

Woodland District Connectivity Plan and Detailed Master Plan (Amendment) Submittal Packet

Project 22-35, Woodland District Form Based Code Review

Applicant Alfredo Izquierdo
Transform SR Holding Mgt LLC

Project site Parcel 65100900100
651 Sleater Kinney Rd SE, Lacey WA

Submitted to Lacey Community & Economic Development Department /
October 20, 2023

Woodland District Master Plan (Amendment) Packet Contents

1. General Land Use Application
2. Woodland District Development Supplemental Application
3. Application Narrative (Phasing)
4. Vicinity Plans and Conceptual Landscape Plans (Phasing)

General Land Use Application

Woodland District Development Supplemental Application



Shaping
our community
together

CITY
OF **LACEY**

DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT
420 College Street S.E., Lacey, WA 98503 (360) 491-5642

OFFICIAL USE
ONLY

Date: _____

Case #: _____

Received By: _____

Planner: _____

Related Cases: _____

WOODLAND DISTRICT SUPPLEMENTAL

(This form to be accompanied by the General Land Use Application Form)

Project Name: 22-35 TransformCo Addition to Existing Building

Address of Project: 351 Sleater-Kinney Rd SE Suite 1300, Lacey WA 98503

Project Description:

This amendment revises an earlier approved Woodland District supplemental application permit by separating the parking lot and pedestrian connectivity improvements into two phases. Phase 1 improvements will be done following construction of the addition. Phase 2 will be completed in tandem with development of buildings and uses on those areas shown on the revised connectivity plan.

Form-Based Code Development Standards (answer all that apply):

- The project is located in (circle one): Master Plan Area Woodland Square Sub-District Pacific Avenue Sub-District
- The project abuts a (circle all that apply): Primary Street Secondary Street Other (i.e. two primary streets)
- If the development abuts more than one primary street which is the higher order street? Sleater-Kinney
- Block length (proposed): Not Applicable Block perimeter (proposed): NA
- What building and/or landscape frontage type is proposed along each street (LMC 16.24.050-2)?
Phase 1 proportional compliance along newly constructed addition
- Total gross square footage of proposed building(s) and/or additions: 7,877 in Phase 1
- Are any buildings smaller than 7,500 square feet in footprint? no
- Current assessed value (building only): Phase 2: unknown
- Total dollar value of proposed improvements: Phase 2: unknown
- What is the percentage of proposed improvement to assessed value (divide question 9 by question 8)? NA

To apply for Form-Based Code approval, the following shall be submitted:

- 15 copies of the General Land Use Application
- 15 copies of the Woodland District Supplemental Application
- Woodland District Form-Based Code Submittal (see checklist on pages 2 and 3)
- Connectivity or Detailed Master Plan (if required)
- Environmental Checklist (SEPA) (if required)
- Thumbdrive containing .pdf copies of all submittal materials, including applications
- All other items requested at the presubmission conference
- All application fees

Woodland District Form-Based Code Checklist

The form-based code submittal shall contain the following items:

1. **Application narrative. Four copies required.**
 - a. Project site address;
 - b. Project description;
 - c. List of requested adjustments, if any;
 - d. List of submittals provided;
 - e. For all multifamily projects or mixed-use projects with multifamily development, provide a description of compliance with crime prevention through environmental design (CPTED) techniques;
2. **Plans. Four copies of the set of plans are required. The license stamps of the architect and landscape architect shall be on each appropriate plan page.**
 - Vicinity Plan. A vicinity plan is required containing the following information (1 inch equals 500' or larger):**
 - a. Site boundaries
 - b. Site address;
 - c. Woodland District Neighborhood designation;
 - d. Plan showing project location within the Woodland District;
 - e. Names of adjacent streets with Street and Through Connection designation (Refer to Figure 16.24.050-1 Regulating Plan, Street Types); and
 - f. Names and descriptions of frontage types required and proposed.
 - Site Plan. A site plan is required containing the following information (1 inch equals 20' or larger):**
 - a. Site address;
 - b. Woodland District Neighborhood designation;
 - c. Names of adjacent streets;
 - d. Location of adjacent buildings on abutting properties;
 - e. Site dimensions;
 - f. Existing grade and finished grade (maximum two-foot contours);
 - g. Location and dimensions of existing and proposed site circulation for automobiles and pedestrians. Indicate location of site ingress and egress and patterns of on-site automobile circulation with directional arrows. Clearly identify any requested adjustments to development standards (Refer to LMC 16.24.050 Streets, Through Connections and Connection Spacing);
 - h. Location and dimensions of existing and proposed structure(s), accessory structures with appropriate setbacks;
 - i. Location of trees as determined by the Lacey tree protection professional;
 - j. Location, dimensions, and nature of any proposed easements or dedications; and
 - k. Location, dimensions, and description of common open space and recreation areas (Refer to LMC 16.24.040 General Standards Required for All Development).
 - Landscaping Plan. The landscaping plan shall contain the following information (1 inch equals 20' or larger):**
 - a. Survey of existing trees; trees to be retained; and trees to be removed;
 - b. Existing plant material to be retained;
 - c. Proposed plant material to be placed on site. The type, size, number and spacing on plantings must be illustrated (Refer to LMC 16.24.040 General Standards Required for All Development);
 - d. Surface parking location and design (Refer to LMC 16.72);
 - e. Bicycle parking location and design (Refer to LMC 16.72);
 - f. Loading and Service Areas location and design (Refer to LMC 16.80);
 - g. Screening and Buffering: general; perimeter fencing and walls; parking structures; and surface parking lots. (Refer to LMC 16.80).
 - Building Form and Massing. Submit complete elevations (1/8 inch equals 1' or larger) of all proposed construction and related elevations of existing structures (if any) within 25 feet of the site. Elevations shall include the following information:**
 - a. Dimensioned elevations of building showing:
 - i. Required building setbacks (if any) (Refer to LMC 16.24.060, Building Form, Site Design and Massing);
 - ii. Required ground floor height (Refer to LMC 16.24.060, Building Form, Site Design and Massing);

- iii. Required weather protection (Refer to LMC 16.24.060, Building Form, Site Design and Massing);
- iv. Required ground floor transparency (Refer to LMC 16.24.060, Building Form, Site Design and Massing);
- v. Required weather protection for required building entrance(s) (Refer to LMC 16.24.060, Building Form, Site Design and Massing);
- vi. Pedestrian protection – sidewalk (Refer to LMC 16.24.060, Building Form, Site Design and Massing);
- vii. Minimum, maximum, and proposed podium height (Refer to LMC 16.24.060, Building Form, Site Design and Massing); and
- viii. Maximum building height and required building setbacks (if any) (Refer to LMC 16.24.060, Building Form, Site Design and Massing).

- b. Elevations should show the type and color of exterior materials;
- c. Location and elevations of exterior lighting for site and buildings; and
- d. Perspective drawings, photographs, color renderings or other graphics which accurately represent the proposed project.

Sections. Submit a minimum of two site and building cross section profiles (1/8 inch equals 1' or larger) with the following information:

- a. Scale;
- b. Building(s) details;
- c. Landscaping against the building when installed;
- d. Lighting fixtures and standards; and
- e. Signs.

Roof plan. The roof plan shall contain the following information (1 inch equals 20' or larger):

- a. Extent of the project site and location of new and existing buildings;
- b. Extent and location of new roof(s);
- c. Extent and location of building tower(s) (if any);
- d. Dimensions and area of floor plate for proposed building tower(s). If more than one tower, show clear dimensions between towers (Refer to LMC 16.24.060, Building Form, Site Design and Massing).

