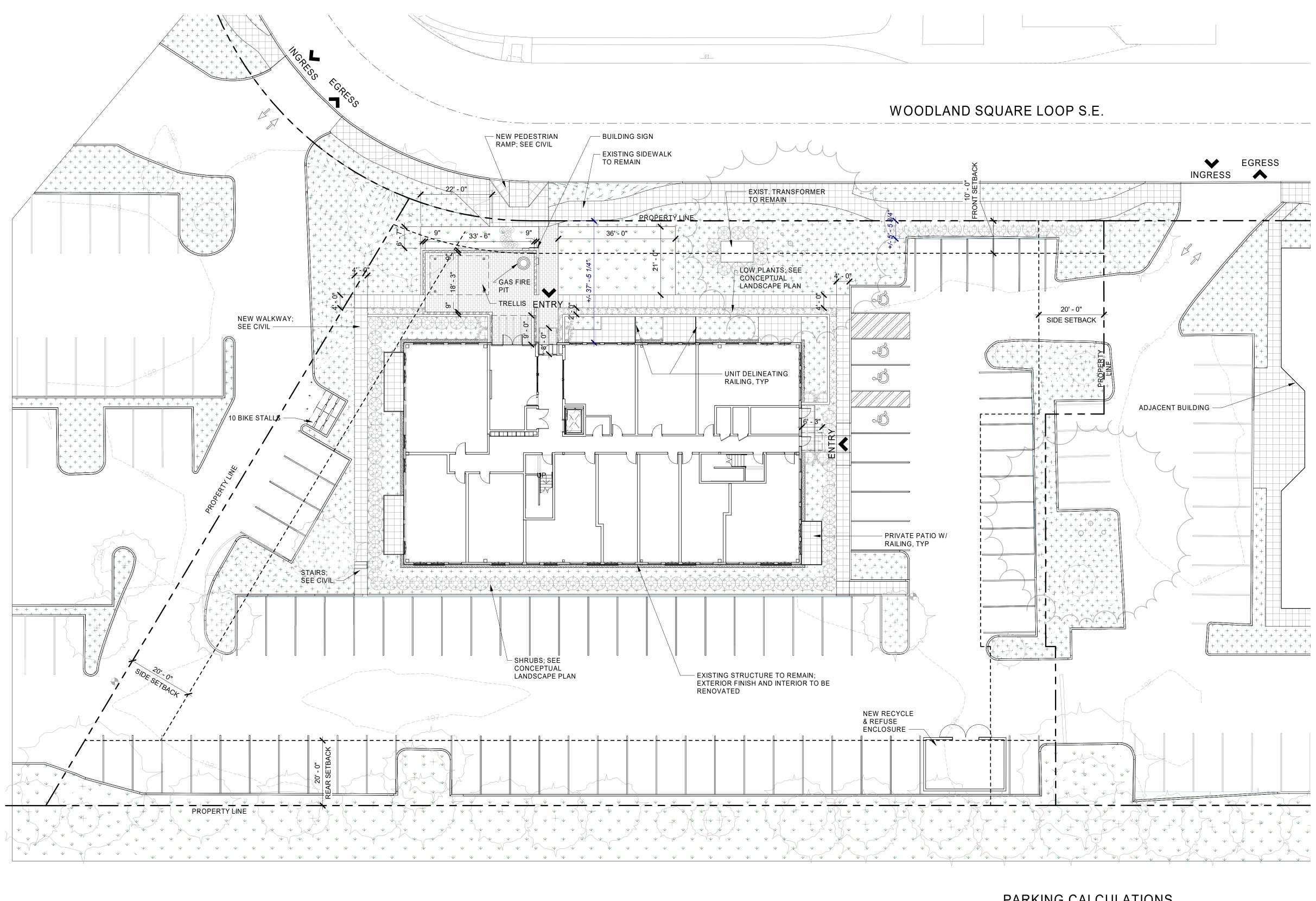
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Issue:





1/16" = 1' - 0"

PARKING CALCULATIONS

	Unit Type	Coun	t	Unit Mix
16	BEDROOM		17	35%
1 BEDRO	OM + DEN		1	2%
2 6	BEDROOM		4	8%
	OPEN 1		14	29%
	STUDIO		13	27%
			13	21/0
-			49	
_		NG SCI	49	LE
-		NG SCI Type	49	
Count		Туре	49	LE Mark
F	PARKII	Type Aisle)	49 HEDU	LE Mark
F Count	PARKII 8' x 18' (5' 8' x 18' (8'	Type Aisle)	49 HEDU	LE Mark SIBLE

79 X 50% = 40 COMPACT STALLS ALLOWED 17 COMPACT STALLS PROVIDED (COMPLIES)

SITE PLAN NOTES

BUILDING ADDRESS:

WOODLAND DISTRICT NEIGHBORHOOD DESIGNATION:

629 WOODLAND AVE LACEY, WA 98503 URBAN NEIGHBORHOOD 1-WOODLAND SQUARE

1. SIGNAGE FROM THE MAIN ENTRY (NORTH) TO THE BICYCLE

PARKING IS REQUIRED PER LMC 16.72.050.C.3. 2. BUILDING ENTRANCES TO HAVE 6' MINIMUM DEPTH OF WEATHER PROTECTIVE CANOPIES.

REQUIRED AUTO PARKING					
UNIT TYPE	QTY	PARKING RATIO	PARKING REQ'D		
STUDIO	13	1	13		
OPEN 1	14	1.5	21		
1 BEDROOM	17	1.5	26		
1 BEDROOM + DEN	1	1.5	2		
2 BEDROOM	4	1.5	6		
TOTAL UNITS	49				
TOTAL STALLS REQ'D 68					
	78				
ACCESSIBLE STALLS PROVIDED: 4 VAN STALLS PROVIDED: 1 (OF 4 ACCESSIBLE STALLS) REQUIRED BICYCLE PARKING					
REQUIRED RATIO		AUTO STALLS PROVIDED	BIKE STALLS REQ'D		
1 BIKE STALL PER 10 AUTO STALLS		78	8		
BIKE STALLS PROVIDED 8					

