

# 629 WOODLAND

629 WOODLAND SQ LOOP; LACEY, WA

## SITE PLAN SUBMITTAL - 9/29/23

### PROJECT TEAM

#### OWNER

MJR DEVELOPMENT  
6725 116TH AVE. NE, SUITE 100  
KIRKLAND, WA 98033  
TEL: (425) 822-4466

#### ARCHITECT / APPLICANT

WEBER THOMPSON  
900 N 34TH STREET, SUITE 200  
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### WEBER THOMPSON

900 N 34th Street, Suite 200  
Seattle, WA 98103  
206.344.5700

#### Project:

**629 WOODLAND APTS, LACEY**  
629 WOODLAND SQ LOOP, LACEY, WA

#### Client:

**MJR DEVELOPMENT**  
6725 116TH AVE. NE, SUITE 100  
KIRKLAND, WA 98033

#### Issue:

#### Construction Revision:

### PERSPECTIVE



#### CIVIL ENGINEER

KPFF - CIVIL  
612 WOODLAND SQUARE LOOP SE, SUITE 100  
LACEY, WA 98503  
TEL: 360-292-7230  
CONTACT: STEVE SCHMITZ, PE  
EMAIL: STEVE.SCHMITZ@KPFF.COM

#### LANDSCAPE ARCHITECT

ADDRESS  
629 WOODLAND SQUARE LOOP SE, SUITE 100  
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EMAIL: STEVE.SCHMITZ@KPFF.COM

#### INTERIOR DESIGN

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TEL: 360-292-7230  
CONTACT: STEVE SCHMITZ, PE  
EMAIL: STEVE.SCHMITZ@KPFF.COM

#### STRUCTURAL ENGINEER

ADDRESS  
629 WOODLAND SQUARE LOOP SE, SUITE 100  
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TEL: 360-292-7230  
CONTACT: STEVE SCHMITZ, PE  
EMAIL: STEVE.SCHMITZ@KPFF.COM

### APPLICABLE CODES & PERMIT NUMBERS

#### APPLICABLE CODES:

LACEY MUNICIPAL CODE  
INTERNATIONAL BUILDING CODE, 2018 EDITION, (WAC 51-57)  
UNIFORM PLUMBING CODE, 2018 EDITION, (WAC 51-57 AND LMC 14.06)  
INTERNATIONAL FIRE CODE, 2018 EDITION, (WAC 51-54 AND LMC 14.07)  
INTERNATIONAL MECHANICAL CODE, 2018 EDITION, (WAC 51-52 AND LMC 14.05)  
WA STATE ENERGY CODE, 2018 EDITION, (WAC 51-11)  
NATIONAL ELECTRICAL CODE, 2020<sup>th</sup> EDITION, AS AMENDED BY THE STATE DEPARTMENT OF LABOR AND INDUSTRIES AND THE CITY OF LACEY (WAC 296-46B AND LMC 14.13)  
ICC A117.1 - 2009

### PERMIT PACKAGES

PERMIT PACKAGES	DEFERRED PERMIT PACKAGES
SITE PLAN SUBMITTAL	ELECTRICAL
CIVIL	MECHANICAL
ARCHITECTURAL	PLUMBING
STRUCTURAL	FIRE ALARM & SPRINKLER

### SHEET INDEX

SHEET NUMBER	SHEET NAME	SITE PLAN SUBMITTAL	TBD	TBD	TBD

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G1.01	LAND USE ANALYSIS	•			
G4.00	RENDERINGS	•			
G4.01	RENDERINGS	•			