Application Narrative (Phasing)



To Sarah Schelling, Grant Beck, City of Lacey
From: Dan Penrose, AICP, Principal *DPenrose*
Date: October 20, 2023
Project: 22-35, Amendments to TransformCo Building Woodland District Connectivity Plan
Subject Project Narrative (Phasing)

Project Site Address and Project Description

Transform Lacey WA LLC, (referred to as TransformCo in this application) has proposed to add 7,877 square feet of new single-story building to the northwest corner of the building at 651 Sleater-Kinney Rd SE formerly housing Sears in the South Sound Center in Lacey's Midtown District. The Midtown District, once known as the Woodland District, has a Hybrid Form Based Code (LMC 16.24) in place which requires proportional compliance with a variety of regulations that are intended to promote non-motorized connectivity and more pedestrian friendly urban scale.

Requested Adjustments

TransformCo is submitting herewith a General Land Use Application and Woodland District Supplemental Application (Application) to modify the Connectivity Plan approved as part of the Site Plan Approval issued by the City on July 28, 2022 under Case #22-0022 (Existing Approval).

The Application is limited to a request to modify the Connectivity to allow a phased implementation of the improvements included in the plan. The requested modification to the Connectivity Plan does not include a change to any of the elements of the plan. The request for phasing the improvements is necessary due to our desire to further develop the subject property. We are currently working with Kimley Horn to prepare a binding site plan application that will create a new building lot as generally shown as the 'Future Development Area' on the phasing plan attached hereto. It is necessary to phase the Connectivity Plan improvements so we can avoid performing improvements that will later be disturbed during development of the new building lot. It is expected that both landscaping and parking improvements located in what is proposed as phase two of the Connectivity Plan would be disturbed during construction, and a portion of the improvements may need to be relocated to accommodate future drive aisles.

The proposed phasing plan includes two phases. As proposed, the first phase will be completed prior to issuance of a certificate of occupancy for the current building on the property and the second phase will be completed prior to the earlier of (i) the issuance of a certificate of occupancy for the new building on the new building lot, or (ii) three years from the approval of this Application. The area proposed for redevelopment is an overflow parking area that is not needed to satisfy code-required parking requirements, nor does it provide access to a public right-of-way. The phase one improvements will include landscaping a restriping in the vicinity of the existing building as well as restriping parking areas in the phase two area.

TransformCo has selected engineering firm Kimley Horn, who expect to have a binding site plan application prepared for submittal prior to December 1, 2023. We request this Application be reviewed and approved independent of the binding site plan application, and, if necessary, a deadline for submitting the binding site plan application be included as a condition of approval.

PHASE 1

Per the Conceptual Landscape Plan (Sheet LS-01), in the first phase of improvements, concrete sidewalks are proposed from At Home's new east entrance extending southward. This new entrance will be enhanced for pedestrian safety. For example, expansive striping visually emphasizes pedestrian 'right of way' at the entrance and a new vehicle loading area will be separated from vehicle travel lanes by new striping and bollards per Section/Elevation A-A1 on Sheet LS-03.

A new concrete sidewalk to match existing sidewalks/crosswalks will physically separate pedestrians from vehicles as users exit At Home and walk east toward the parking lot. New planting islands with trees are also proposed within this area to visually break up and provide shade throughout the east parking area while preserving the existing purple-leaved plums and the large Douglas Fir. A new north-south concrete sidewalk will extend north toward the Phase 2 future development area and newly painted crosswalks will connect eastward to the existing parking area used for the retail sites along Sleater-Kinney Road, including Applebee's and Sleep Number. Concrete sidewalks on the At Home parcel will tie into existing sidewalks southward to adjacent retail sites including Verizon, Target, Kohl's, and more.

Along the northern edge of the building, new and improved concrete sidewalks are proposed with expanded planting areas at the north building façades (Section/Elevations B-B1 and C-C1 on Sheet LS-03) along the entire building edge and where the new addition is proposed. Plantings will include street trees along the drive lane and additional plantings to separate pedestrians from vehicles, to provide rhythm, better organizing the appearance of the lengthy north façade and creating a softer, more user-friendly pedestrian space.

Phase 1 work also includes sealing and striping of parking areas in Phase 2 Future Development Area.

PHASE 2

Per the Conceptual Landscape Plan (Sheet LS-01), in the second phase, existing parking will be reorganized and improved to support new future development and a protected painted pedestrian corridor extending east-west through the parking area will be constructed. New pedestrian connections across the north Future Development Areas will include concrete walks, raised concrete walks, new landscape islands, trees and enhanced intersections for pedestrian safety to tie into the Civic Plaza and Phase 1 improvements.

To the northeast, pedestrian connections are further separated from parking with new curbs, plantings, and bollards per Section/Elevation D-D1 on Sheet LS-03.

Bike racks will be provided (in phase 1) adjacent to the new At Home east entrance. In Phase 2, bike Trail Connections are proposed to extend off site to the north.

BEYOND THE SUBJECT AT HOME PARCEL

Additional bicycle connectivity is shown on the Surrounding Area Level Plan (Sheet LS-02) to the west. Painted sidewalks and concrete crosswalks provide bicyclists utilizing the Chehalis Western Trail a safer and more clear route to and through the entire site and the greater retail complex.

A new north-south pedestrian route is shown on the Surrounding Area Level Plan (Sheet LS-02) to better link the north and south portions of the existing retail complex. New plantings are indicated west of Rite Aid. Improved vehicular access (cutting through the existing Target and Kohl's lots and following the pedestrian route shown), is not shown on these plans but would also improve connectivity for motorists, bicyclists, and pedestrians alike.

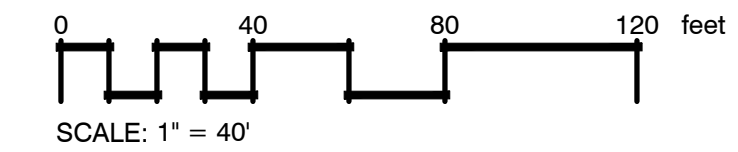
Additional connections and planting areas are suggested to give pedestrians safe access to and from PetSmart and Capital Professional Center.

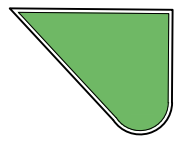




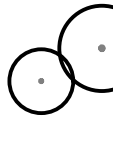

List of Submittals


1. General Land Use Application
2. Woodland District Development Supplemental Application
3. Application Narrative (Phasing)
4. Vicinity Plans and Conceptual Landscape Plans (Phasing)


Vicinity Plans and Conceptual Landscape Plans (Phasing)

CONCEPT GRAPHICS SCHEDULE




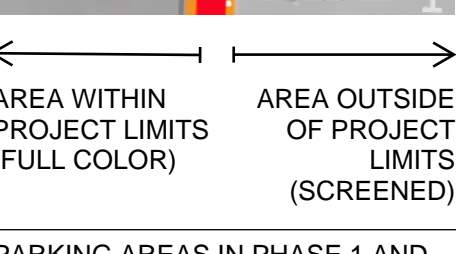
-  New Planting Area
 -  Proposed Sidewalk Adjacent to Building with Plantings
 -  Existing Concrete Sidewalk
 -  Proposed Concrete Sidewalk
 -  Proposed Concrete Crosswalk
 -  Proposed Painted Crosswalk
 -  Proposed Painted Sidewalk through Parking Area
 -  Enhanced Intersection for Pedestrian safety
 -  Proposed Parking Lot Shade Tree
 -  Existing Trees to Remain
 -  Parcel Boundary
 -  Future Trail Connection
 -  Bike Rack
 -  Phase 1 Line
 -  Phase 2 Line
- 