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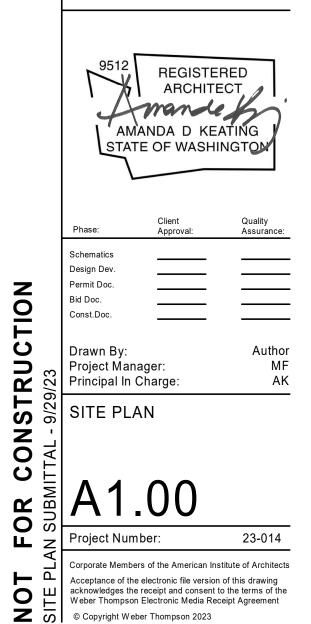
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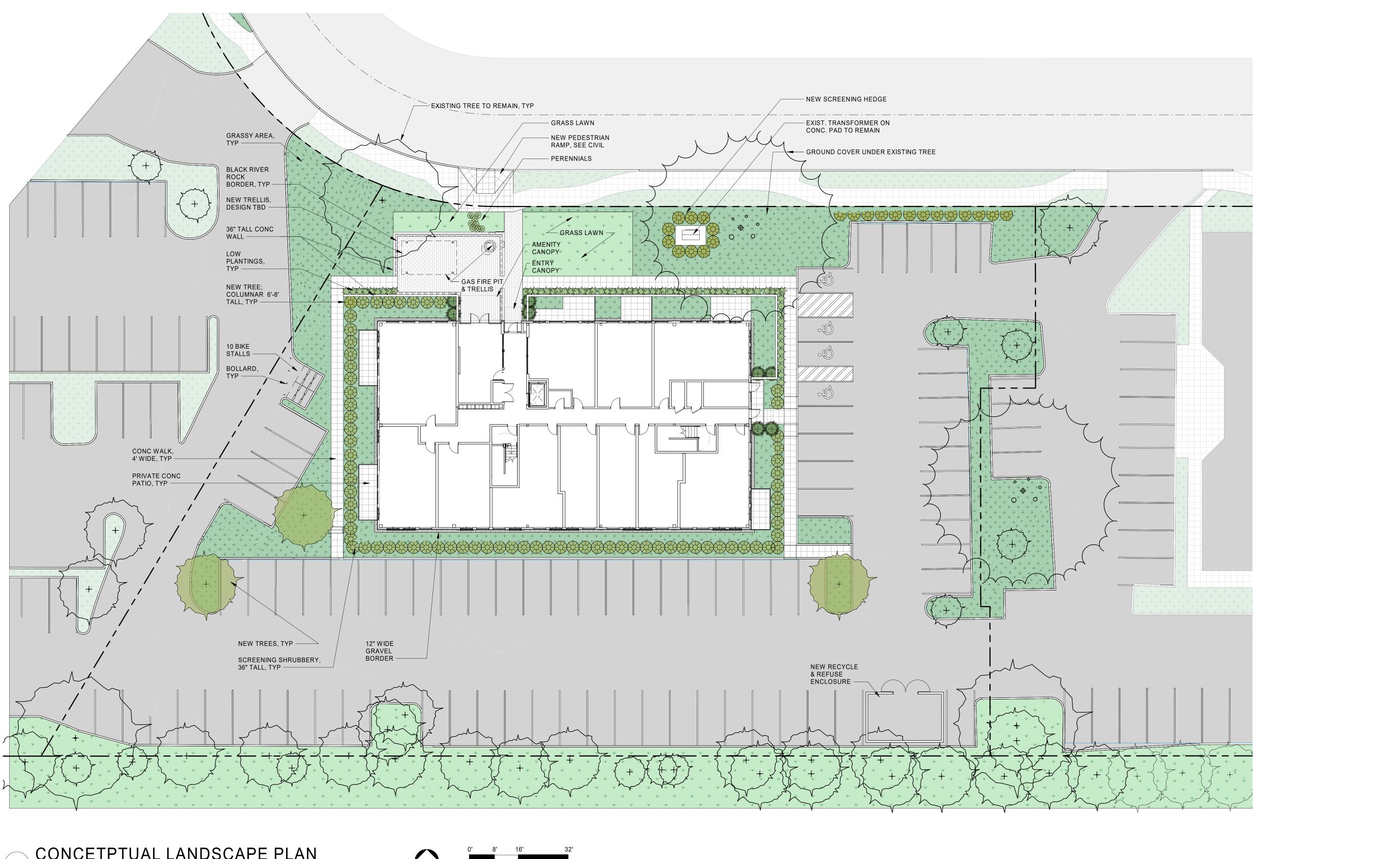
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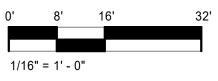
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1 CONCETPTUAL LANDSCAPE PLAN SCALE: 1/16" = 1'-0"



CONCEPTUAL PLANTING LEGEND

POURED CONCRETE WALKWAY	\mathcal{K}	LOW PLANTINGS 6" SOIL DEPTH MIN.
SAND SET PAVERS	* *	GRASS - 6" SOIL DEPTH MIN.
POURED CONCRETE PARKING SURFACE	+ + +	GROUND COVER - 6" SOIL DEPTH MIN.
RIVER ROCK, BLACK	$\langle \rangle$	LOW PLANTINGS - PERENNIALS
GRAVEL W/ METAL EDGE BORDER		36" TALL SHRUB
	+	5'-7' TALL CONIFEROUS TREE