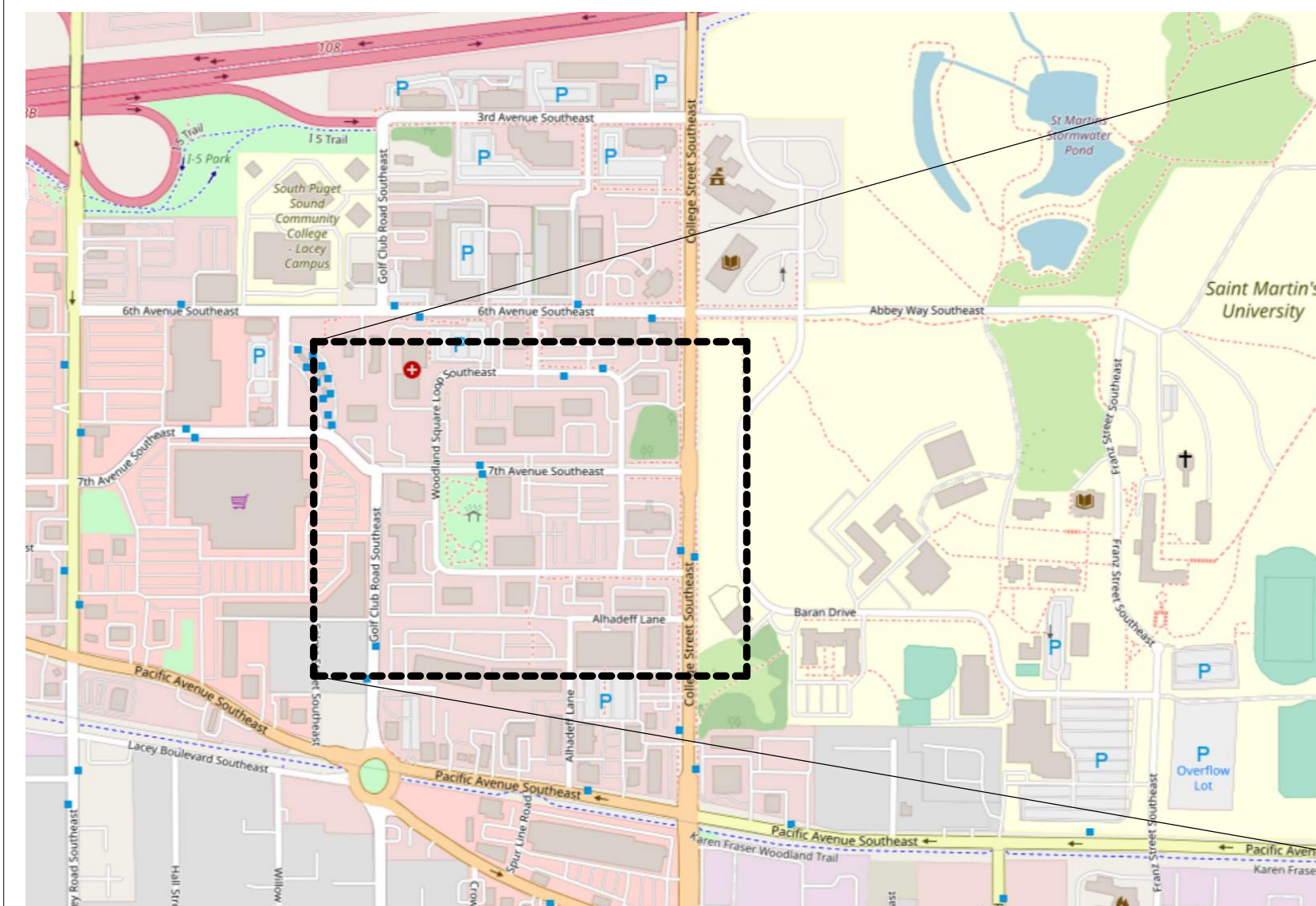
#### CIVIL

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C6.0	UTILITY PLAN	•			

#### ARCHITECTURE

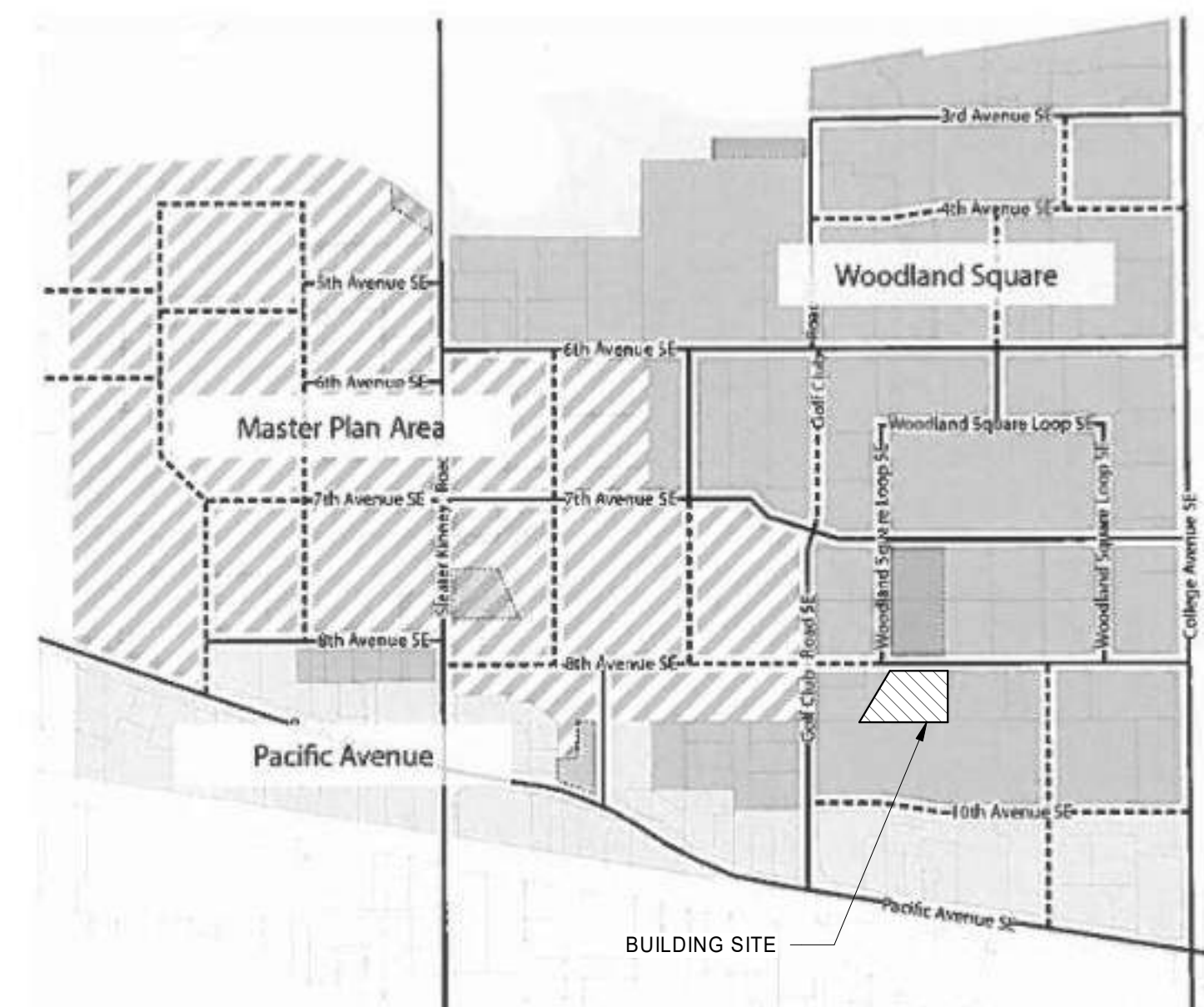
A1.00	SITE PLAN	•			
A1.01	CONCEPTUAL LANDSCAPE PLAN	•			
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### PROJECT PROXIMITY & VICINITY MAP



### URBAN NEIGHBORHOOD MAP

Figure 16.24.010-1. Regulating Plan, Subdistricts



(Ord. 1487 §3 (part), 2016).



Phase:	Client Approval:	Quality Assurance:
Schematics	_____	_____
Design Dev.	_____	_____
Permit Doc.	_____	_____
Bid Doc.	_____	_____
Const. Doc.	_____	_____

Drawn By: \_\_\_\_\_ MF  
Project Manager: \_\_\_\_\_ AK  
Principal In Charge: \_\_\_\_\_

### COVER SHEET

# G0.00

Project Number: 23-014

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ABBREVIATIONS SYMBOLS GENERAL NOTES

Table of abbreviations with columns for symbol, abbreviation, and description. Includes items like AIR CONDITIONING, ANCHOR BOLT, ACCESSIBLE, etc.

Table of symbols with columns for symbol, description, and additional notes. Includes symbols for NORTH ARROW, GRID BUBBLE, DETAIL, etc.

GENERAL NOTES section containing CODE COMPLIANCE, MEANS AND METHODS, RELATIONSHIPS AND RESPONSIBILITIES, DRAWINGS AND DOCUMENTS, and other project-specific instructions.

Project information including client name (MJR DEVELOPMENT), address (629 WOODLAND SQ LOOP, LACEY, WA), and contact details for Weber Thompson Architects.

PARKING

Table with 2 columns: Category (e.g., TOTAL STALLS PROVIDED, OFF STREET PARKING) and Description/Requirements (e.g., LACEY MUNICIPAL CODE, RESIDENTIAL OPTIONAL MINIMUM).

ZONING SUMMARY

Table with 3 columns: ZONING SUMMARY (LACEY MUNICIPAL CODE: WOODLAND SQUARE - URBAN NEIGHBORHOOD 1), NOTES & DEPARTURES, and various zoning-related details.

PROJECT DATA

Table with 2 columns: Field (e.g., OWNER, BUILDING ADDRESS, ZONING) and Value (e.g., MJR DEVELOPMENT, 629 WOODLAND SQ. LOOP, LACEY, WA 98503).

BUILDING MATRACIES

GROSS BUILDING AREAS table with columns: LEVEL, AMENITY, COMMERCIAL, RETAIL, VERTICAL CIRCULATION, RESIDENTIAL, B.O.H., HORIZONTAL CIRCULATION, PARKING, TOTAL GSF, EXTERIOR AMENITY.

Unit Matrix - by Floor table with columns: Units, Studio, Open 1, 1 BR, 1 BR + Den, 2BR, Units per level.

UNIT MATRIX - by Unit table with columns: UNIT NAME, TYPE, SIZE, L1, L2, L3, L4, UNIT COUNT SUBTOTAL, UNIT TYPE SUBTOTAL, AVERAGE UNIT SIZE, MIX %.



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6725 116TH AVE. NE, SUITE 100, KIRKLAND, WA 98033

Issue:

Construction Revision:



Approval table with columns: Phase, Client Approval, Quality Assurance, and rows for Schematics, Design Dev, Permit Doc, Bid Doc, Const Doc.

Drawn By: Project Manager: Principal In Charge: Author MF, MK, AK

LAND USE ANALYSIS

G1.00

Project Number: 23-014

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**FRONTAGE CODE RESPONSE**

LANDSCAPE FRONTAGE TYPE 4 REQUIREMENTS

MAX PODIUM HEIGHT: 55 FEET  
 BUILDING HEIGHT: 55 FEET (COMPLIES)  
 MAX & MIN BUILDING SETBACK: MAX 15 FEET, MIN 10 FEET  
 BUILDING SETBACK: 37'-3 1/2" FEET (THE ENTRY LANDSCAPE WALL AND AMENITY TRELLIS ARE WITHIN THE 10' MIN - 15' MAX SETBACK FOR THE ENTRY PORTION OF THE BUILDING FRONTAGE.)

MIN BUILDING DEPTH: 40 FEET  
 BUILDING DEPTH: 68 FEET (COMPLIES)

WEATHER PROTECTION @ ENTRY: SEE SITE PLAN DIAGRAM 1/G1.01. (COMPLIES)

WINDOW TRANSPARENCY: 60% MIN OF GROUND FLOOR  
 BUILDING TRANSPARENCY: 50% (EXISTING FENESTRATION ENLARGED BY APPROX. 247 SF, 18% FOLLOWING THE INTENT OF THE CODE)

BUILDING & LANDSCAPE FRONTAGE TYPE 7 REQUIREMENTS

SETBACK PARKING FROM BUILD-TO LINE: MIN 10 FEET  
 EXISTING PARKING SETBACK: 5 FEET (SCREENING LANDSCAPE ADDED TO EXISTING CONDITION FOLLOWING THE INTENT OF THE CODE)

SURFACE PARKING SHALL BE SCREENED WITH HEDGES OR SHRUBS: COMPLIES

**LACEY MUNICIPAL FRONTAGE DIAGRAMS**

LANDSCAPE FRONTAGE TYPE 4 (TABLE 16.24.070-4)