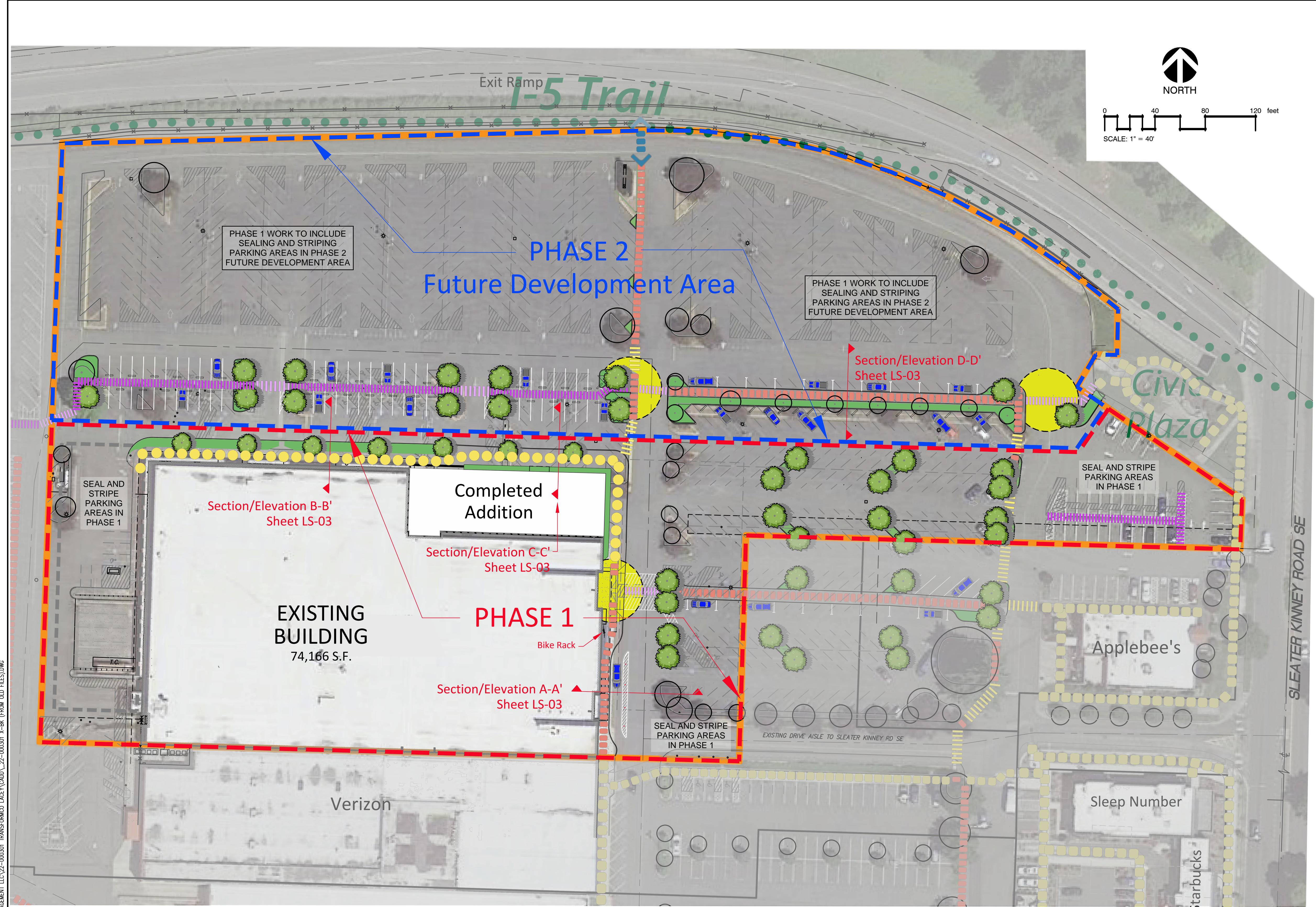






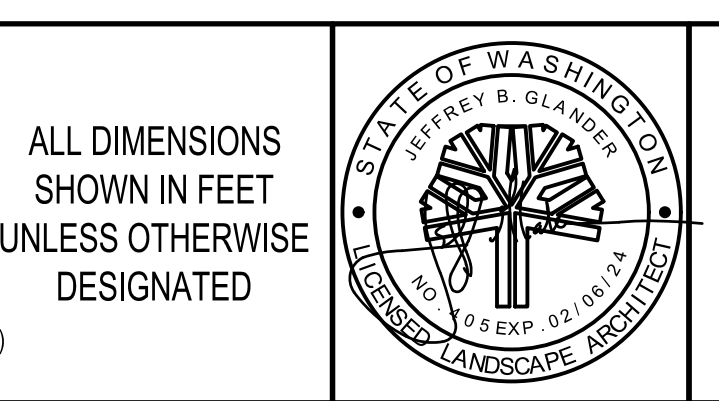

- AREA WITHIN PROJECT LIMITS (FULL COLOR) AREA OUTSIDE OF PROJECT LIMITS (SCREENED)

PARKING AREAS IN PHASE 1 AND PHASE 2 WORK AREAS SHALL BE SEALED AND STRIPED AS PART OF PHASE 1 WORK



REVISIONS	DATE	BY	DESIGNED BY:	ISSUE DATE:
			A. VOS	AUGUST 2023
			DRAWN BY:	JOB No.:
			A. VOS	22-000301
			APPROVED BY:	DRAWING FILE No.:
			J. GLANDER	_22-000301 X-BK (from old files)

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SCJ ALLIANCE
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516
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SCJALLIANCE.COM

PROJECT NAME:

CONNECTIVITY PLAN
TRANSFORMCO
LACEY, WASHINGTON

CONCEPTUAL LANDSCAPE PLAN

SUBJECT PARCEL LEVEL PLAN

DRAWING No.: LS-01

SHEET No.: 1 OF 3

Aug 17, 2023 11:28:44am - User: aml@scj.com
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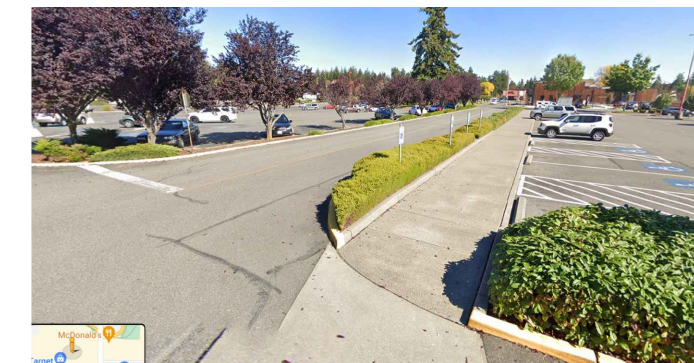
CONCEPT_GRAPHICS_SCHEDULE

- Existing Trees to Remain
- Proposed Parking Lot Shade Tree
- Parcel Boundary
- Phase 1 Line
- Phase 2 Line
- Future Trail Connection