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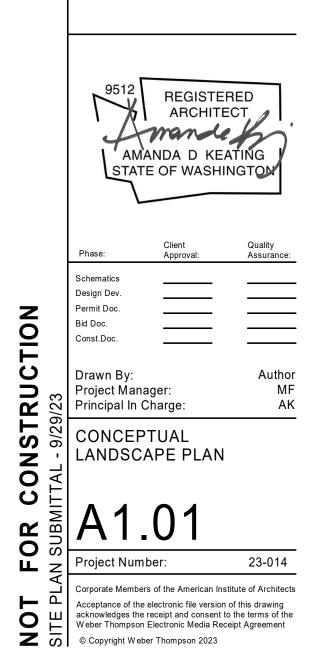
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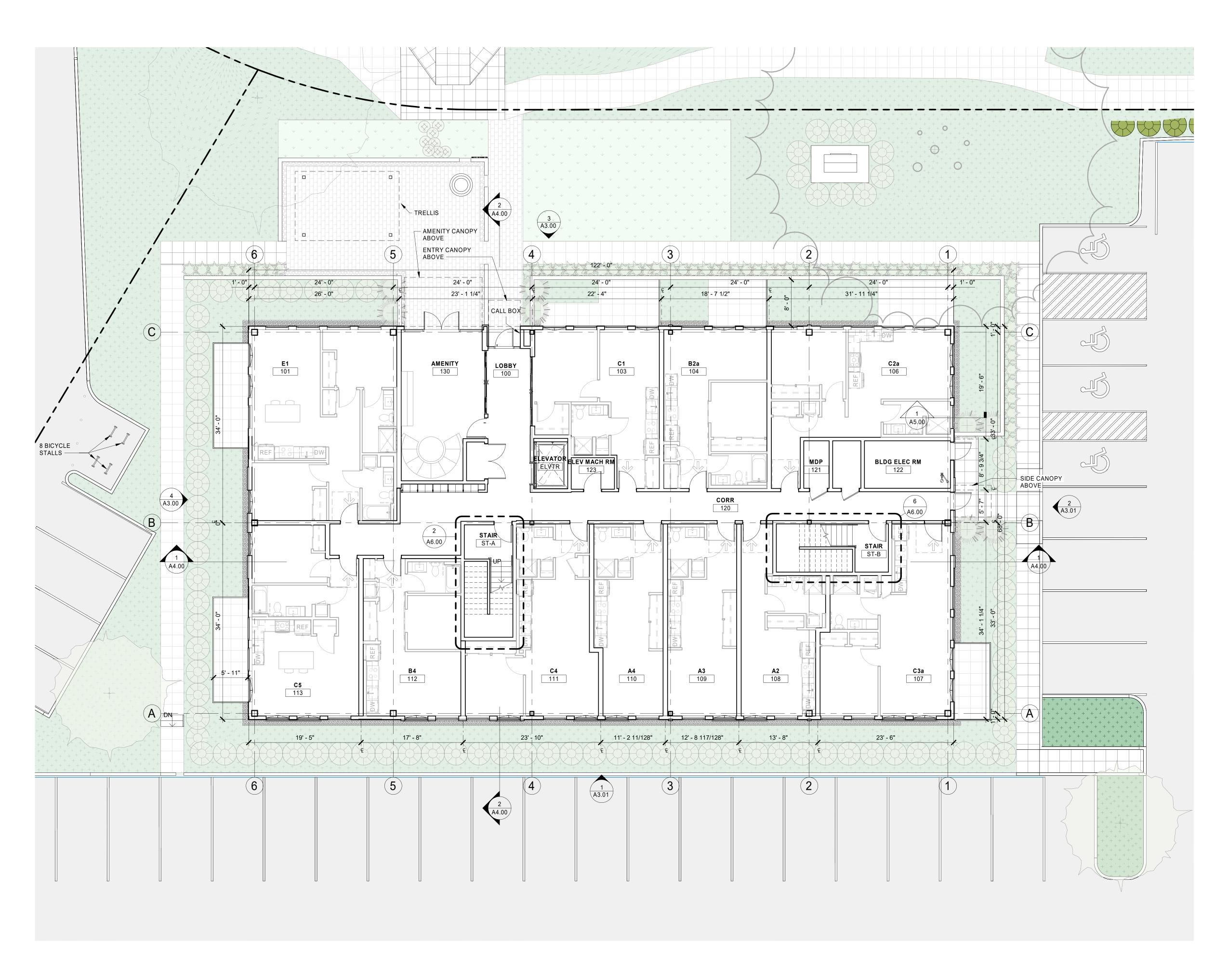
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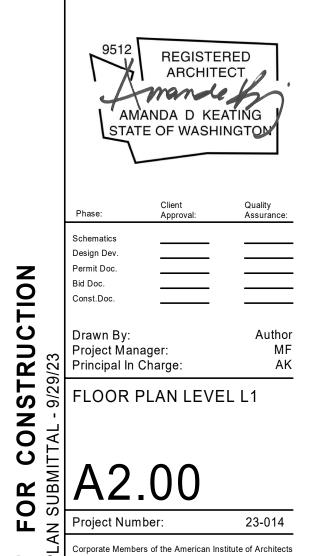
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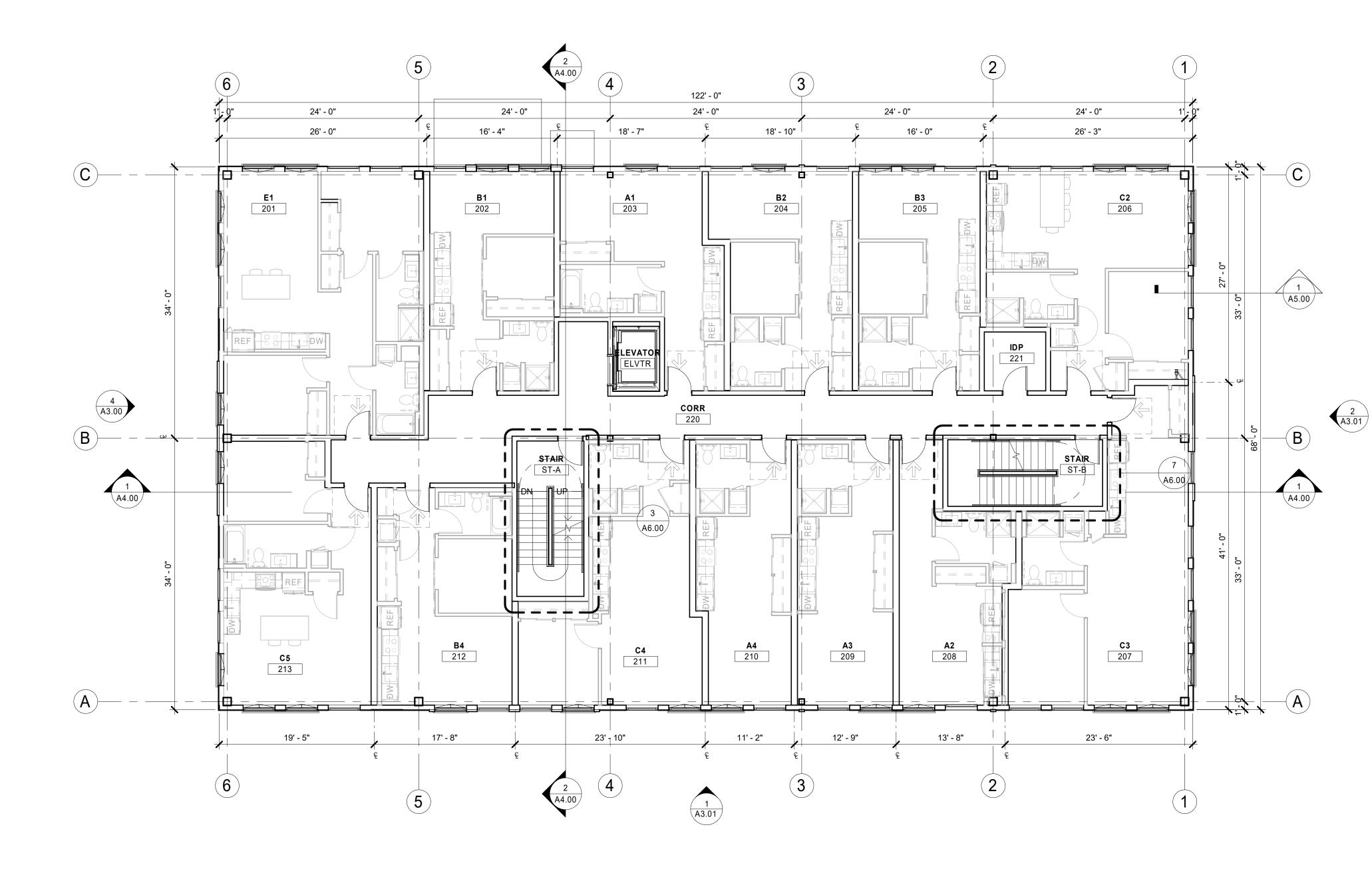
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1/8" = 1' - 0"