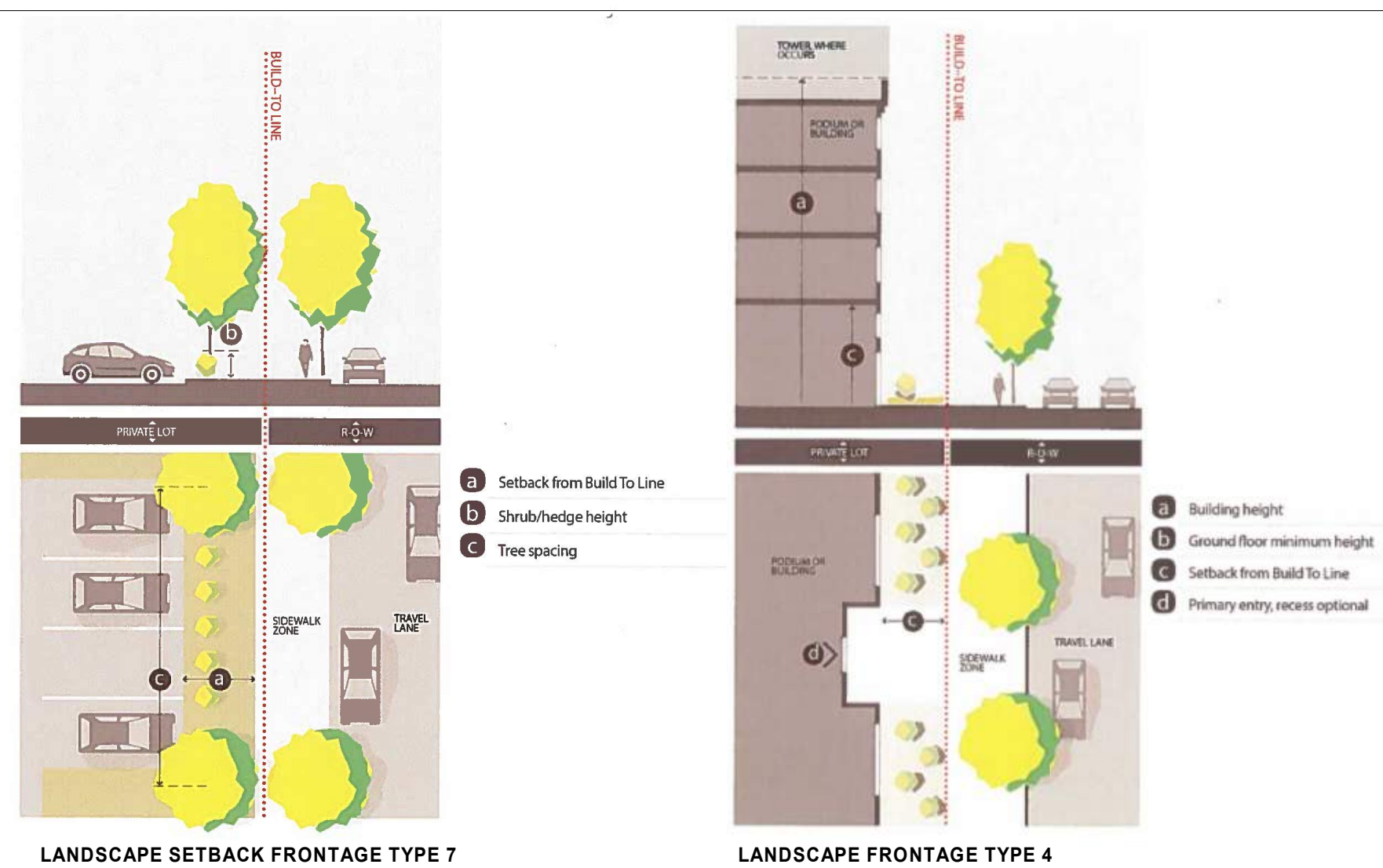
- MINIMUM BUILDING DEPTH: 40' MIN.
- FAÇADE SHALL BE SETBACK 10' MIN & 15' MAX ALONG THE BUILD-TO LINE.
- ENTRANCE TO BE WEATHER PROTECTED WITH CANOPY OR RECESSED ENTRY
- GROUND FLOOR WINDOWS TO BE 60% TRANSPARENT MIN. OF PRIMARY STREET-FACING FAÇADE AREA.

FRONTAGE TYPE - 7 LANDSCAPE SETBACK (TABLE 16.24.070-7)

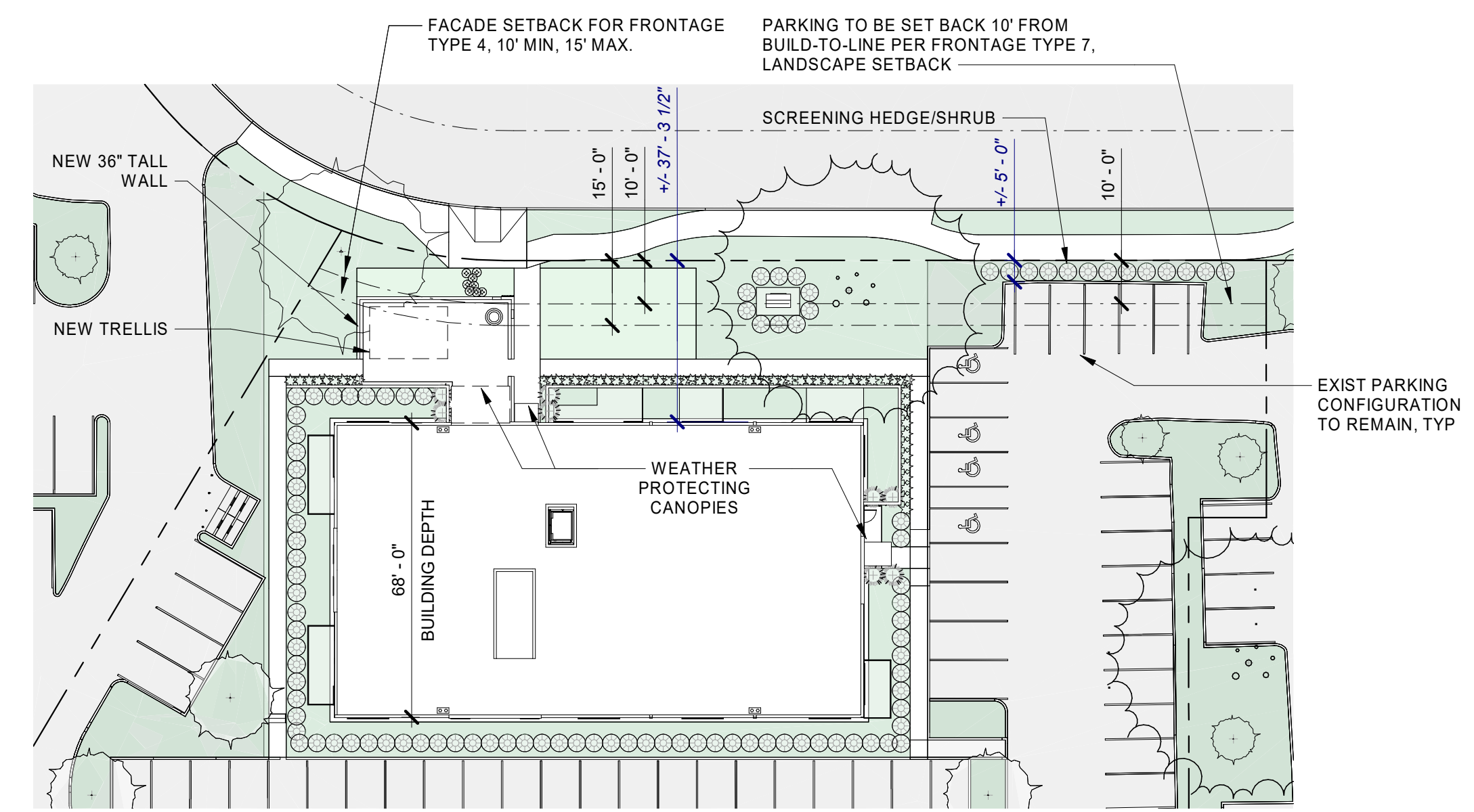
- FRONTAGE: SURFACE PARKING AREAS SHALL BE SCREENED WITH A LANDSCAPE SETBACK ALONG THE BUILD-TO LINE.
- PARKING SHALL BE SET BACK 10' MIN BEHIND BUILD-TO LINE.
- SHRUB AND HEDGE HEIGHT: HEDGES OR SHRUBS SHALL CONTINUOUSLY SCREEN AND BE IMMEDIATELY ADJACENT TO THE PARKING AREA. THE SHRUBS SHALL BE A MINIMUM OF 3' HIGH AND MUST BE OPAQUE YEAR ROUND. (A 3' HIGH MASONRY WALL MAY BE SUBSTITUTED FOR THE SHRUBS BUT TREES AND GROUND COVER ARE STILL REQUIRED.)
- LANDSCAPE AREA: REQUIRES ONE LARGE TREE EVERY 30 LINEAR FEET ALONG STREET FRONTAGES.

DEVELOPMENT STANDARDS FLEXIBILITY ADJUSTMENT (16.24.040.C.2)

DEVELOPMENT STANDARDS FLEXIBILITY ADJUSTMENT MAY BE GRANTED TO ANY DEVELOPMENT WITHIN THE WOODLAND DISTRICT, IF THE DIRECTOR FINDS THAT THE ADJUSTED DEVELOPMENT STANDARD WILL PERFORM AS WELL AS THE DEVELOPMENT STANDARD. ELIGIBLE DEVELOPMENT STANDARDS AND THE PERMITTED DEGREE OF ADJUSTMENT IS NOTED IN EACH DEVELOPMENT STANDARDS TABLE.