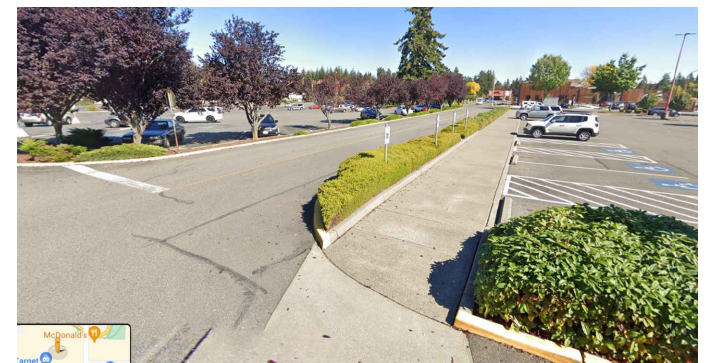
New Planting Area



Existing Concrete Sidewalk



Proposed Concrete Sidewalk with Protective Elements (to match existing)



Proposed Painted Pedestrian Crosswalk



Proposed Painted Sidewalk through Parking Area



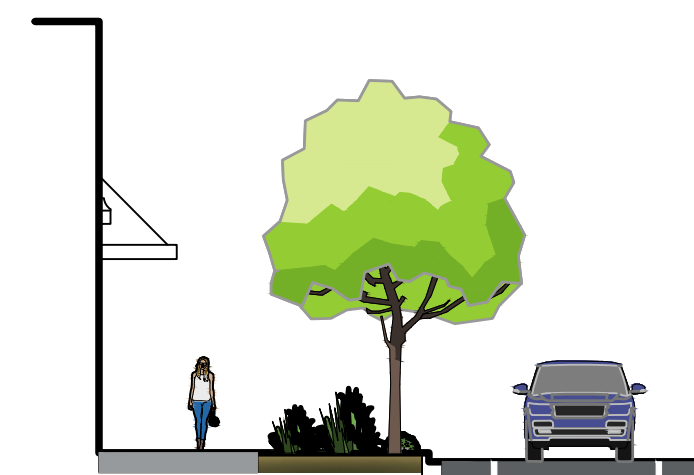
Existing Concrete Crosswalk



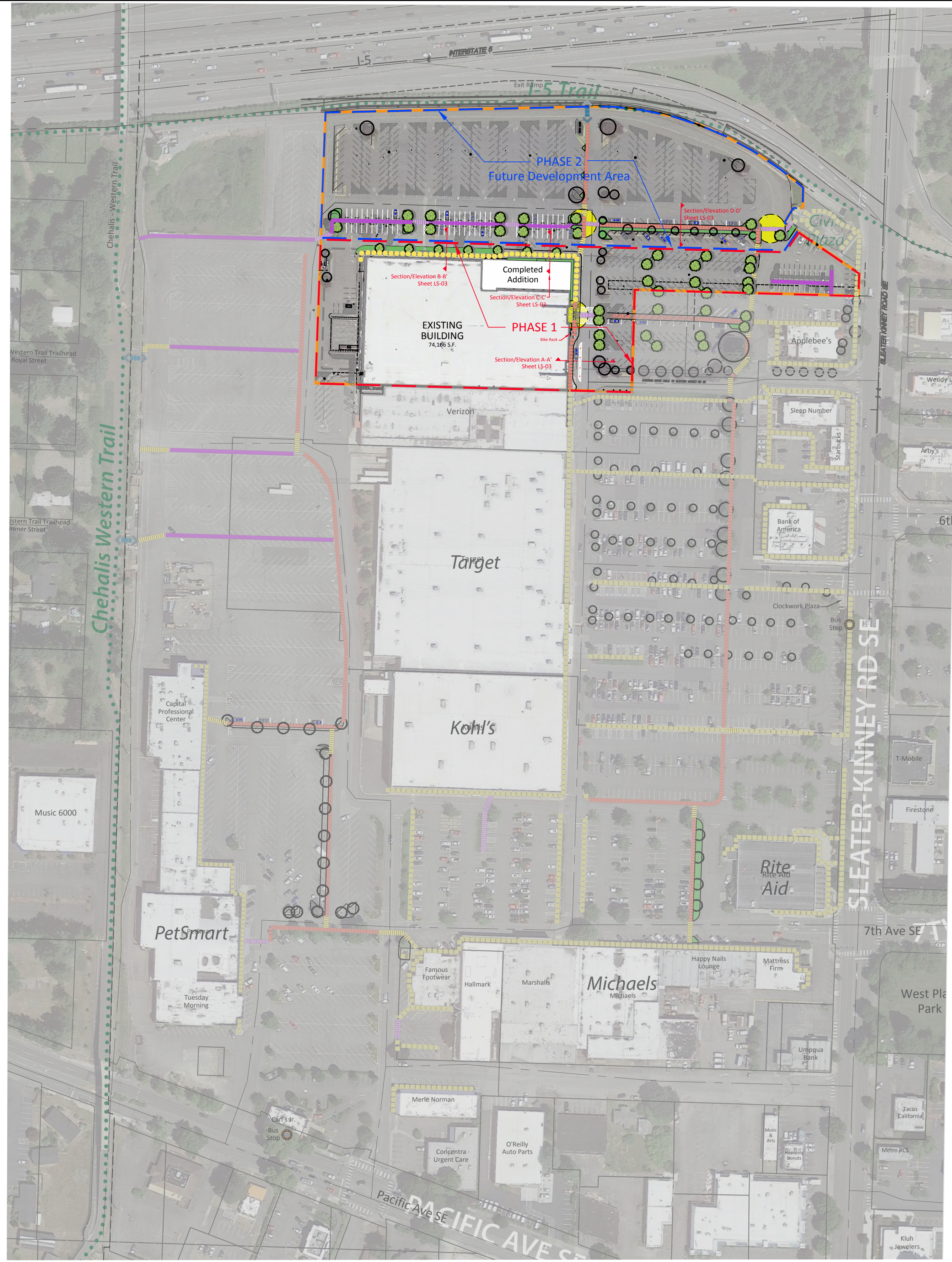
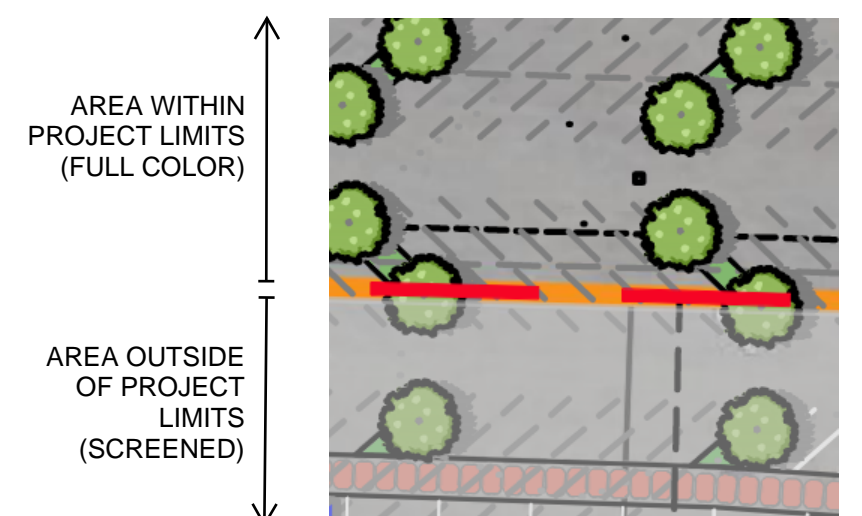
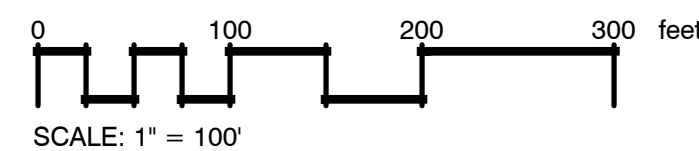
Proposed Concrete Crosswalk (to match existing)