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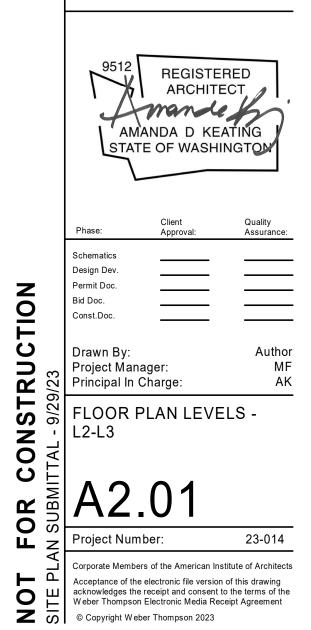
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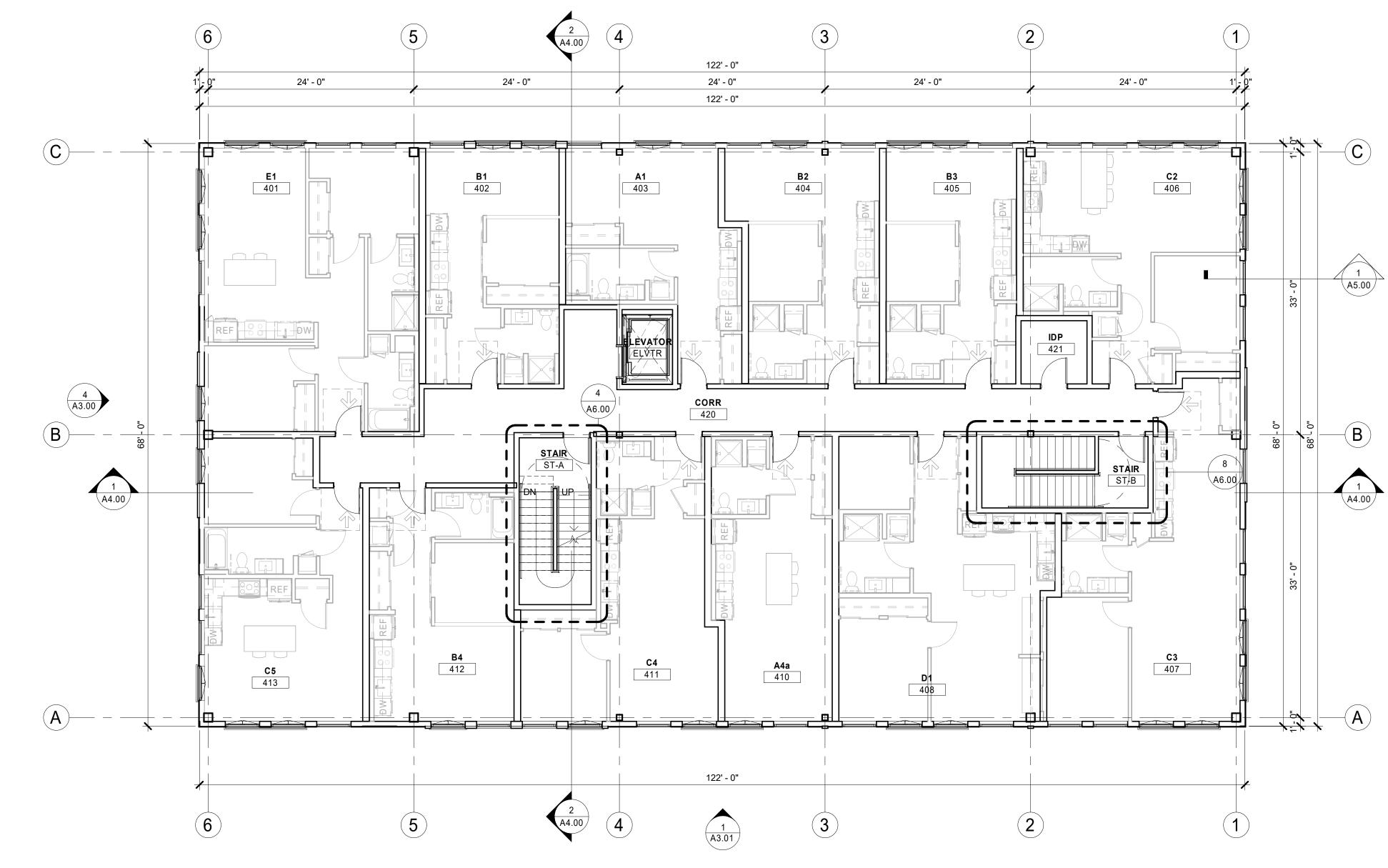
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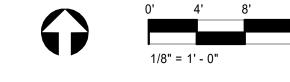
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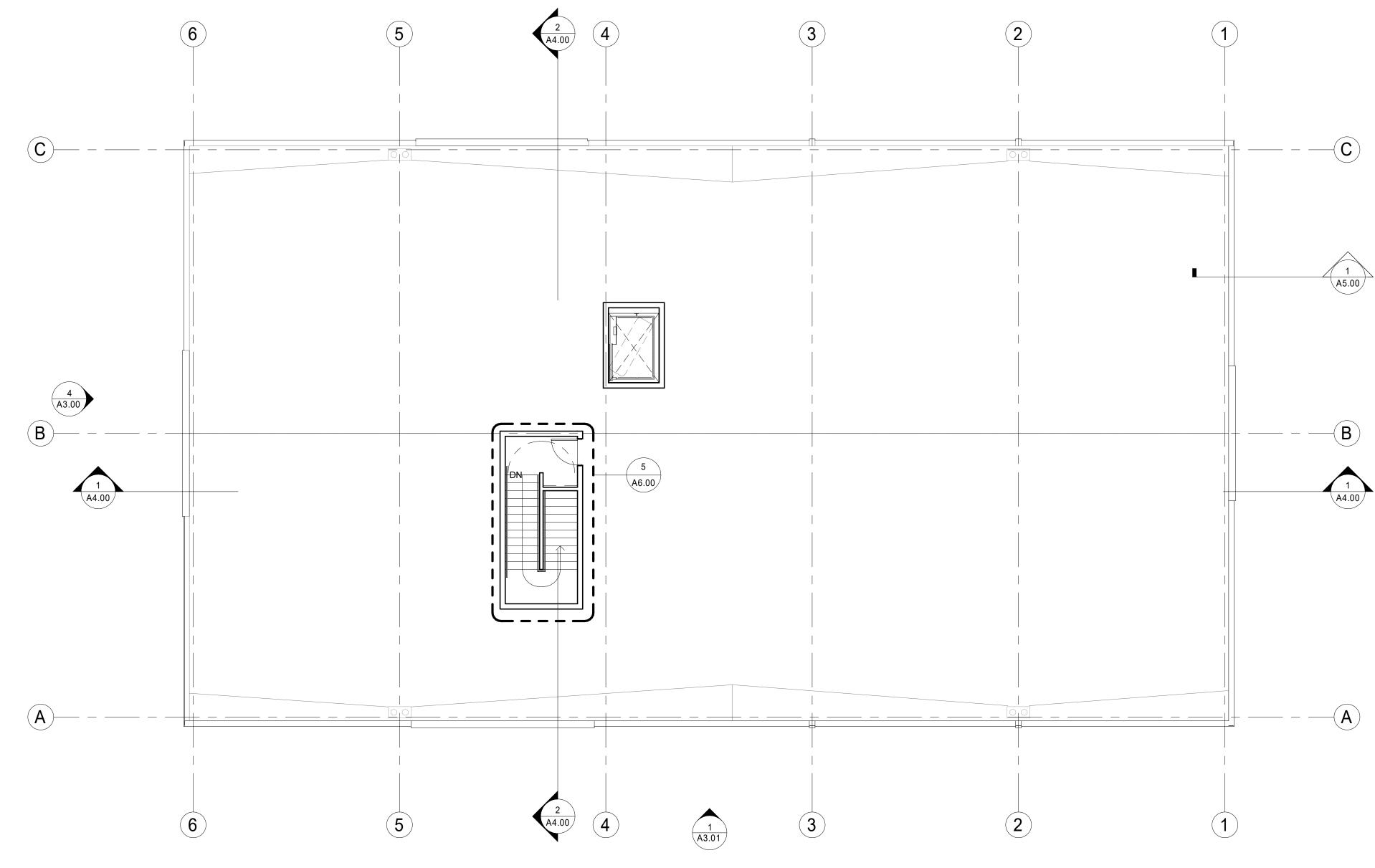


