



Community & Economic Development  
 420 College Street SE  
 Lacey, Washington 98503  
 (360) 491-5642

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## COMMUNITY DEVELOPMENT DEPARTMENT PRESUBMISSION CONFERENCE AGENDA

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- The following projects will be considered on **Wednesday, August 23<sup>rd</sup> 2023**
- **VIA VIDEO CONFERENCE – LINK WILL BE SENT PRIOR TO MEETING**
- SPR Team Meeting will be held on the Tuesday prior to presub meeting date

Meeting Time	Assigned Staff	Project Details
10:00	S. Seymour Planner  T. Stiles, Public Works	<b>Case #23-0234 – LeMay Addition</b> <b>Address/Parcel:</b> 8425 30 <sup>th</sup> Ave NE <b>Zoning:</b> Light Industrial <b>Description of Proposal:</b> Bldg Addition to existing shop with site work and utility rerouting.
11:00	R.Fant Planner  T. Stiles, Public Works	<b>Case #23-0238 – Future Duplex or Triplex on Lot with SFH</b> <b>Address/Parcel:</b> 5116 14 <sup>th</sup> Ave SE <b>Zoning:</b> Low Density <b>Description of Proposal:</b> Using separate lot that was already legal lot per original subdivision. Use for future duplex or triplex
1:00	R.Fant Planner  T. Stiles, Public Works	<b>Case #22-0213 – Follow-up on Multi-Family Possibilities</b> <b>Address/Parcel:</b> 4527 13 <sup>th</sup> Ave SE <b>Zoning:</b> Moderate D <b>Description of Proposal:</b> Follow-up to December 2022 meeting about possibilities of multi-family.



**CITY OF LACEY**  
Community Development Department  
420 College Street SE  
Lacey, WA 98503  
(360) 491-5642

**OFFICIAL USE ONLY**

CASE NUMBER:
RELATED CASE NUMBERS:
PLANNER ASSIGNED:
PW ASSIGNED:

***PRESUBMISSION CONFERENCE REQUEST FORM***

ONE WEEK PRIOR TO REQUESTED DATE, SUBMIT VIA EMAIL TO [PLANNING@CI.LACEY.WA.US](mailto:PLANNING@CI.LACEY.WA.US), OR TO LACEY CITY HALL. NO FEE IS REQUIRED.  
SUBMISSION SHOULD INCLUDE COMPLETED APPLICATION, SITE PLAN DRAWING, VICINITY MAP, AND TRAFFIC GENERATION WORKSHEET.

**APPLICANT:**

ADDRESS:	CITY:	STATE:	ZIP:
PHONE NUMBER:	EMAIL:		

**REPRESENTATIVE:**

ADDRESS:	CITY:	STATE:	ZIP:
PHONE NUMBER:	EMAIL:		

PROJECT ADDRESS:
ASSESSOR'S TAX PARCEL NUMBER(S):
BRIEF DESCRIPTION OF PROJECT:
TOTAL ACREAGE:                      TOTAL SQ. FT OF BLDG:                      ZONING:
PROPOSED LAND USE: ( ) SINGLE-FAMILY    ( ) MULTI-FAMILY    (X) INDUSTRIAL                      ( ) COMMERCIAL    ( ) M.H. PARK
EXISTING ACCESS:                      PROPOSED ACCESS:

INDICATE PREFERENCE FOR A MEETING DATE AND TIME:
(MEETINGS ARE HELD THE 2ND AND 4TH WEDNESDAY OF EACH MONTH)                      DATE:                      TIME:

A presubmission conference is an opportunity for the developer and/or their representative to meet with staff to discuss preliminary studies or sketches of the proposed project. At the conference, staff will make available, pertinent information relating to the proposed development. The intent is to identify and/or eliminate as many potential problems as possible in order for the project to be processed without delay. The conference should take place prior to detailed work by an engineer or surveyor; however, the site drawing submitted, should have sufficient information to allow for staff review. Discussion topics will include such things as Comprehensive Plan, Street Plan, Storm Run Off & Retention, Shoreline Master Program, Zoning, Availability of Water/Sewer, Development Concepts, other requirements and permits, and the environmental impact. If the applicant owns adjacent land, the possibilities of future development will be discussed. Written information regarding process, specific requirements & related issues, will be furnished at the meeting. Staff will typically visit the site prior to the meeting and may enter the property if deemed necessary to gain a full understanding of the project.