Proposed Sidewalk Adjacent to Building with Plantings



Enhanced Intersection for Pedestrian Safety per Connectivity Plan



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REVISIONS	DATE	BY	DESIGNED BY:	ISSUE DATE:
			A. VOS	AUGUST 2023
			DRAWN BY:	JOB No.:
			A. VOS	22-000301
			APPROVED BY:	DRAWING FILE No.:
			J. GLANDER	_22-000301 X-BK (from old files)

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PROJECT NAME:

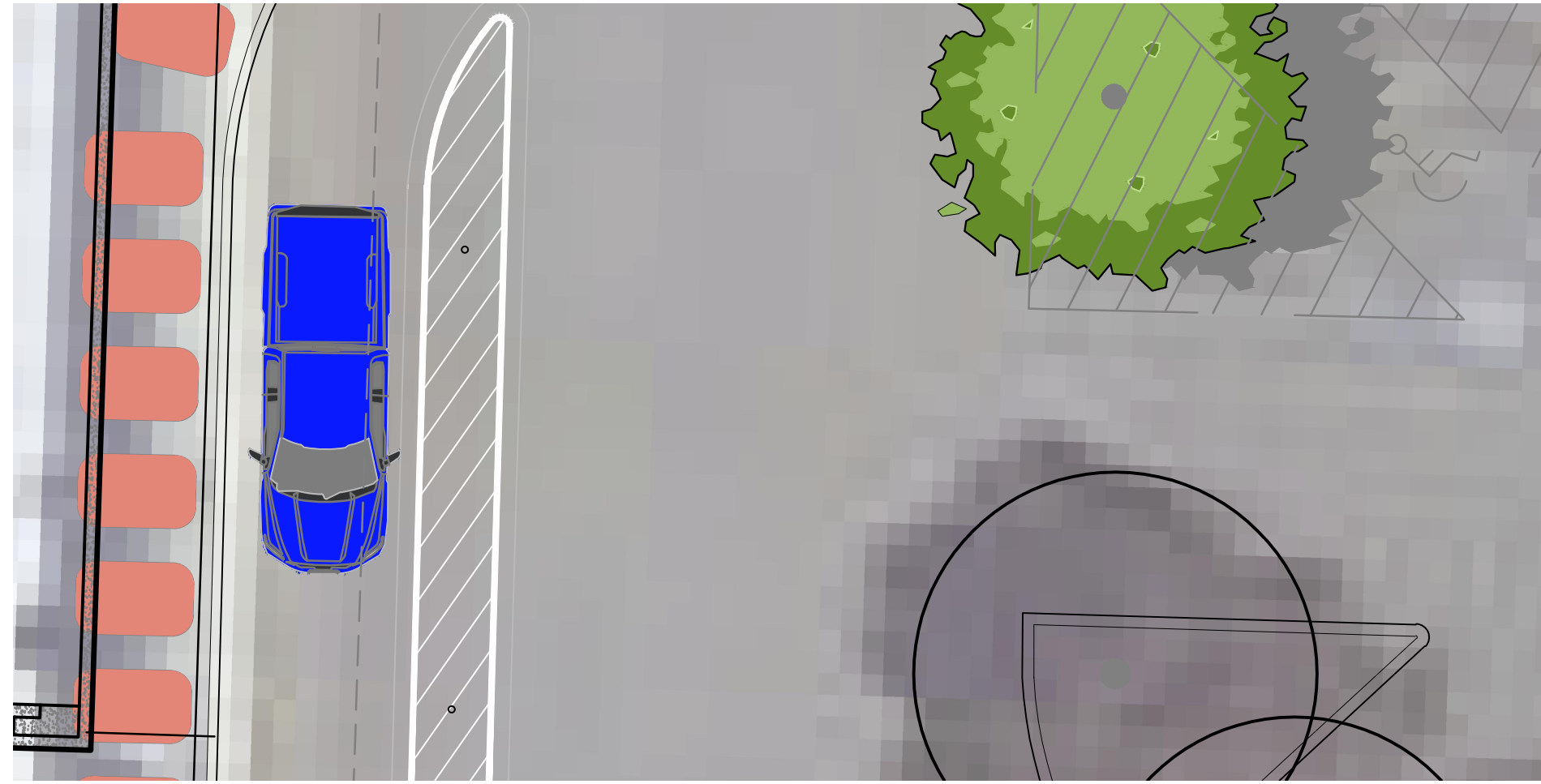
CONNECTIVITY PLAN
TRANSFORMCO
LACEY, WASHINGTON

CONCEPTUAL LANDSCAPE PLAN

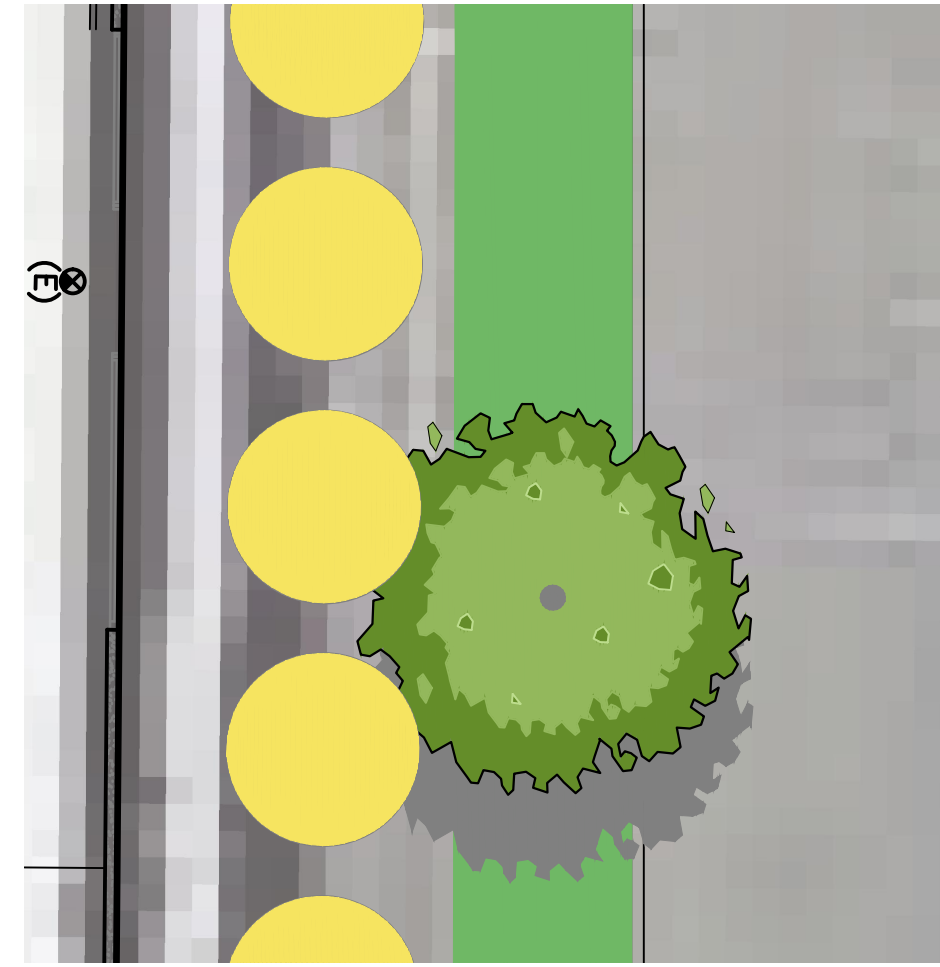
SURROUNDING AREA LEVEL PLAN

DRAWING No.: LS-02

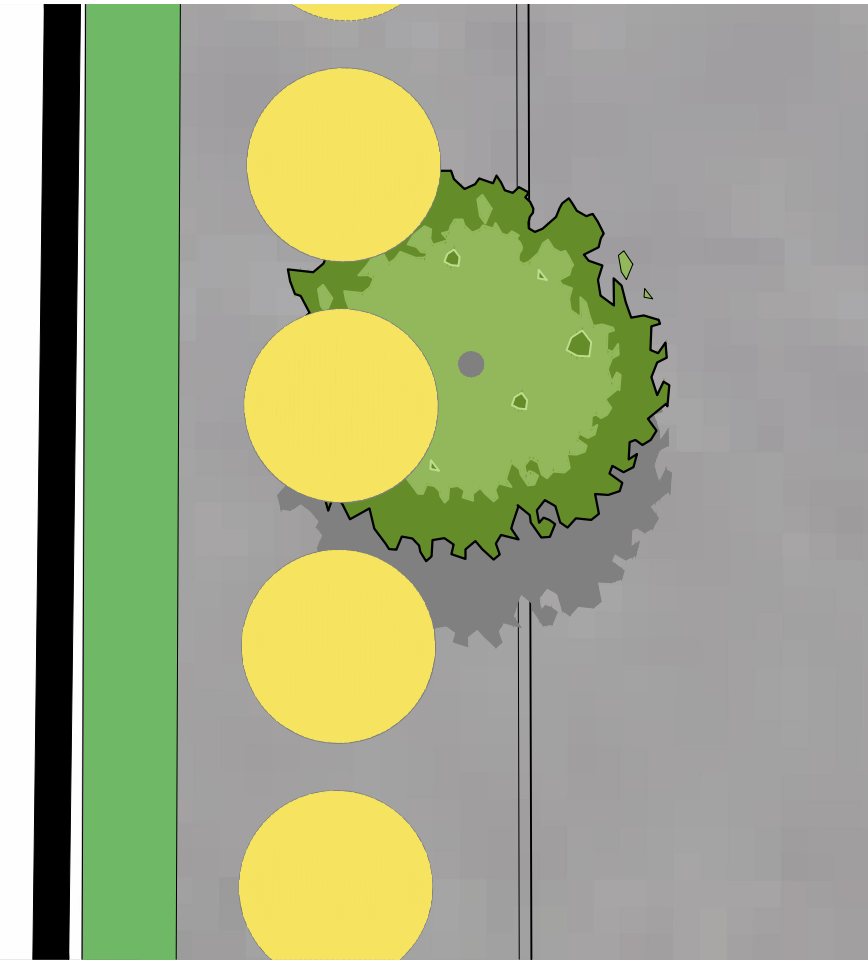
SHEET No.: 2 OF 3



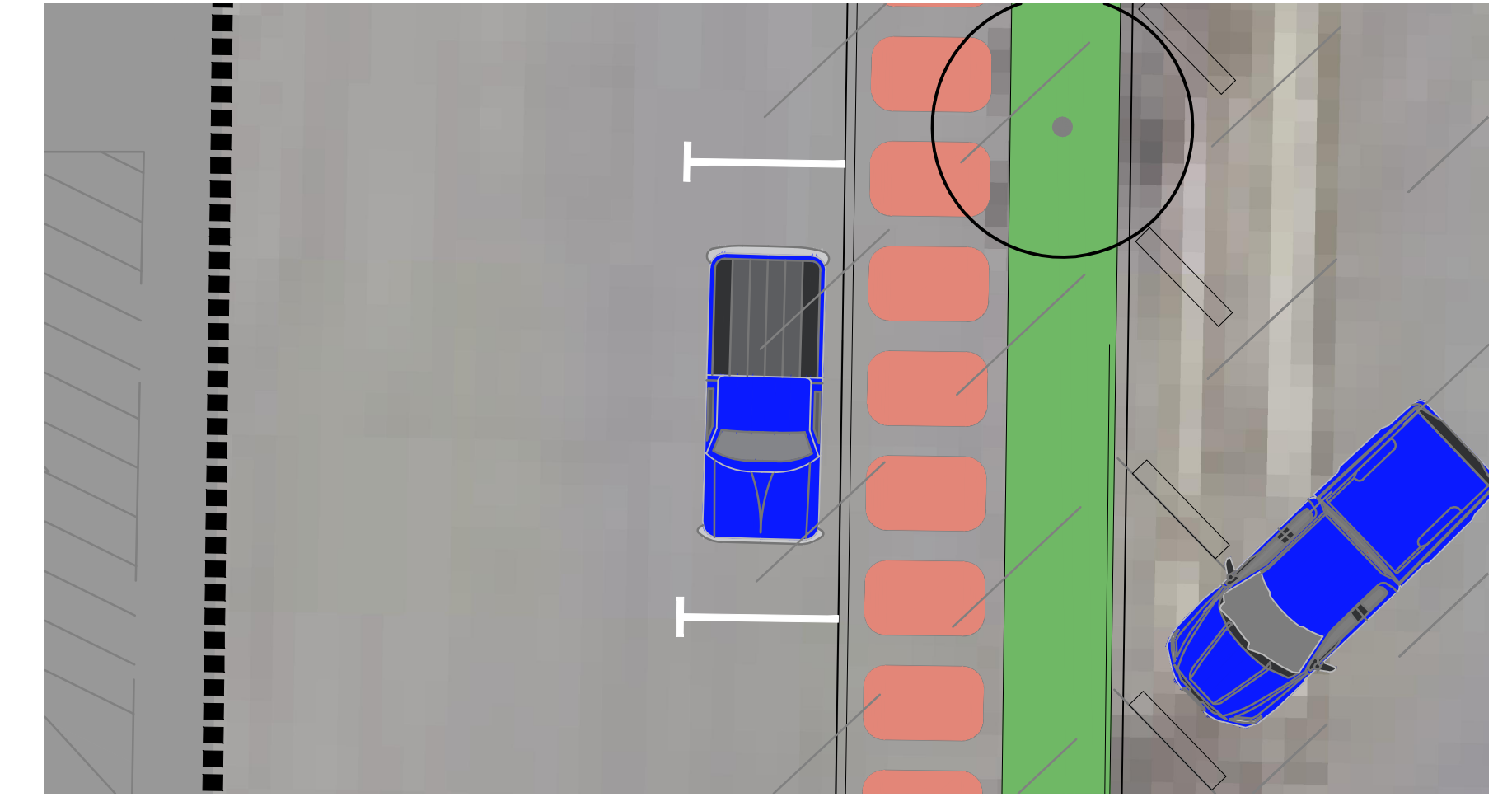
Plan View A-A': Proposed Sidewalk with Protective Elements at Loading Area