**PROJECT FRONTAGE DIAGRAMS**



**1 FRONTAGE DIAGRAM - SITE PLAN**  
 SCALE: 1" = 30'-0"



**2 FRONTAGE DIAGRAM - NORTH ELEVATION**  
 SCALE: 1/16" = 1'-0"

**GROUND FLOOR TRANSPARENCY CALCULATION:**  
 LEVEL ON GROSS AREA (GRAY): 1,367 SF  
 TRANSPARENT AREA (BLUE): 688 SF  
 TRANSPARENCY PERCENTAGE: BLUE / GRAY = %  
 688 / 1,367 x 100 = 50%

Phase:	Client Approval:	Quality Assurance:
Schematics	_____	_____
Design Dev.	_____	_____
Permit Doc.	_____	_____
Blr Doc.	_____	_____
Const. Doc.	_____	_____

Drawn By: \_\_\_\_\_ Author MF  
 Project Manager: \_\_\_\_\_ MF  
 Principal In Charge: \_\_\_\_\_ AK

LAND USE ANALYSIS

**G1.01**

Project Number: 23-014

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PERSPECTIVE FROM NORTHEAST



PERSPECTIVE FROM WEST



PERSPECTIVE FROM SOUTHEAST



PERSPECTIVE FROM NORTH EAST



PERSPECTIVE FROM NORTHWEST

**WEBER THOMPSON**

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629 WOODLAND SQ  
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KIRKLAND, WA 98033

**Issue:**

**Construction Revision:**

9512 REGISTERED ARCHITECT  
*Amanda D Keating*  
AMANDA D KEATING  
STATE OF WASHINGTON

Phase:	Client Approval:	Quality Assurance:
Schematics	_____	_____
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Permit Doc.	_____	_____
Blot Doc.	_____	_____
Const. Doc.	_____	_____

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Project Manager: \_\_\_\_\_ MF  
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**RENDERINGS**

**G4.00**

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PERSPECTIVE FROM NORTHEAST



PERSPECTIVE FROM NORTH



PERSPECTIVE OF THE ENTRY



PERSPECTIVE FROM SOUTHEAST



PERSPECTIVE ABOVE THE ENTRY

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THOMPSON

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Project:

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Issue:

Construction Revision:

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ARCHITECT  
*Amanda D Keating*  
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STATE OF WASHINGTON

Phase:	Client Approval:	Quality Assurance:
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Permit Doc.	_____	_____
Blot Doc.	_____	_____
Const. Doc.	_____	_____

Drawn By:  
Project Manager:  
Principal In Charge:

Author  
MF  
AK

RENDERINGS

**G4.01**

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**SITE PLAN NOTES**

BUILDING ADDRESS: 629 WOODLAND AVE  
 LACEY, WA 98503

WOODLAND DISTRICT NEIGHBORHOOD DESIGNATION: URBAN NEIGHBORHOOD 1- WOODLAND SQUARE

1. SIGNAGE FROM THE MAIN ENTRY (NORTH) TO THE BICYCLE PARKING IS REQUIRED PER LMC 16.72.050.C.3.

2. BUILDING ENTRANCES TO HAVE 6' MINIMUM DEPTH OF WEATHER PROTECTIVE CANOPIES.

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Const. Doc.	_____	_____

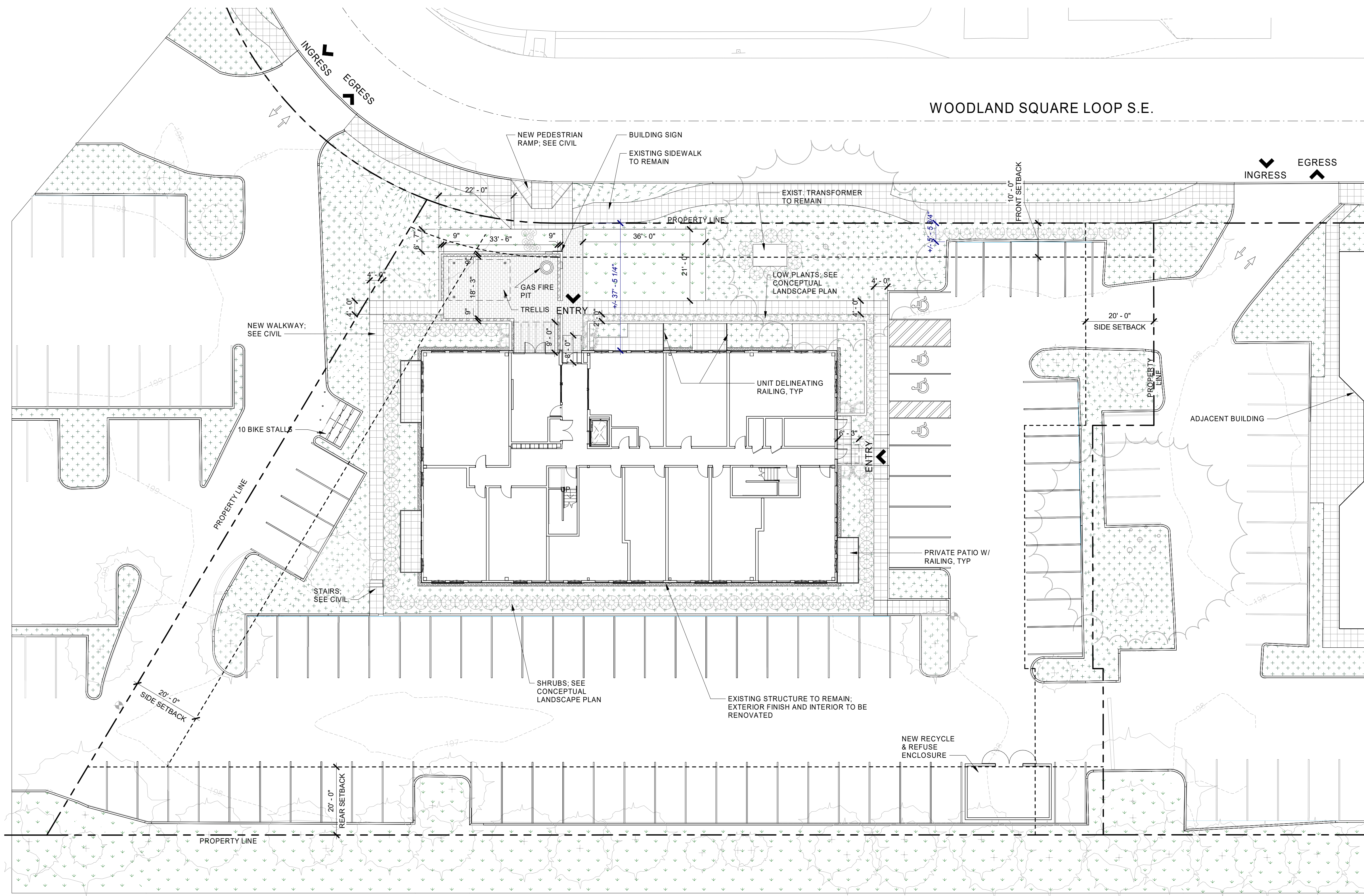
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 Project Manager: \_\_\_\_\_ MF  
 Principal In Charge: \_\_\_\_\_ AK

**SITE PLAN**

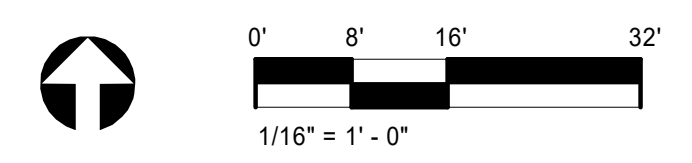
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**1 SITE PLAN**  
 SCALE: 1/16" = 1'-0"



**PARKING CALCULATIONS**

UNIT MIX		
Unit Type	Count	Unit Mix
1 BEDROOM	17	35%
1 BEDROOM + DEN	1	2%
2 BEDROOM	4	8%
OPEN 1	14	29%
STUDIO	13	27%
Grand total	49	

PARKING SCHEDULE		
Count	Type	Mark
3	8' x 18' (5' Aisle)	ACCESSIBLE
1	8' x 18' (8' Aisle)	ACCESSIBLE-VAN
15	COMPACT - 8' x 16'	
57	STANDARD - 9' x 18'	
Grand total:	76	

50% MAX MAY BE COMPACT STALLS:  
 79 X 50% = 40 COMPACT STALLS ALLOWED  
 17 COMPACT STALLS PROVIDED (COMPLIES)

REQUIRED AUTO PARKING			
UNIT TYPE	QTY	PARKING RATIO	PARKING REQ'D
STUDIO	13	1.5	21
OPEN 1	14	1.5	21
1 BEDROOM	17	1.5	26
1 BEDROOM + DEN	1	1.5	2
2 BEDROOM	4	1.5	6
TOTAL UNITS	49		
<b>TOTAL STALLS REQ'D</b>			<b>68</b>
<b>STALLS PROVIDED</b>			<b>78</b>

ACCESSIBLE STALLS PROVIDED: 4  
 VAN STALLS PROVIDED: 1 (OF 4 ACCESSIBLE STALLS)

REQUIRED BICYCLE PARKING		
REQUIRED RATIO	AUTO STALLS PROVIDED	BIKE STALLS REQ'D
1 BIKE STALL PER 10 AUTO STALLS	78	8
<b>BIKE STALLS PROVIDED</b>		<b>8</b>