**City of Lacey**  
DEPARTMENT OF PUBLIC WORKS  
420 College Street S.E.  
Lacey, WA 98503-1238  
(360) 491-5600

**COMMERCIAL  
TRAFFIC  
GENERATION  
WORKSHEET**

Date: 08/16/2023

Project No.: 19873

Project Name: Lemay Pacific Disposal Shop Building Addition Parcel No.: 61360000200

Project Address: 8425 30th Ave NE, Lacey, WA 98516

Applicant's Name: George Duvendack Phone: (253) 282 - 5584

Applicant's Address: 2910 Hogum Bay Road, Lacey, WA 98516

**Existing Use**

Is there an existing use on the proposed project site:  Yes  No

Has the existing use been vacant for more than 18 months?  Yes  No

Will any of the existing buildings be demolished?  Yes  No

Please explain the current use, if any (type of business; business license number, if available; size in gross square feet; number of employees; hours of operation, etc.):

*Existing site is a waste and recycle business (UBI# 278-036-061).  
The existing 11,131 SF building is used as a shop and storage building.  
The project proposes a 3,535 SF addition to the existing building for three new truck bays.  
The site operates from 8:00am to 4:30pm from Monday through Friday.  
The existing parcel is 22.69 acres.  
There will not be an increase in the number of employees upon completion of this project,  
the three service bays in the expansion are being added to store vehicles that need to be  
worked on inside a building (under cover).*

**Proposed Use (Include Site Plan)**

Commercial projects can cover a wide variety of land uses, not all uses are covered in the Trip Generation Manual. A private traffic engineer may be required for exceptional proposals. Please provide as much information as possible, if applicable to your development:

Project	Site	Gross	Acres:	Number	of	Gas	Pumps /	Fueling	Positions:
<i>22.69 Acres</i>									<i>N/A</i>
Building	Size	Gross	Square	Feet:	Number	of	Drive-through		Windows:
<i>14,666 SF (11,131 SF - Existing, 3,535 SF Proposed)</i>									<i>N/A</i>
Number	of	of	Employees:	Number	of	Service			Bays:
<i>No Change</i>									<i>3</i>
Number	of	Parking	Stalls:	Number	of	Car	Wash		Stalls:
<i>No Change</i>									<i>N/A</i>
Number of Students / Children: <u><i>N/A</i></u>				Number of Seats (Theaters, etc.): <u><i>N/A</i></u>					
Number of Rooms (Hotels, etc.): <u><i>N/A</i></u>				Number of Courts / Fields / Tees: <u><i>N/A</i></u>					

Please explain the proposed use (type of business and all other information not provided above that you feel is relevant in determining traffic generation):

*Building addition of 3,535 SF to an existing shop building (11,131 SF), renovation of restrooms inside existing building, site work and utility re-routing (only as necessary to accommodate proposed building addition).*

I declare that I have completed this form and to the best of my knowledge and belief the above information is true and correct. I understand the City is relying on this information to accurately determine the traffic impacts from my development.