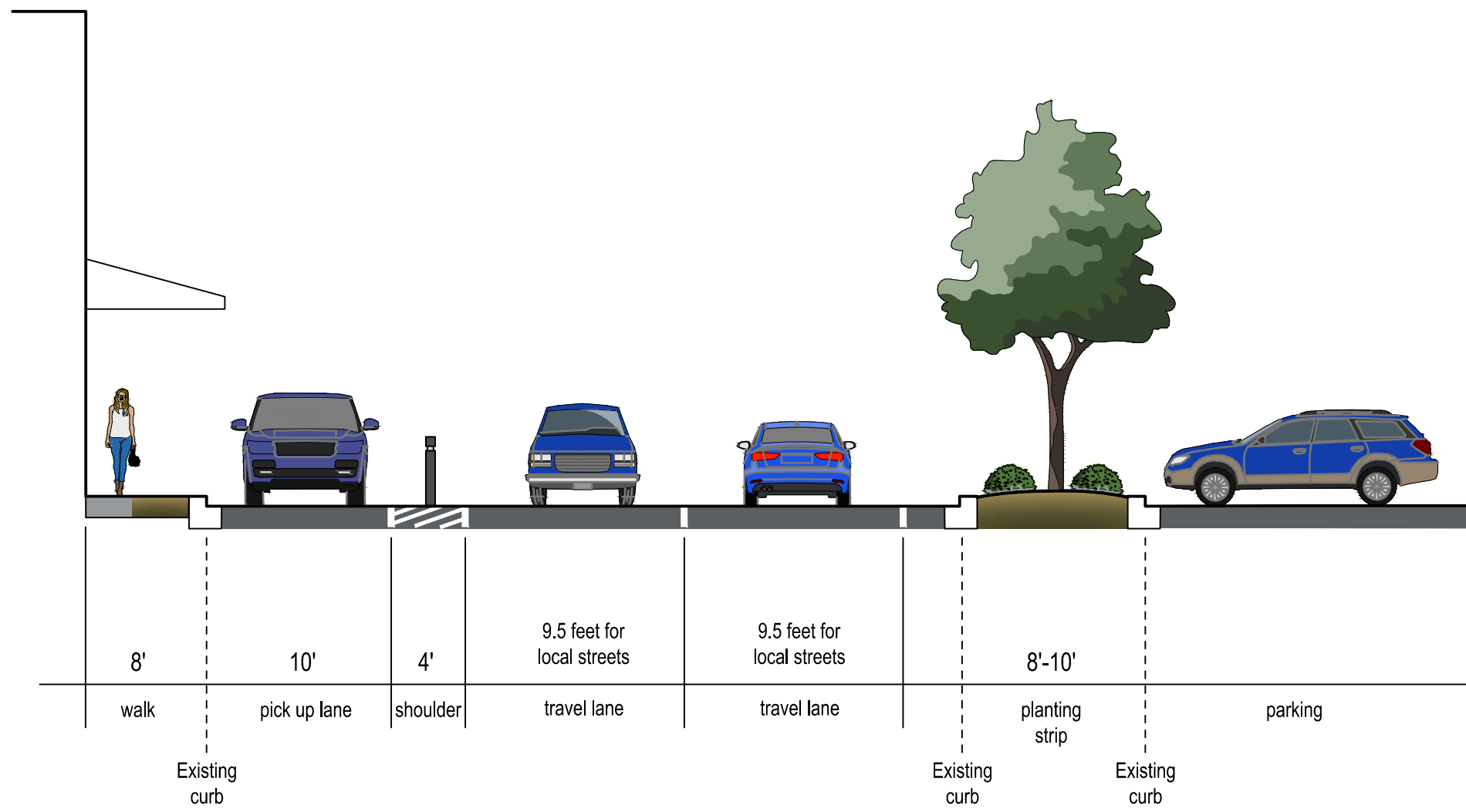
Plan View B-B': Sidewalk Adjacent to Building with Proposed Plantings



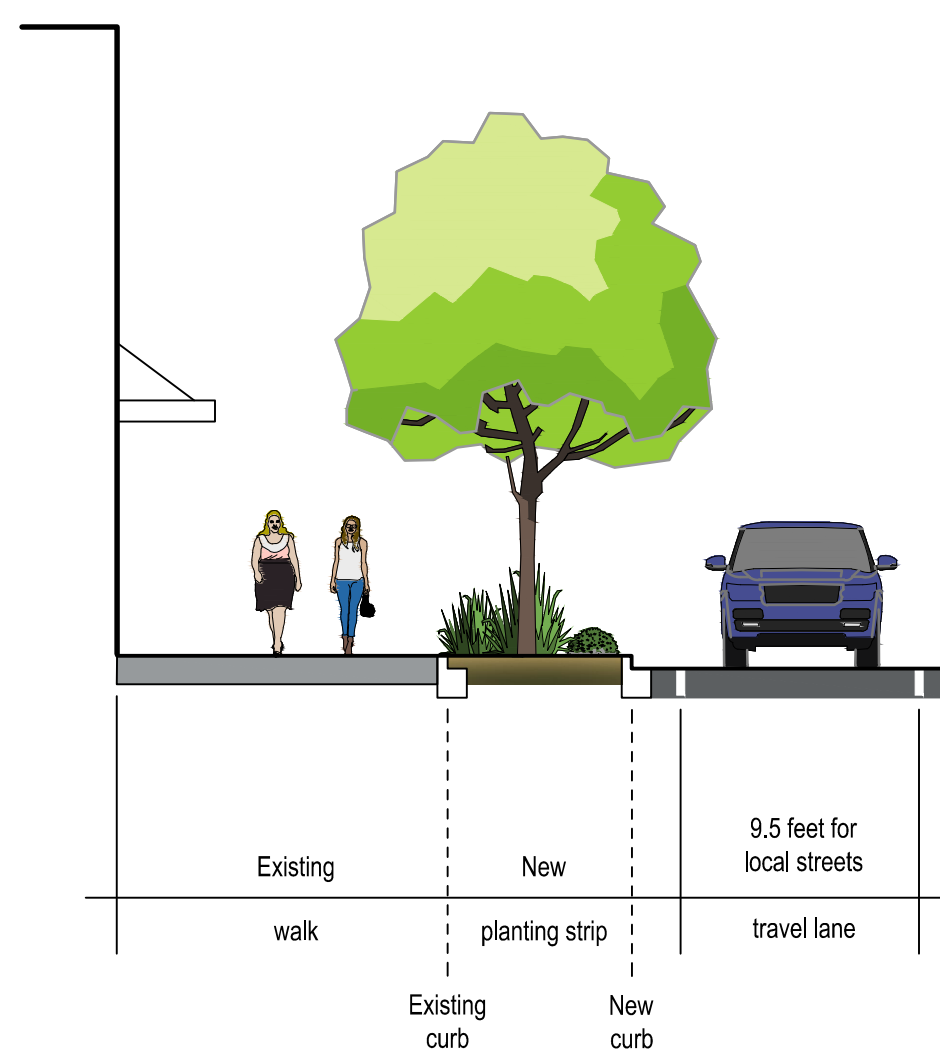
Plan View C-C': Sidewalk with Proposed Plantings Adjacent to Building