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**Issue:**

**Construction Revision:**

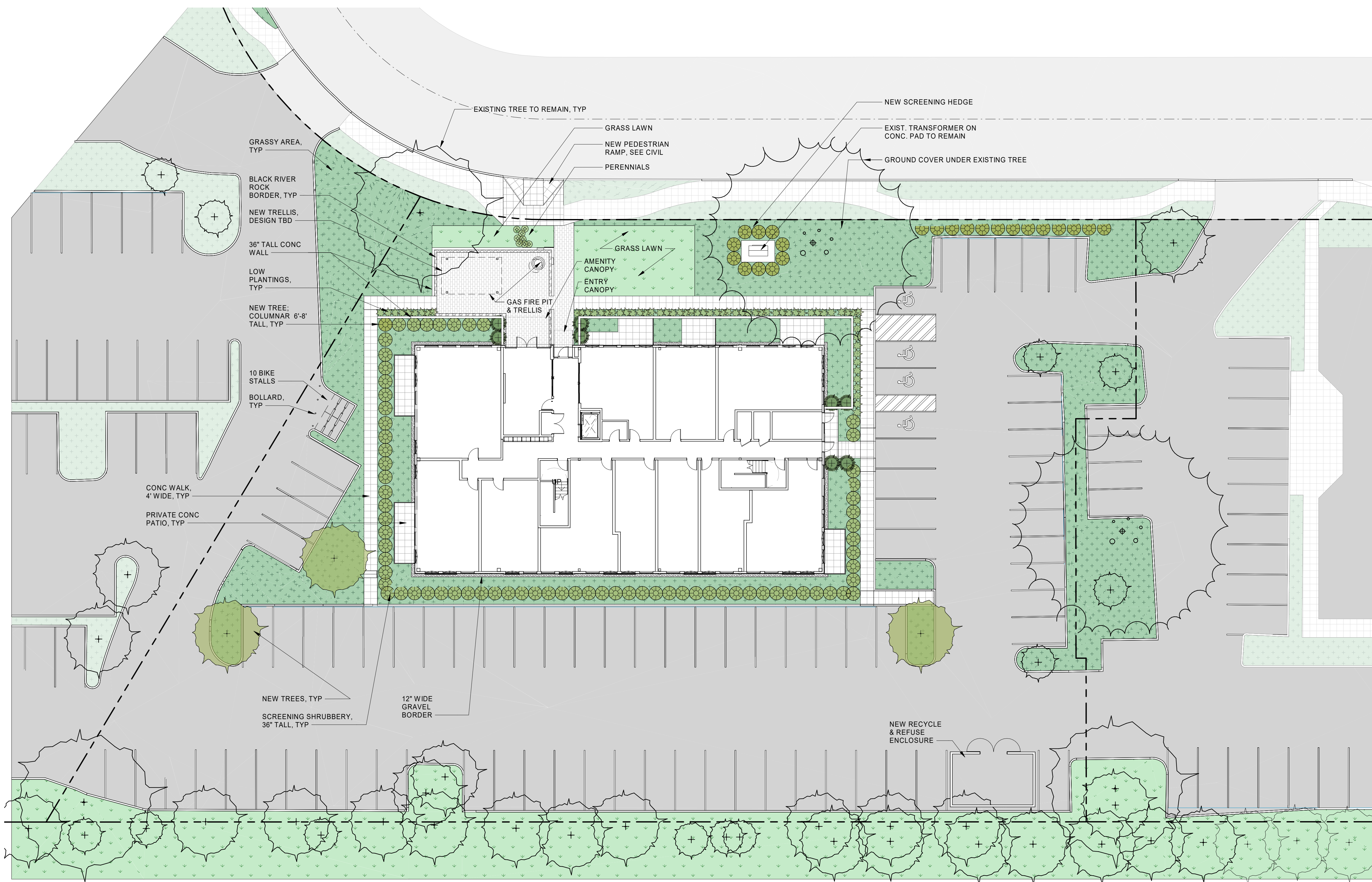
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Schematics	_____	_____
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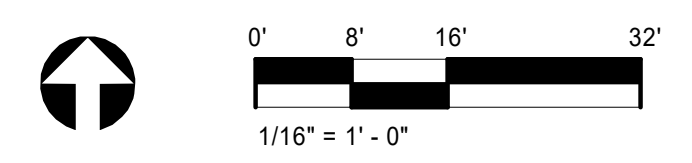
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 Project Manager: \_\_\_\_\_ Principal In Charge: AK

**CONCEPTUAL LANDSCAPE PLAN**  
**A1.01**  
 Project Number: 23-014

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**1 CONCEPTUAL LANDSCAPE PLAN**  
 SCALE: 1/16" = 1'-0"



**CONCEPTUAL PLANTING LEGEND**

	POURED CONCRETE WALKWAY		LOW PLANTINGS 6\"/>
	SAND SET PAVERS		GRASS - 6\"/>
	POURED CONCRETE PARKING SURFACE		GROUND COVER - 6\"/>
	RIVER ROCK, BLACK		LOW PLANTINGS - PERENNIALS
	GRAVEL W/ METAL EDGE BORDER		36\"/>
			5-7\"/>

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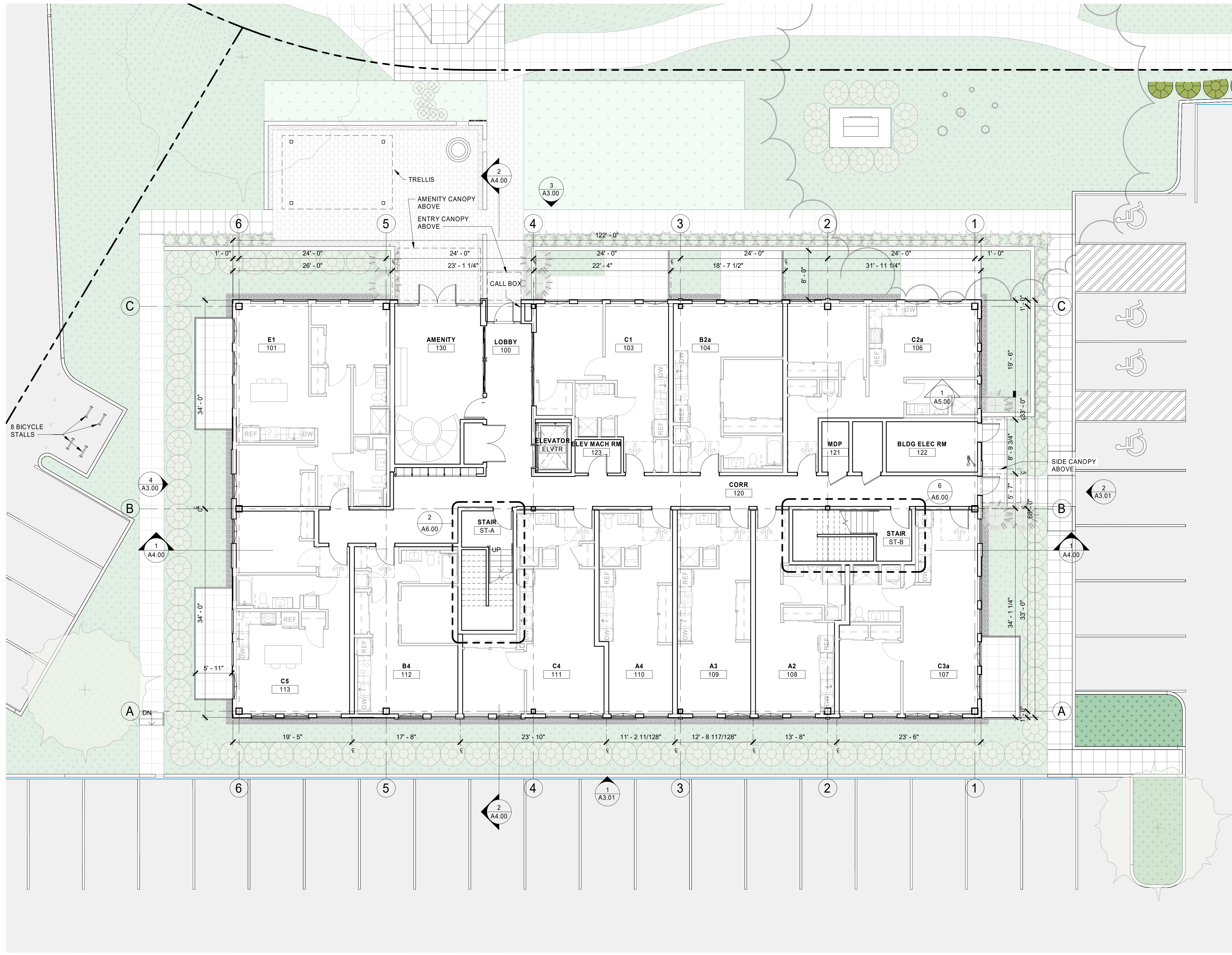
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Schematics	_____	_____
Design Dev.	_____	_____
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Principal In Charge: \_\_\_\_\_ AK