Signature *Davis Fuller*

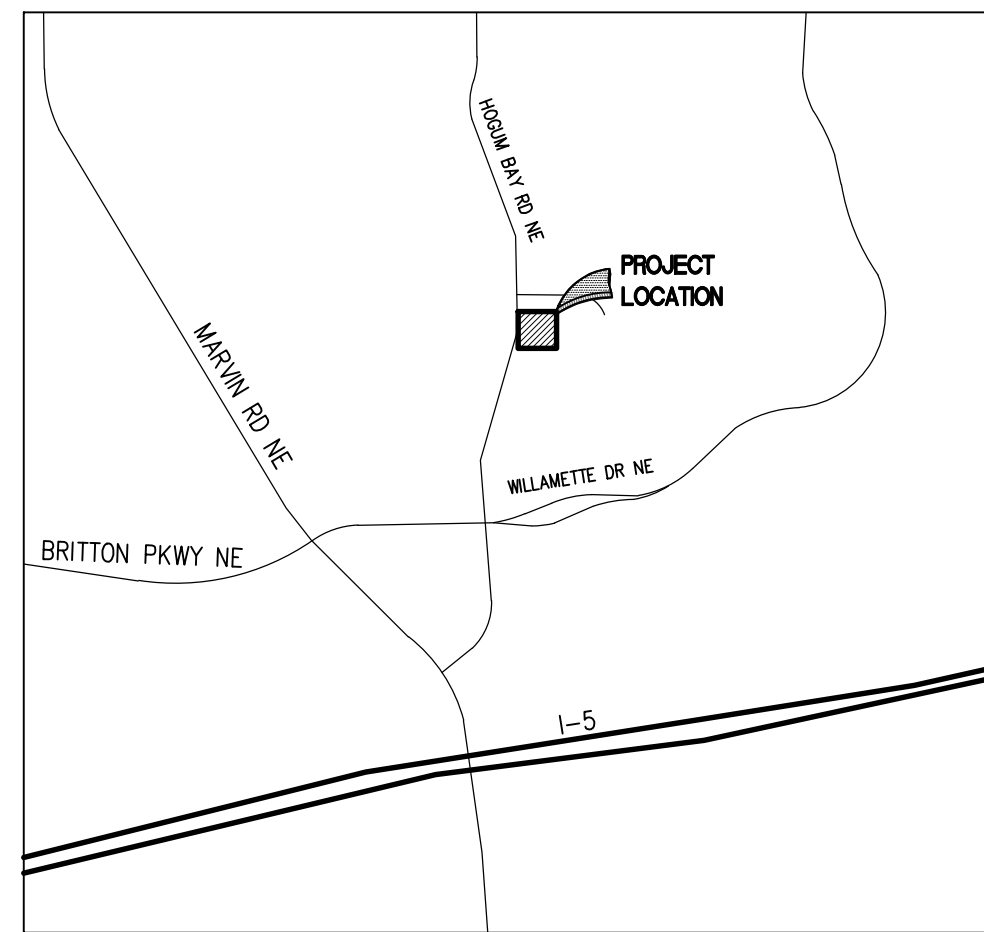
Date: 08/16/2023

For Official Use Only:						
HTE	Number:	Approved	for	Traffic	Division	By:
Development	Reviewer:	Planner:	_____			
Land	Use	Code:	Discounts	Applied:		
Total PM Peak Hour Trips: _____			New PM Peak Hour Trips: _____			
Comments: _____						
Calculated by: _____						



A PORTION OF THE NE 1/4 OF THE SE 1/4, AND THE NORTH 1/2 OF THE SE 1/4, OF THE SE 1/4 OF SECTION 2, TOWNSHIP 18 NORTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, THURSTON COUNTY, WASHINGTON

VICINITY MAP:



# LEMAY PACIFIC DISPOSAL SHOP BUILDING ADDITION

2910 HOGUM BAY ROAD  
LACEY, WA 98516

**PROJECT INFORMATION**

SITE ADDRESS 2910 HOGUM BAY RD NE, LACEY, WASHINGTON 98516  
 PARCEL NUMBER 6136000200  
 ZONING LIGHT INDUSTRIAL (LI)  
 SCOPE OF WORK SHOP BUILDING ADDITION FOR VANCOUVER HAULING COMPANY OPERATION FACILITY  
 IMPERVIOUS SURFACE  
 NEW AND REPLACED HARD SURFACES  
 ROOF 3,525 SF  
 ASPHALT 7,108 SF  
 TOTAL 10,633 SF

PREPARED FOR:

## LEMAY PACIFIC DISPOSAL A DIVISION OF WASTE CONNECTIONS, INC.

2910 HOGUM BAY ROAD  
LACEY, WA 98516

CONTACT: GEORGE DU VENDACK, (253) 282-5584

PREPARED BY:



CIVIL | STRUCTURAL | ARCHITECTURAL | SURVEYING

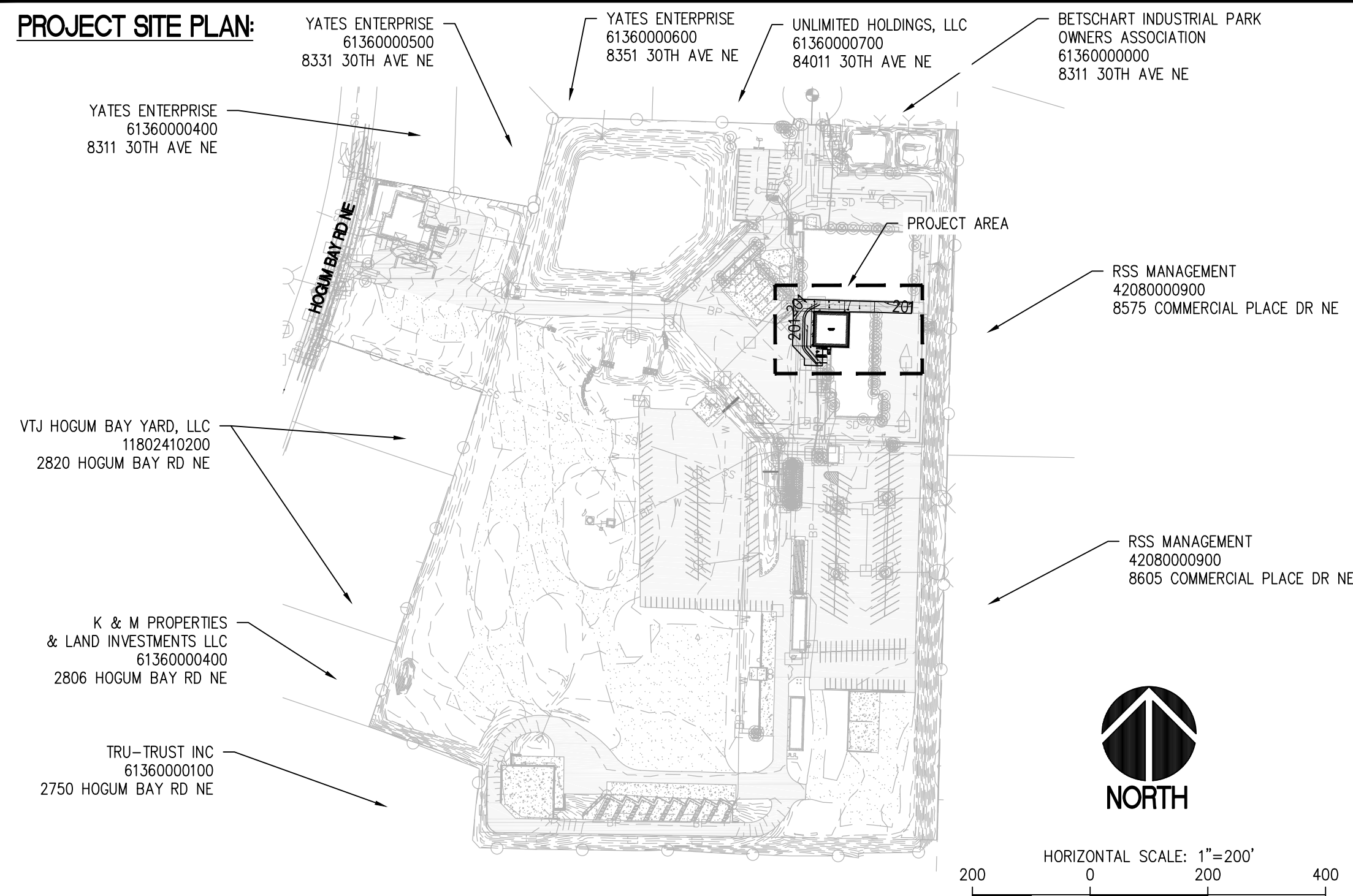
4815 CENTER STREET | TACOMA, WA. 98409

PHONE: (253) 474-9449 | FAX: (253) 474-0153

<http://www.sittshill.com/>

CONTACT: DAVID FILLMORE, P.E

**PROJECT SITE PLAN:**



HORIZONTAL SCALE: 1"=200'  
200 0 200 400

**CITY OF LACEY GENERAL CONSTRUCTION NOTES ALL PUBLIC WORKS IMPROVEMENTS**

2017 CITY OF LACEY DEVELOPMENT GUIDELINES AND PUBLIC WORKS STANDARDS

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF LACEY STANDARDS AND THE MOST CURRENT EDITION OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (WSDOT/APWA). IN CASES OF CONFLICT, THE MOST STRINGENT STANDARD SHALL APPLY.
2. THE CONTRACTOR SHALL BE IN COMPLIANCE WITH ALL SAFETY STANDARDS AND REQUIREMENTS AS SET FORTH BY OSHA, MSHA AND THE STATE OF WASHINGTON, DEPARTMENT OF LABOR AND INDUSTRIES.
3. ALL APPROVALS AND PERMITS REQUIRED BY THE CITY OF LACEY SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
4. IF CONSTRUCTION IS TO TAKE PLACE IN THE COUNTY RIGHT-OF-WAY, THE CONTRACTOR SHALL NOTIFY THE COUNTY AND OBTAIN ALL THE REQUIRED APPROVALS AND PERMITS.
5. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF LACEY CONSTRUCTION INSPECTOR A MINIMUM 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
6. THE CITY OF LACEY CONSTRUCTION INSPECTOR SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF A TAP CONNECTION TO AN EXISTING MAIN. THE INSPECTOR SHALL BE PRESENT AT THE TIME OF THE TAP.
7. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 NOT LESS THAN TWO BUSINESS DAYS AND NOT MORE THAN 10 BUSINESS DAYS PRIOR TO ANY EXCAVATION. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR MAINTAINING ALL LOCATE MARKS ONCE THE UTILITIES HAVE BEEN LOCATED.
8. TEMPORARY STREET PATCHING SHALL BE ALLOWED FOR AS APPROVED BY THE CITY ENGINEER. TEMPORARY STREET PATCHING SHALL BE PROVIDED BY PLACEMENT AND COMPACTION OF 1 INCH MAXIMUM ASPHALT CONCRETE COLD MIX. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AS REQUIRED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE WSDOT/APWA STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (ALL APPLICABLE "K" PLANS) AND/OR THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). PRIOR TO DISRUPTION OF ANY TRAFFIC, A TRAFFIC CONTROL PLAN SHALL BE PREPARED AND SUBMITTED TO THE CITY FOR APPROVAL. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