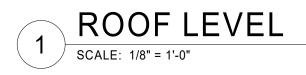
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1/8" = 1' - 0"

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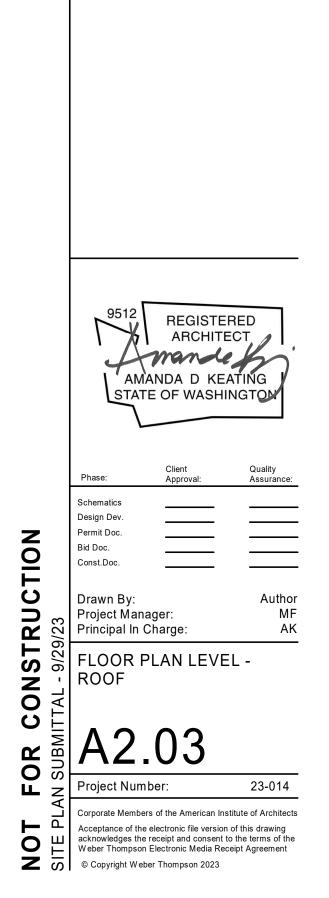
Construction Revision:

Issue:















- 1 ARCHITECTURAL CONCRETE COLOR: NATURAL
- 2 CANOPY; STEEL AND GLASS
- (3A) METAL PANEL, BOX RIB COLOR: CHARCOAL
- (3B) METAL RAILING COLOR: BLACK
- (3C) METAL "JULLIET"-STYLE BALCONY RAILING COLOR: BLACK
- (4A) FRC PANEL COLOR: WHITE
- 6 ALUMINUM STOREFRONT WINDOWS COLOR: BLACK
- 7 VINYL WINDOWS COLOR: BLACK

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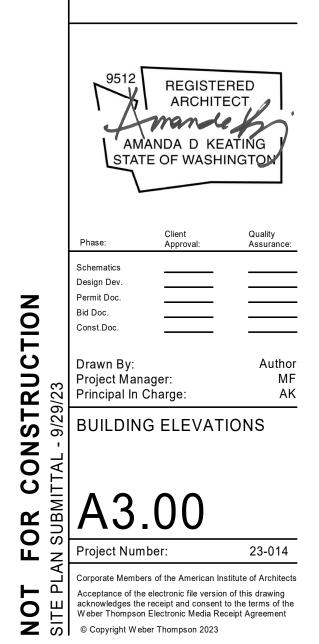
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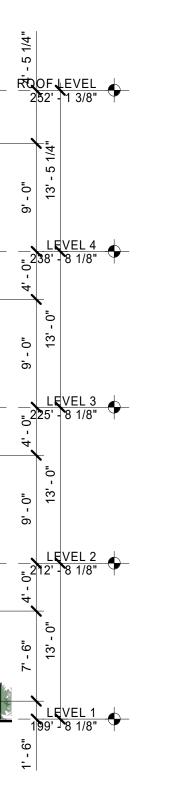
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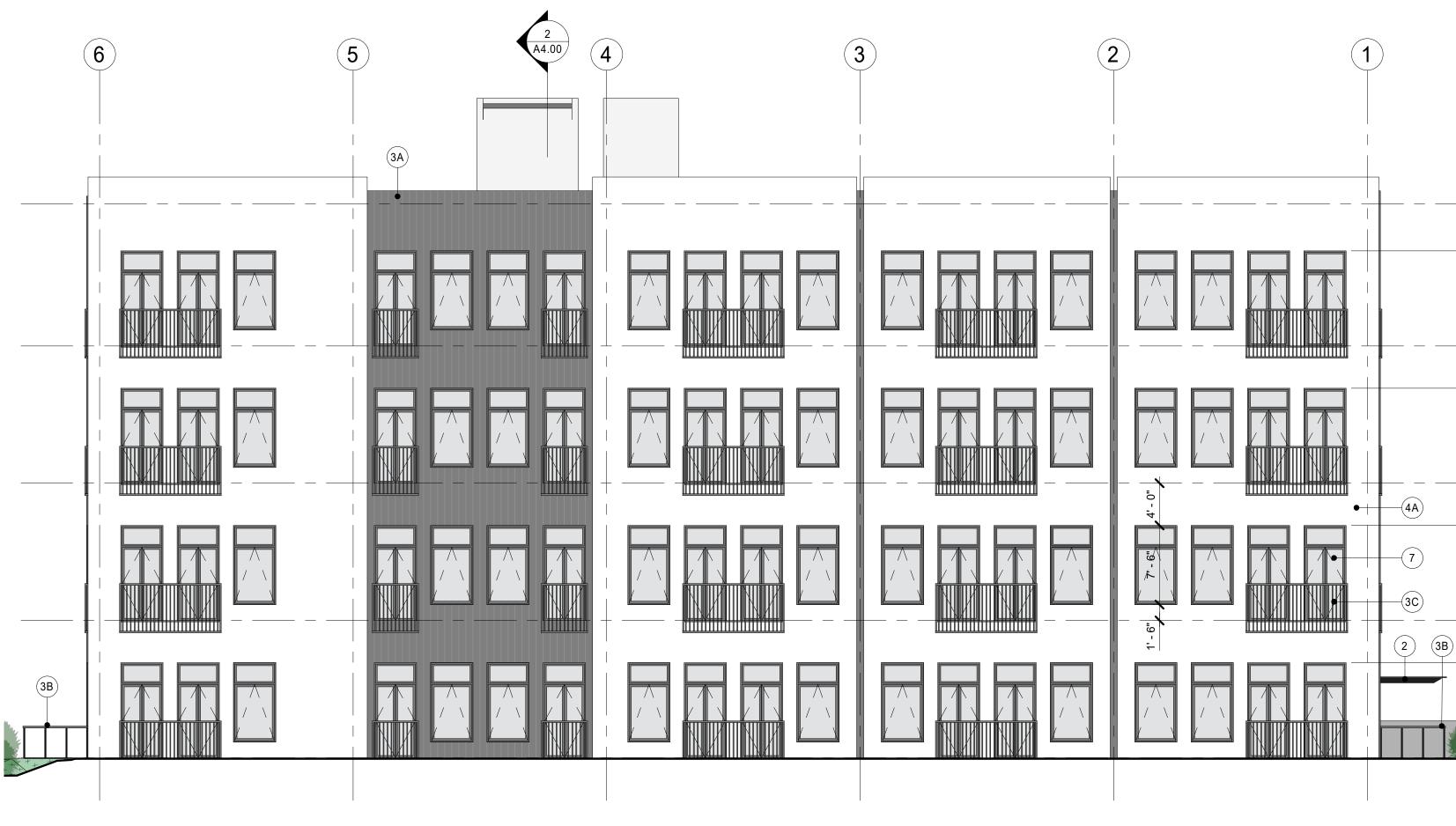
MJR DEVELOPMENT