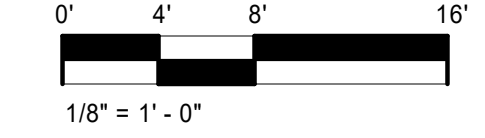
FLOOR PLAN LEVEL L1

**A2.00**  
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**1 LEVEL 1**  
SCALE: 1/8" = 1'-0"



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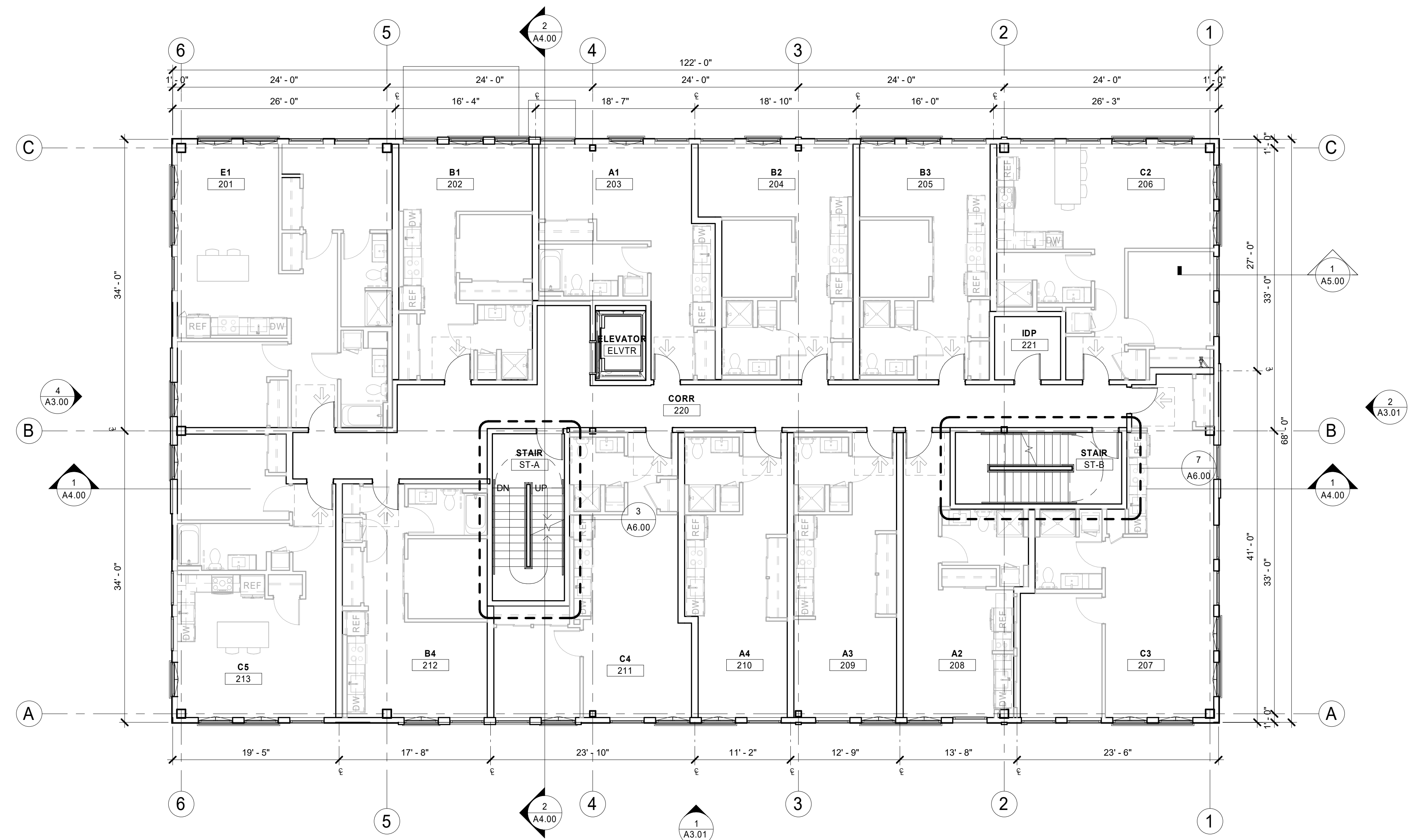
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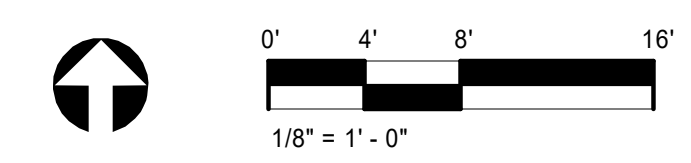
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**Construction Revision:**



**LEVELS 2 & 3**  
SCALE: 1/8" = 1'-0"



9512 REGISTERED ARCHITECT  
*Amanda D Keating*  
AMANDA D KEATING  
STATE OF WASHINGTON

Phase:	Client Approval:	Quality Assurance:
Schematics	_____	_____
Design Dev.	_____	_____
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Const. Doc.	_____	_____

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Principal In Charge: \_\_\_\_\_ AK

FLOOR PLAN LEVELS - L2-L3

**A2.01**  
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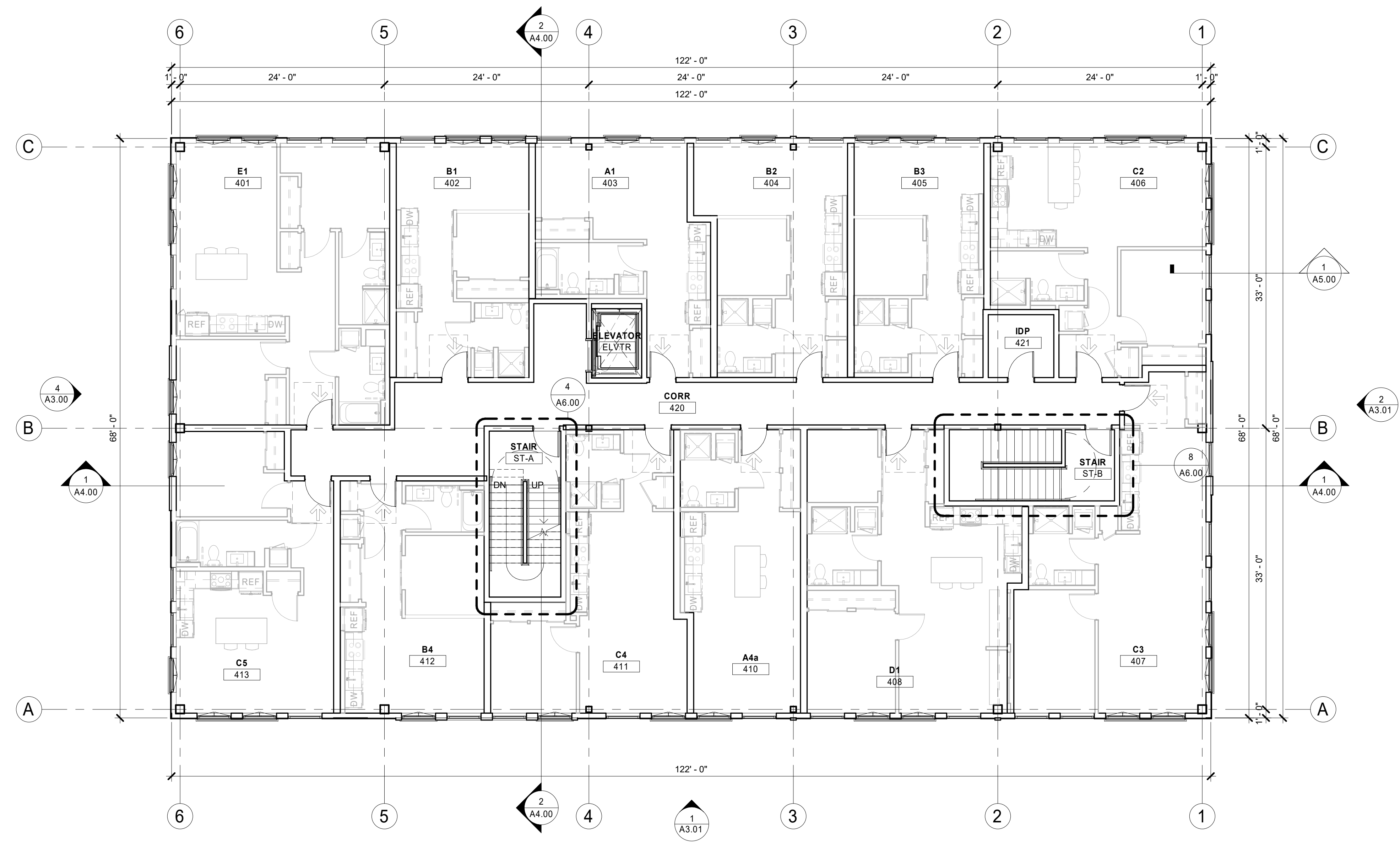
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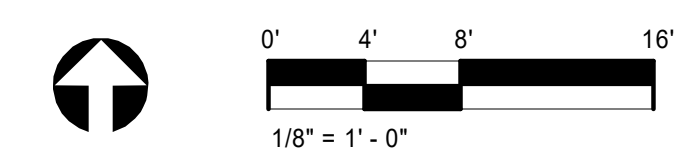
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KIRKLAND, WA 98033

**Issue:**

**Construction Revision:**



**1 LEVEL 4**  
SCALE: 1/8" = 1'-0"



9512 REGISTERED ARCHITECT  
*Amanda D Keating*  
AMANDA D KEATING  
STATE OF WASHINGTON

Phase:	Client Approval:	Quality Assurance:
Schematics	_____	_____
Design Dev.	_____	_____
Permit Doc.	_____	_____
Bldg Doc.	_____	_____
Const. Doc.	_____	_____

Drawn By: \_\_\_\_\_ Author: MF  
Project Manager: \_\_\_\_\_ Principal In Charge: AK

FLOOR PLAN LEVELS - L4

**A2.02**  
Project Number: 23-014

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SITE PLAN SUBMITTAL - 9/29/23