10. EROSION CONTROL/WATER POLLUTION MEASURES SHALL BE REQUIRED IN ACCORDANCE WITH SECTION 1-07.15 OF THE WSDOT/APWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND THE CITY OF LACEY STORMWATER DESIGN MANUAL. AT NO TIME WILL SILTS AND DEBRIS BE ALLOWED TO DRAIN INTO AN EXISTING OR NEWLY INSTALLED FACILITY UNLESS SPECIAL PROVISIONS HAVE BEEN DESIGNED.
11. ALL SURVEYING AND STAKING SHALL BE PERFORMED PER THE CORRESPONDING CHAPTER OF THE CITY OF LACEY DEVELOPMENT GUIDELINES AND PUBLIC WORKS STANDARDS.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A COPY OF AN APPROVED SET OF PLANS ON THE CONSTRUCTION SITE AT ALL TIMES.
13. ANY CHANGES TO THE DESIGN SHALL FIRST BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER AND THE CITY OF LACEY.
14. IF CONSTRUCTION IS TO TAKE PLACE IN OTHER JURISDICTION'S RIGHT-OF-WAY (I.E., THE COUNTY, THE STATE, THE CITY OF OLYMPIA, OR OTHER ADJACENT MUNICIPALITIES), THE CONTRACTOR SHALL NOTIFY THE JURISDICTION AND OBTAIN ALL THE REQUIRED APPROVALS AND PERMITS.
15. PRIOR TO BACKFILL ALL MAINS AND APPURTENANCES SHALL BE INSPECTED AND APPROVED BY THE CITY OF LACEY CONSTRUCTION INSPECTOR. APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FOR CORRECTION OF ANY DEFICIENCIES AND/OR FAILURES AS DETERMINED BY SUBSEQUENT TESTING AND INSPECTIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CITY OF LACEY FOR THE REQUIRED INSPECTIONS.
16. THE CITY WILL BE GIVEN 72 HOURS NOTICE PRIOR TO SCHEDULING A SHUTDOWN, WHERE CONNECTIONS REQUIRE "FIELD VERIFICATION", CONNECTION POINTS SHALL BE EXPOSED BY THE CONTRACTOR AND FITTINGS VERIFIED 72 HOURS PRIOR TO DISTRIBUTING SHUT-DOWN NOTICES.

**INDEX OF DRAWINGS:**

T0.00	1 OF 11	COVER SHEET
C0.01	2 OF 11	CITY OF LACEY STANDARD NOTES
C0.02	3 OF 11	PROJECT NOTES
SV1.0	4 OF 11	TOPOGRAPHIC SURVEY
C1.00	5 OF 11	SITE DEMOLITION AND T.E.S.C. PLAN
C2.00	6 OF 11	SITE SURFACING PLAN
C3.00	7 OF 11	SITE GRADING AND DRAINAGE PLAN
C4.00	8 OF 11	SITE UTILITY PLAN
C5.00	9 OF 11	PROJECT DETAILS
C5.01	10 OF 11	CITY OF LACEY STANDARD DETAILS
C5.02	11 OF 11	WSDOT DETAILS