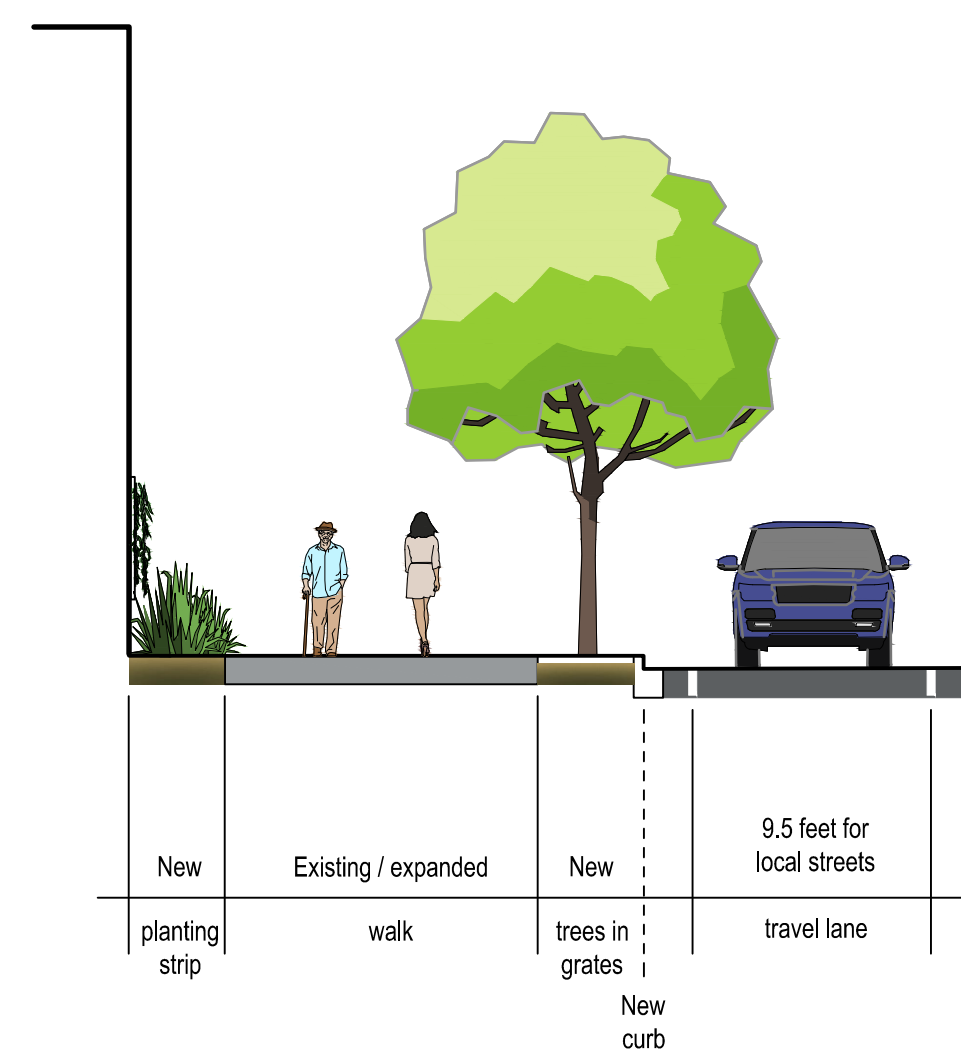
Plan View D-D': Proposed Sidewalk with Protective Elements and Parallel Parking



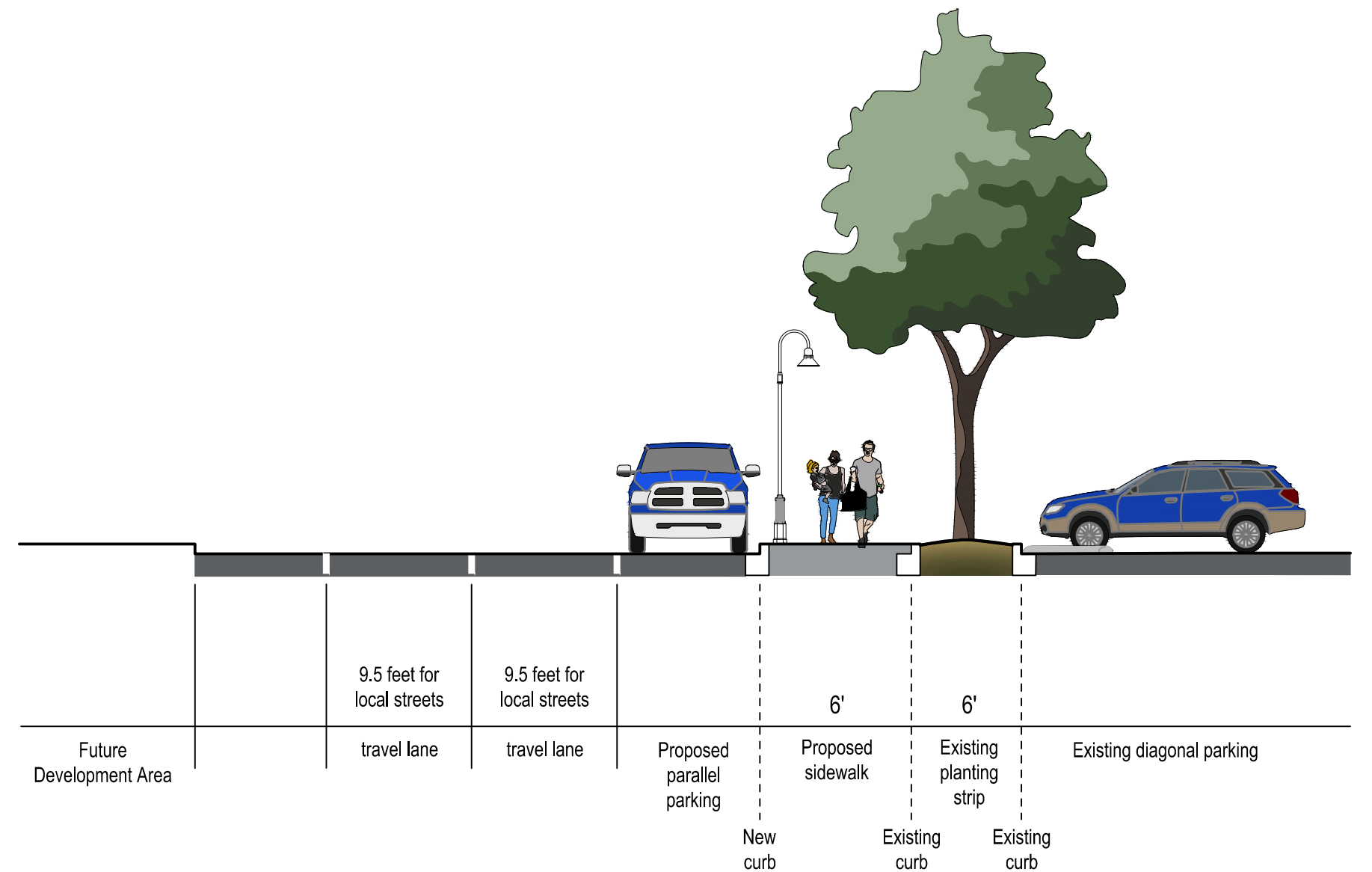
Section/Elevation A-A'



Section/Elevation B-B'



Section/Elevation C-C'

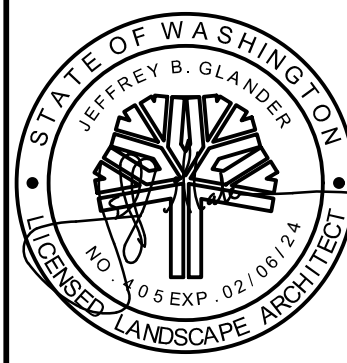


Section/Elevation D-D'

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REVISIONS	DATE	BY	DESIGNED BY:	ISSUE DATE:
			A. VOS	AUGUST 2023
			DRAWN BY:	JOB No.:
			A. VOS	22-000301
			APPROVED BY:	DRAWING FILE No.:
			J. GLANDER	_22-000301 X-Sect

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PROJECT NAME:
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DRAWING No.:
 LS-03
 SHEET No.:
 3 OF 3