**Project:**

**629 WOODLAND  
APTS, LACEY**

629 WOODLAND SQ  
LOOP,  
LACEY, WA

**Client:**

**MJR DEVELOPMENT**

6725 116TH AVE. NE,  
SUITE 100  
KIRKLAND, WA 98033

**Issue:**

**Construction Revision:**

9512 REGISTERED ARCHITECT  
*Amanda D Keating*  
AMANDA D KEATING  
STATE OF WASHINGTON

Phase:	Client Approval:	Quality Assurance:
Schematics	_____	_____
Design Dev.	_____	_____
Permit Doc.	_____	_____
Bldg Doc.	_____	_____
Const. Doc.	_____	_____

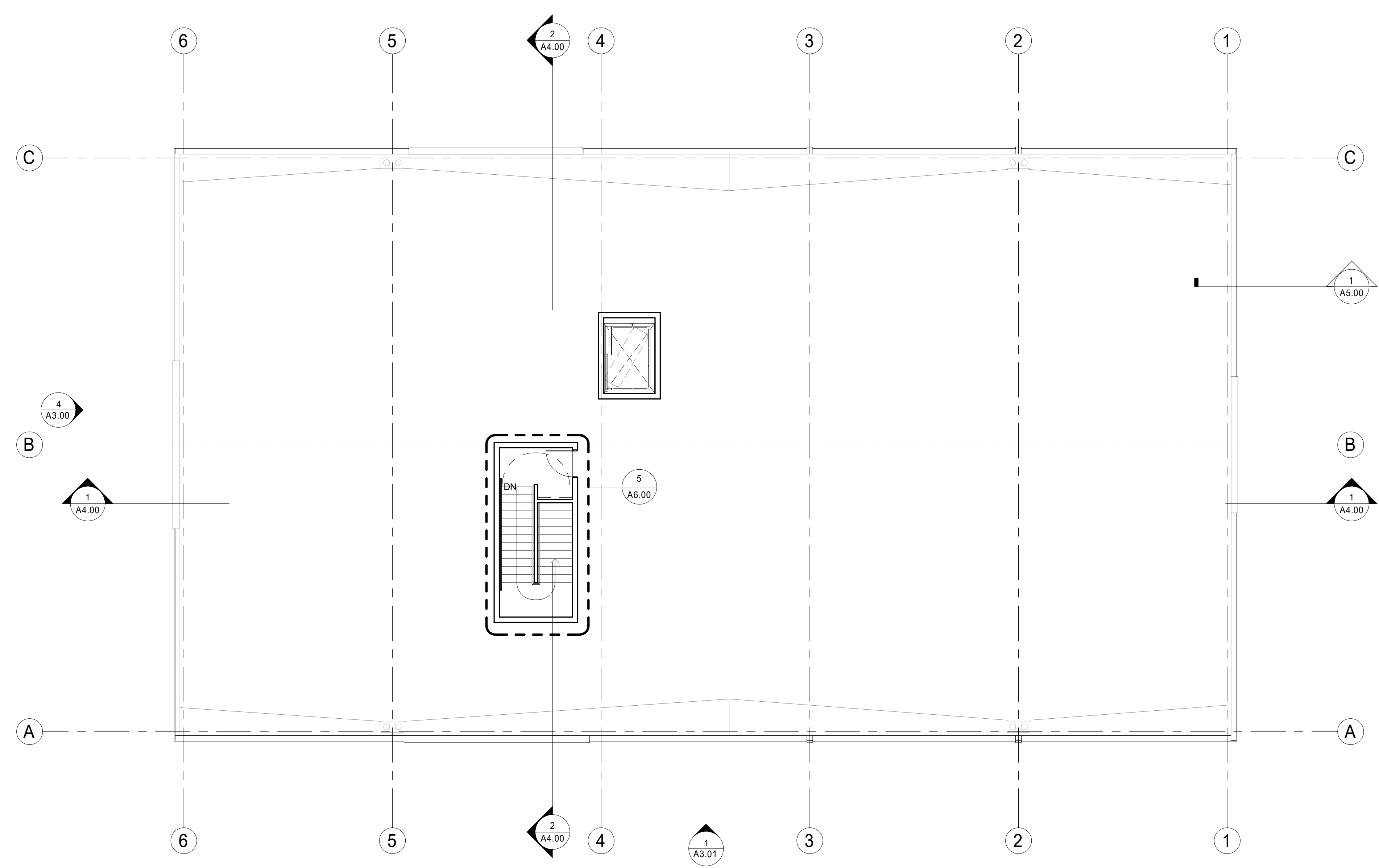
Drawn By: \_\_\_\_\_ Author: MF  
Project Manager: \_\_\_\_\_ Principal In Charge: AK

FLOOR PLAN LEVEL - ROOF

**A2.03**

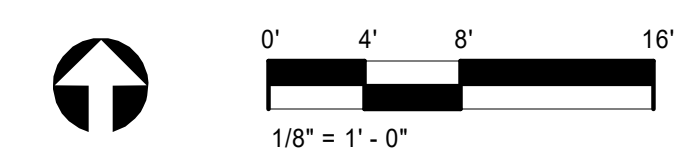
Project Number: 23-014

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**1 ROOF LEVEL**

SCALE: 1/8" = 1'-0"

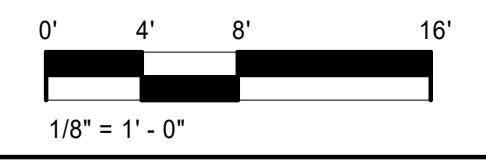


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SITE PLAN SUBMITTAL - 9/29/23



**3 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



MATERIAL LEGEND	
1	ARCHITECTURAL CONCRETE COLOR: NATURAL
2	CANOPY; STEEL AND GLASS
3A	METAL PANEL, BOX RIB COLOR: CHARCOAL
3B	METAL RAILING COLOR: BLACK
3C	METAL "JULLIET"-STYLE BALCONY RAILING COLOR: BLACK
4A	FRC PANEL COLOR: WHITE
6	ALUMINUM STOREFRONT WINDOWS COLOR: BLACK
7	VINYL WINDOWS COLOR: BLACK

**WEBER THOMPSON**  
900 N 34th Street, Suite 200  
Seattle, WA 98103  
206.344.5700

**Project:**  
**629 WOODLAND APTS, LACEY**  
629 WOODLAND SQ  
LOOP,  
LACEY, WA

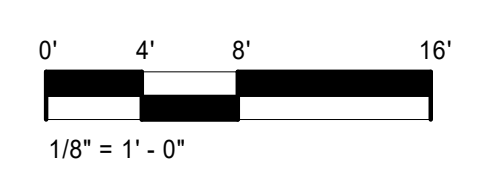
**Client:**  
**MJR DEVELOPMENT**  
6725 116TH AVE. NE,  
SUITE 100  
KIRKLAND, WA 98033

**Issue:**

**Construction Revision:**



**4 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



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Phase:	Client Approval:	Quality Assurance:
Schematics	_____	_____
Design Dev.	_____	_____
Permit Doc.	_____	_____
Bldg Doc.	_____	_____
Const. Doc.	_____	_____

Drawn By: \_\_\_\_\_ Author: MF  
Project Manager: MF  
Principal In Charge: AK

**BUILDING ELEVATIONS**

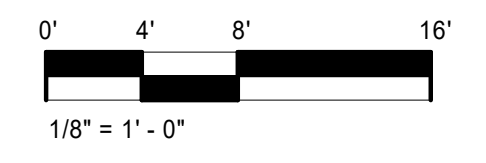
**A3.00**  
Project Number: 23-014

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SITE PLAN SUBMITTAL - 9/29/23



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



MATERIAL LEGEND	
1	ARCHITECTURAL CONCRETE COLOR: NATURAL
2	CANOPY, STEEL AND GLASS
3A	METAL PANEL, BOX RIB COLOR: CHARCOAL
3B	METAL RAILING COLOR: BLACK
3C	METAL "JULLIET"-STYLE BALCONY RAILING COLOR: BLACK
4A	FRC PANEL COLOR: WHITE
6	ALUMINUM STOREFRONT WINDOWS COLOR: BLACK
7	VINYL WINDOWS COLOR: BLACK

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Seattle, WA 98103  
206.344.5700

**Project:**  
**629 WOODLAND  
APTS, LACEY**  
629 WOODLAND SQ  
LOOP,  
LACEY, WA

**Client:**  
**MJR DEVELOPMENT**

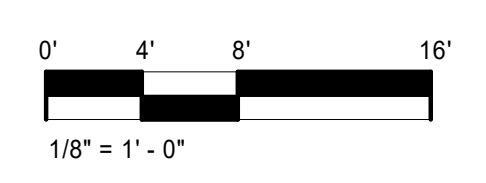
6725 116TH AVE. NE,  
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**Issue:**

**Construction Revision:**



2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



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ARCHITECT  
*Amanda D Keating*  
AMANDA D KEATING  
STATE OF WASHINGTON

	Client Approval:	Quality Assurance:
Schematics	_____	_____
Design Dev.	_____	_____
Permit Doc.	_____	_____
Bldg. Doc.	_____	_____
Const. Doc.	_____	_____