REVISIONS

DESIGNED	S.A.J.	DATE	07/13/2023
DRAWN	S.A.J.	CHECKED	D.D.F.
SCALE	AS NOTED		



**sitts & hill**  
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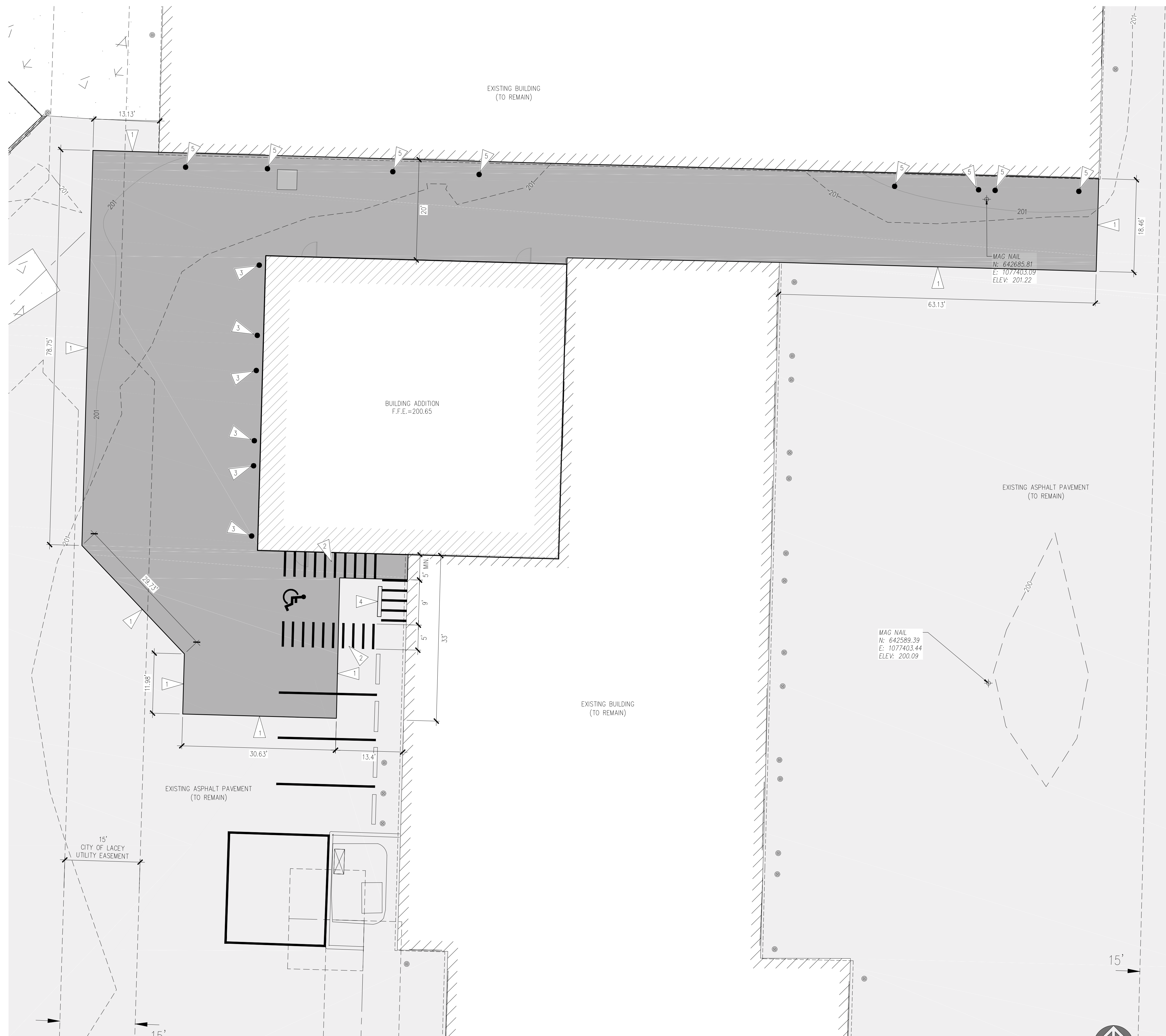
**LEMAY PACIFIC DISPOSAL**  
 P.O. BOX 61726  
 VANCOUVER, WA 98666

**LEMAY PACIFIC DISPOSAL SHOP BUILDING ADDITION**  
 2910 HOGUM BAY RD, LACEY, WA 98516  
 SHEET NO. **COVER SHEET**

**C0.01**  
 PROJECT NO. **19,873**

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**LEGEND**

- PROPOSED FEATURES:**
- BUILDING ADDITION
  - ASPHALT PAVEMENT (B1/C5.00)
  - BOLLARDS
  - PAINT STRIPING
  - ADA PARKING SYMBOL
  - WHEEL STOP