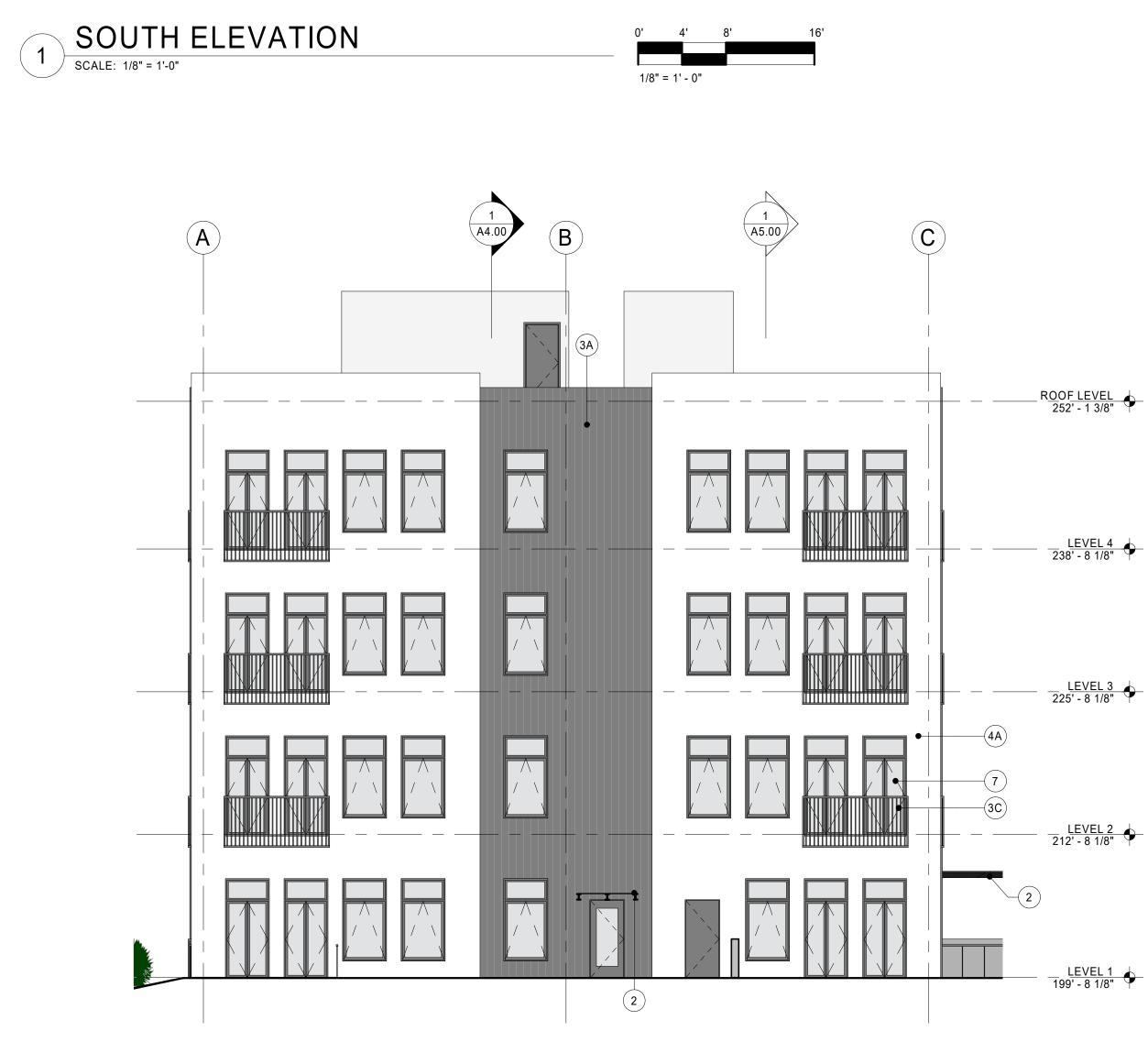
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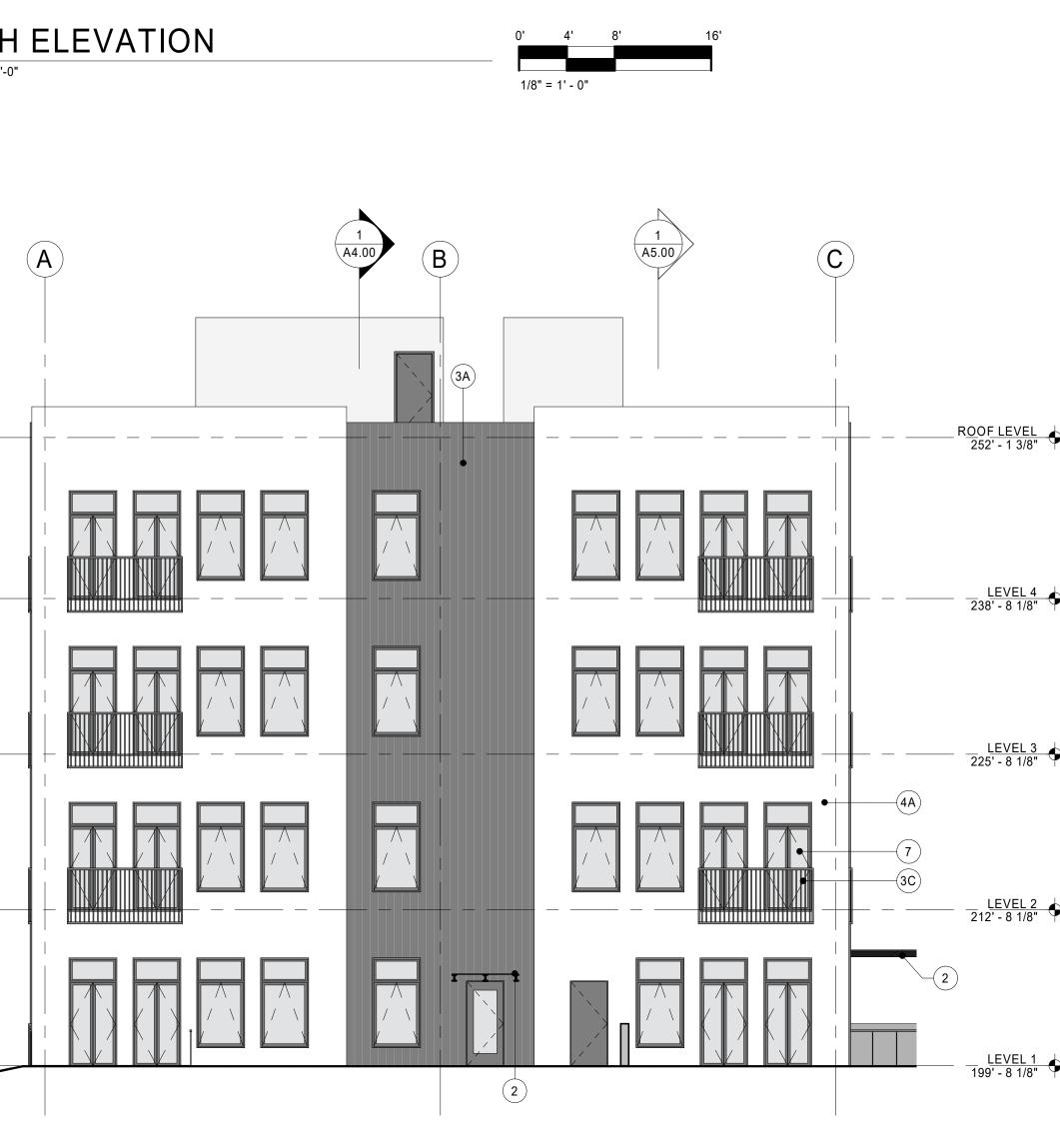
Issue:













1/8" = 1' - 0"

0'



- 1 ARCHITECTURAL CONCRETE COLOR: NATURAL
- 2 CANOPY; STEEL AND GLASS
- (3A) METAL PANEL, BOX RIB COLOR: CHARCOAL
- (3B) METAL RAILING COLOR: BLACK
- (3C) METAL "JULLIET"-STYLE BALCONY RAILING COLOR: BLACK
- (4A) FRC PANEL COLOR: WHITE
- 6 ALUMINUM STOREFRONT WINDOWS COLOR: BLACK
- (7) VINYL WINDOWS COLOR: BLACK

WEBER THOMPSON

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Project:

629 WOODLAND APTS, LACEY

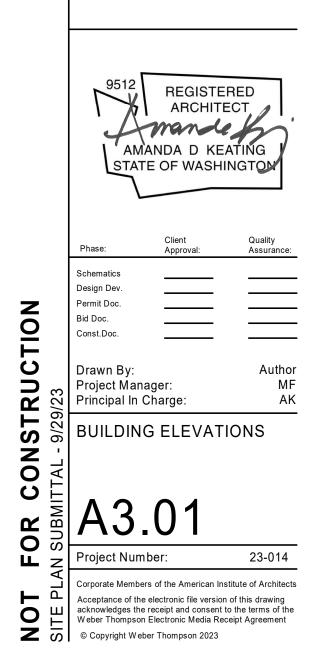
629 WOODLAND SQ LOOP, LACEY, WA

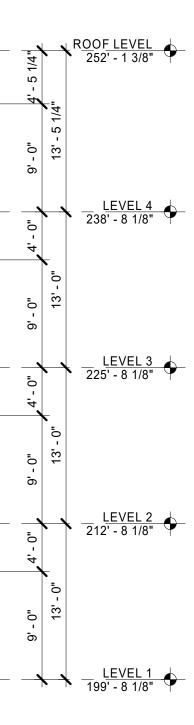
Client:

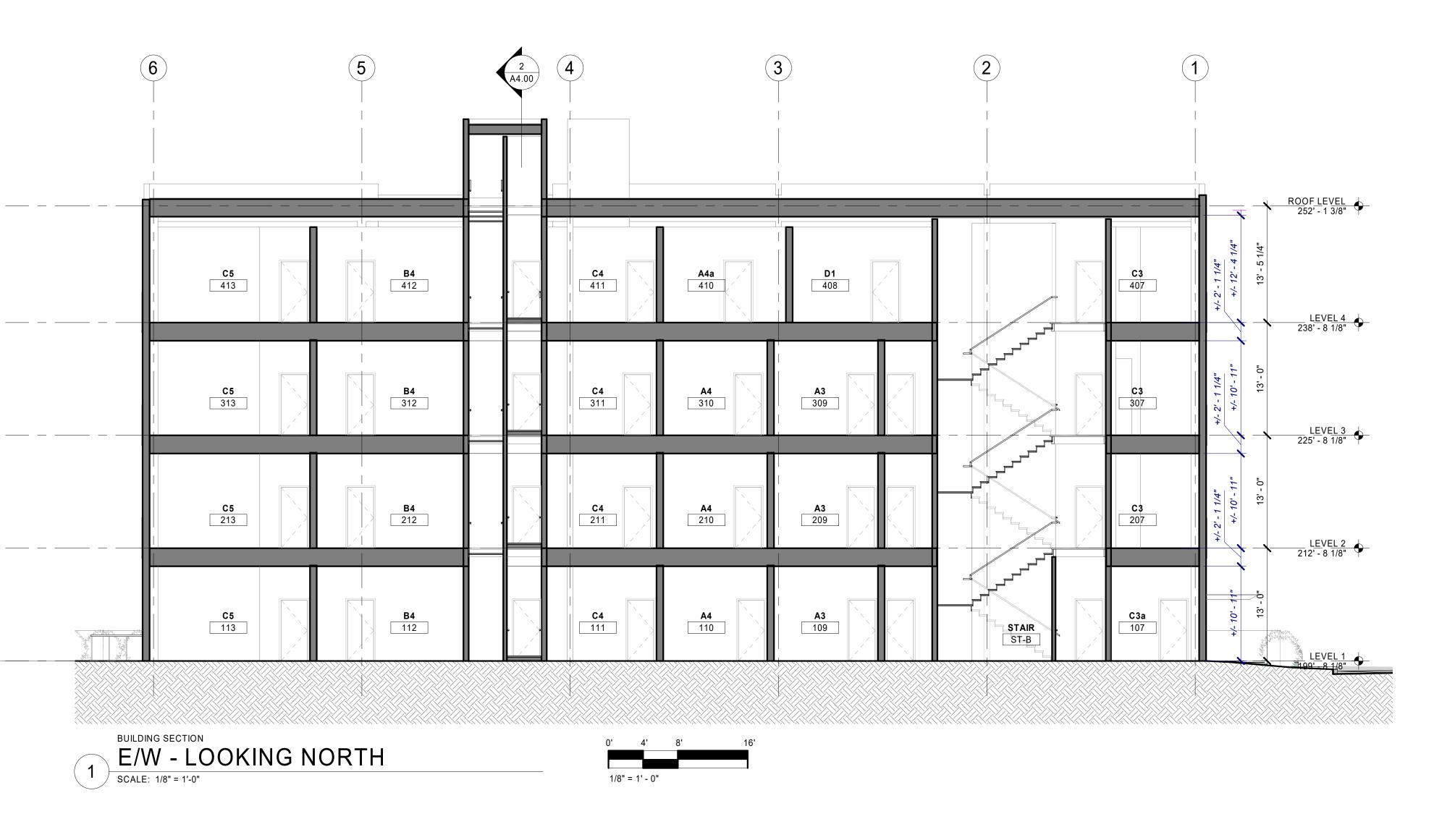
MJR DEVELOPMENT

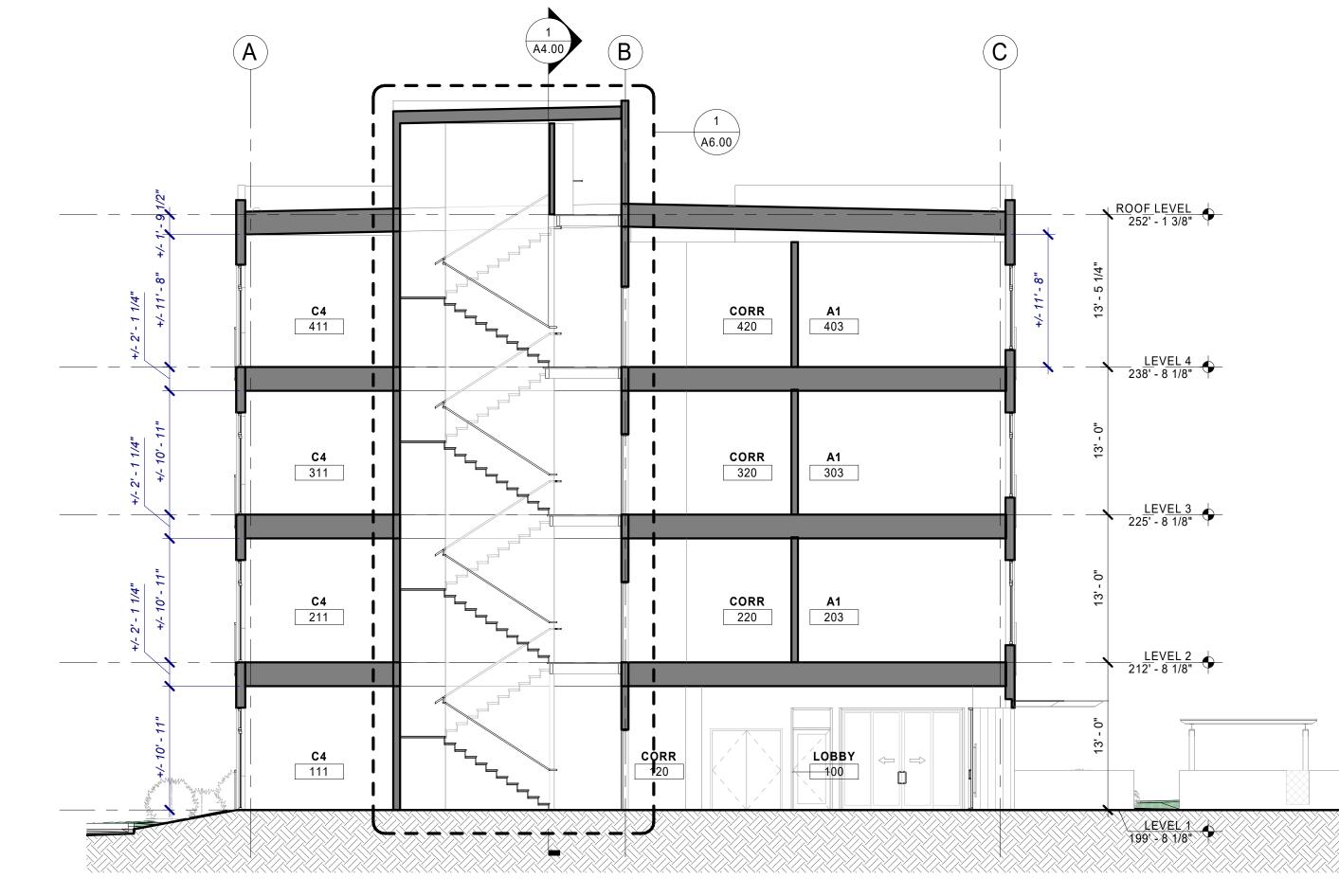
6725 116TH AVE. NE, SUITE 100 KIRKLAND, WA 98033

Issue:

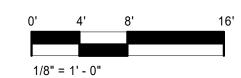












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Project:

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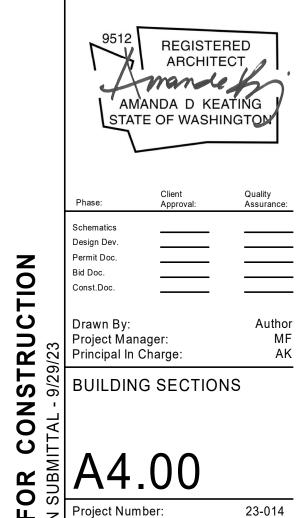
Client:

MJR DEVELOPMENT

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Issue:

Construction Revision:



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