Drawn By: \_\_\_\_\_ Author: MF  
Project Manager: MF  
Principal In Charge: AK

**BUILDING ELEVATIONS**

**A3.01**  
Project Number: 23-014

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SITE PLAN SUBMITTAL - 9/29/23

**Project:**  
**629 WOODLAND APTS, LACEY**  
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 LOOP,  
 LACEY, WA

**Client:**  
**MJR DEVELOPMENT**

6725 116TH AVE. NE,  
 SUITE 100  
 KIRKLAND, WA 98033

**Issue:**

**Construction Revision:**

9512 REGISTERED ARCHITECT  
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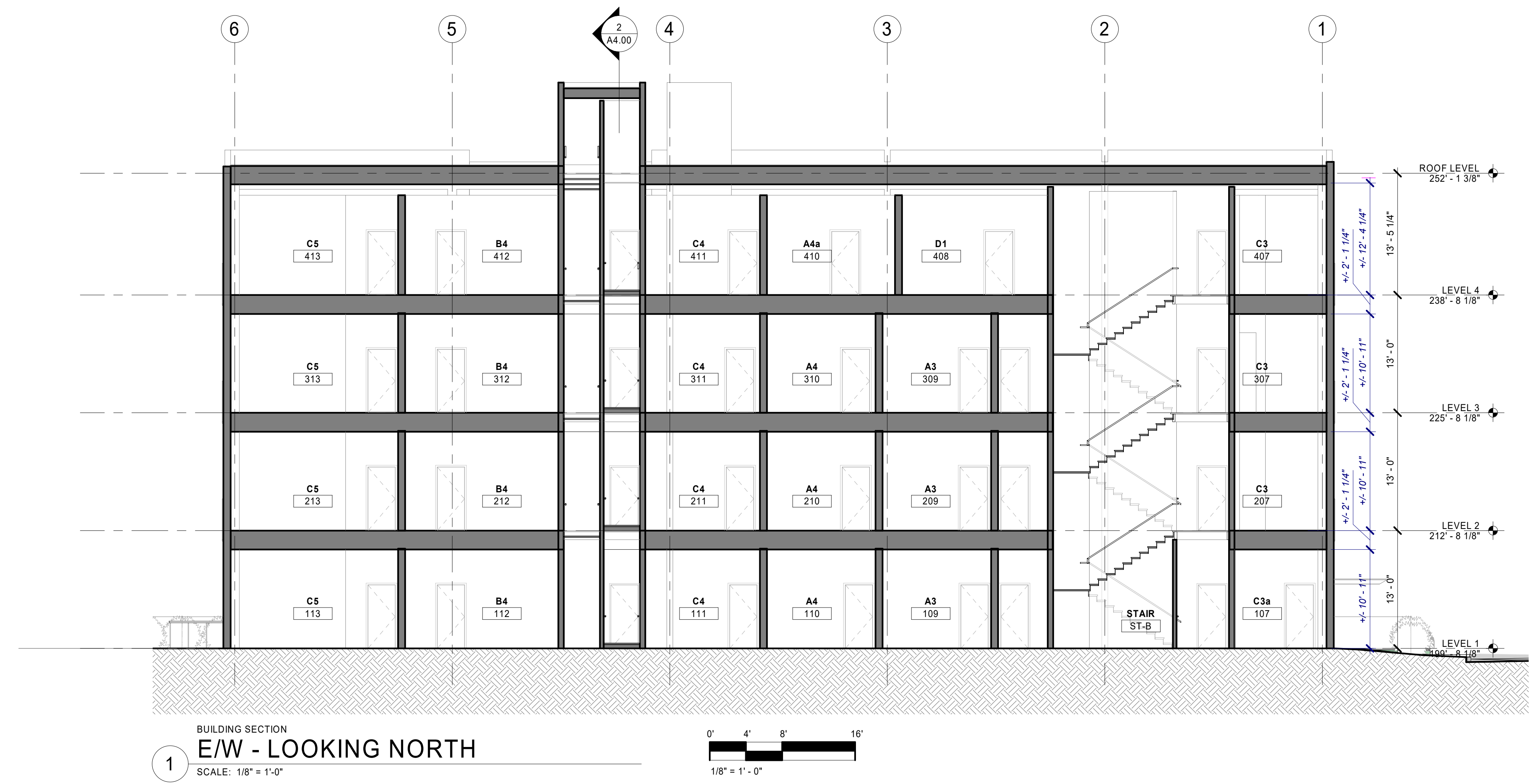
Phase:	Client Approval:	Quality Assurance:
Schematics	_____	_____
Design Dev.	_____	_____
Permit Doc.	_____	_____
Bldg Doc.	_____	_____
Const. Doc.	_____	_____

Drawn By: \_\_\_\_\_ Author: MF  
 Project Manager: \_\_\_\_\_ MF  
 Principal In Charge: \_\_\_\_\_ AK

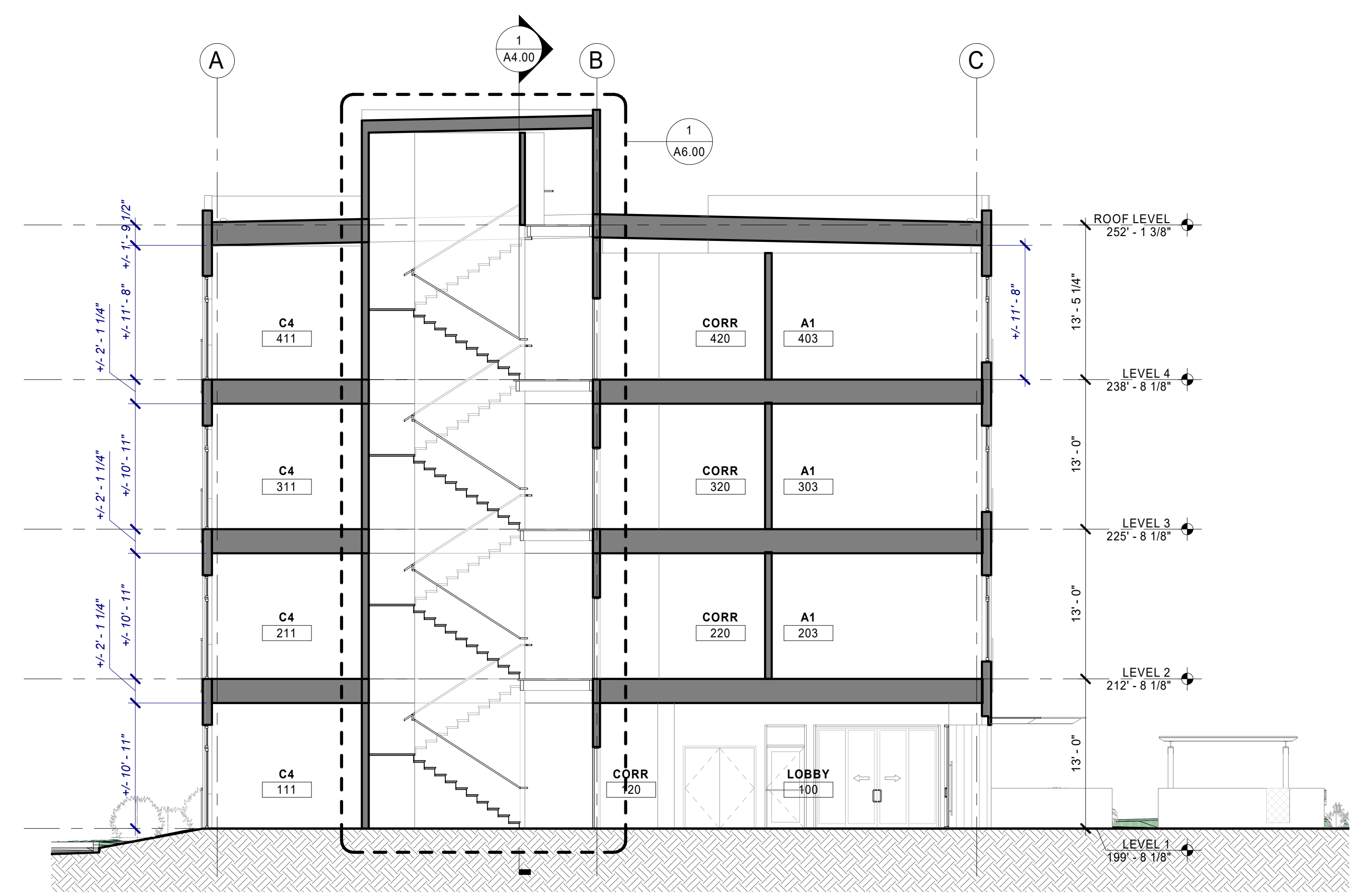
**BUILDING SECTIONS**

**A4.00**  
 Project Number: 23-014

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**1** BUILDING SECTION  
**E/W - LOOKING NORTH**  
 SCALE: 1/8" = 1'-0"



**2** BUILDING SECTION  
**N/S - LOOKING EAST**  
 SCALE: 1/8" = 1'-0"

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 SITE PLAN SUBMITTAL - 9/29/23