**GENERAL NOTES**

1. SEE SHEET C0.01 & C0.02 FOR APPLICABLE PROJECT NOTE REQUIREMENTS.
2. THE CONTRACTOR SHALL USE HORIZONTAL AND VERTICAL DATUMS AS OUTLINED SHEET SV1.00
3. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES AFFECTING THE NEW CONSTRUCTION.
4. THE BURIED UTILITIES ON THIS PROJECT ARE SHOWN IN THEIR APPROXIMATE LOCATION WHERE KNOWN BASED ON FIELD SURVEY AS-BUILT PERFORMED BY SITTS & HILL ENGINEERS, INC. OTHER EXISTING BURIED UTILITIES MAY NOT BE SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE THEIR LOCATION MARKED ON THE GROUND PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL PROTECT, OR IMMEDIATELY REPAIR, ANY DAMAGED UTILITY "DISCOVERED" ON THIS PROJECT WITHOUT ADDITIONAL COSTS.
5. THE CONTRACTOR SHALL SET FRAMES AS NECESSARY TO MATCH CROSS SLOPE OF THE FINISH GRADE.
6. ALL RADI DIMENSIONS ARE TO FACE OF CURB, WALL, FLOWLINE OR FACE OF SIDEWALK, UNLESS OTHERWISE NOTED.
7. ALL PAVEMENT MARKINGS SHALL BE PAINT APPLIED IN TWO (2) APPLICATIONS. THE TIME PERIOD BETWEEN APPLICATIONS SHALL BE IN ACCORDANCE WITH WSDOT SPECIFICATION SECTION 8-22.3. PAINT SHALL BE TOP-COATED WITH GLASS BEADS PER WSDOT SPECIFICATION SECTION 8-22.3(5)G. PARKING STALL PAINT STRIPING SHALL BE 4" WIDE WHITE PAINT.
8. SEE ARCHITECTURAL PLANS FOR SITE SIGNAGE, STEM WALLS, FURNISHING AND LAYOUT DIMENSIONS NOT SHOWN ON THESE PLANS.
9. WHERE CONFLICTS OCCUR BETWEEN PLACEMENT OF NEW FACILITIES, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BY THE CONTRACTOR, AND WILL RESOLVE BY THE ENGINEER.

**CITY OF LACEY GENERAL NOTES STREET CONSTRUCTION**

2017 CITY OF LACEY DEVELOPMENT GUIDELINES AND PUBLIC WORKS STANDARDS

1. SEE APPROPRIATE DETAIL FOR SPECIFICATIONS FOR JOINING NEW AND EXISTING ASPHALT.
2. COMPACTION OF SUBGRADE, ROCK, AND ASPHALT SHALL BE IN ACCORDANCE WITH THE MOST CURRENT ADOPTED VERSION OF THE WSDOT/APWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION.
3. FORM AND SUBGRADE INSPECTION BY THE CITY IS REQUIRED BEFORE POURING CONCRETE. (SEE WSDOT/APWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION 8-14.3 (1) THROUGH (4)). TWENTY-FOUR HOURS NOTICE IS REQUIRED FOR FORM INSPECTION.
4. SEE CITY OF LACEY DEVELOPMENT GUIDELINES AND PUBLIC WORKS STANDARDS, CHAPTER 4B.200, FOR TESTING AND SAMPLING FREQUENCIES.
5. THE CITY MANUFACTURES AND INSTALLS PUBLIC AND PRIVATE STREET NAME SIGNS, AND REGULATORY SIGNS AT THE CONTRACTOR'S/DEVELOPER'S EXPENSE. OTHER SIGNS THAT SHALL BE MANUFACTURED AND INSTALLED BY THE CITY AND PAID FOR BY THE CONTRACTOR/DEVELOPER'S WILL INCLUDE SIGNS FOR WELL SITES, TANK SITES, LIFT STATIONS, ODOR CONTROL STATIONS, MAINTENANCE AND/OR FIRE ACCESS THROUGH AN EASEMENT. (SEE 4B.050). SIGNS SHALL BE REQUESTED AT THE TIME STREET CONSTRUCTION BEGINS.
6. MATERIAL USED FOR ALL PLASTIC STOP LINES, PLASTIC CROSSWALK LINES, PLASTIC TRAFFIC ARROWS, PLASTIC TRAFFIC LETTERS, PLASTIC LEGENDS, AND PLASTIC SYMBOLS SHALL BE TYPE B -PRE-FORMED FUSED THERMOPLASTIC AT 120 MIL THICKNESS.

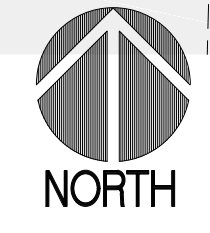
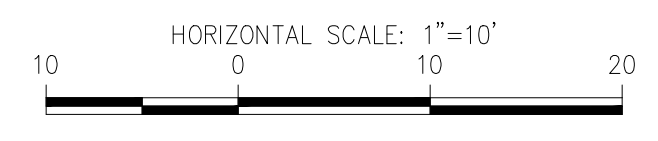
REVISED: 03/2014

**KEYNOTES**

- 1 PAVEMENT JOINT SECTION PER DETAIL B2/C5.00.
- 2 PAVEMENT MARKING PER DETAIL B2/C5.01
- 3 BOLLARDS PER DETAIL B3/C5.00.
- 4 RE-INSTALL SALVAGED WHEELSTOP
- 5 RE-INSTALL SALVAGED BOLLARDS

**SITE SURFACING PLAN**

SCALE: 1"=10'



REVISIONS  
PERMIT SUBMITTAL  
07/13/2023

DESIGNED	S.A.J.
DRAWN	S.A.J.
CHECKED	D.D.F.
DATE	07/13/2023
SCALE	AS NOTED



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**LEMAY PACIFIC DISPOSAL**  
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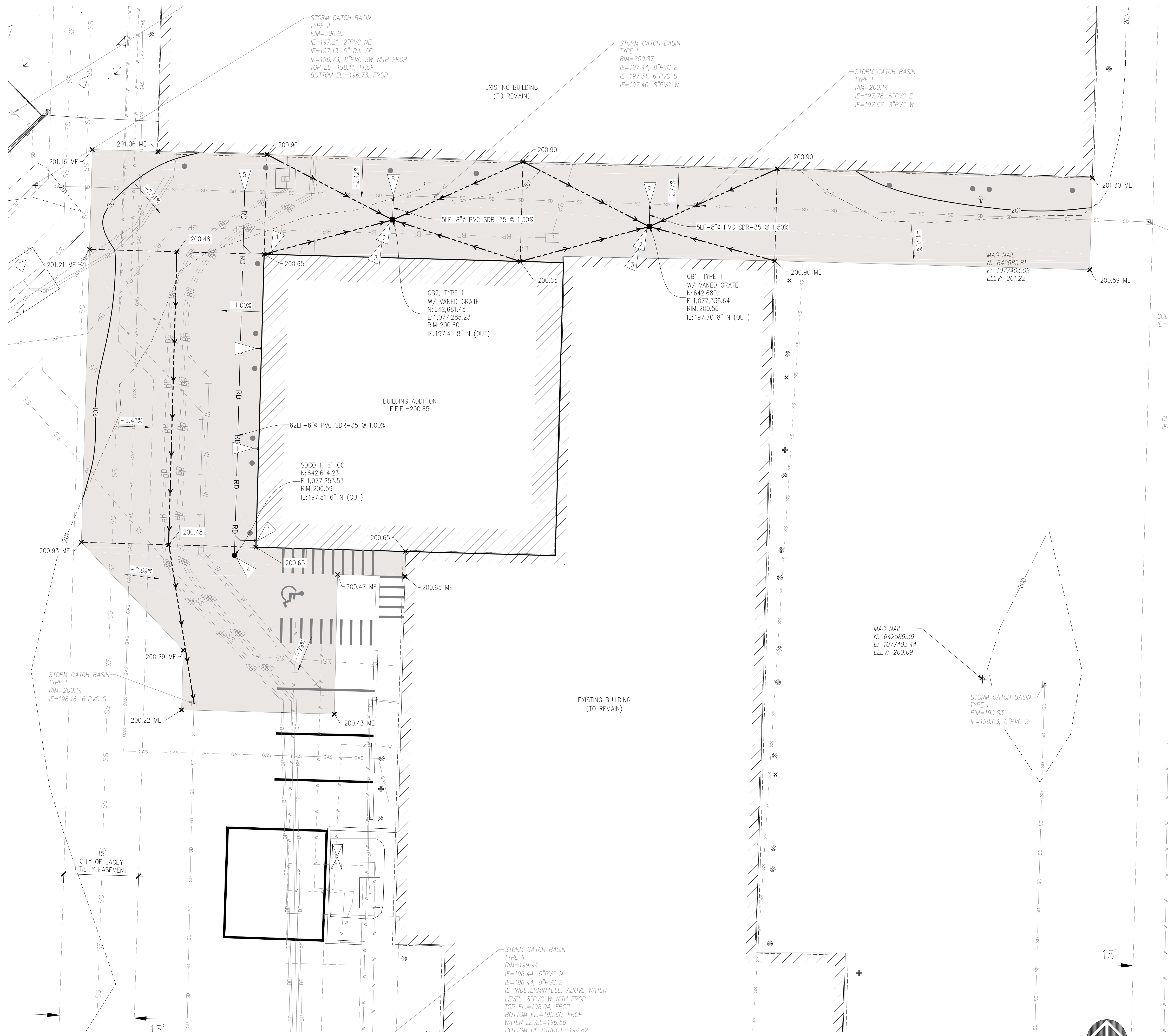
**LEMAY PACIFIC DISPOSAL SHOP BUILDING ADDITION**  
 2910 HOGUM BAY RD, LACEY, WA 98516  
 SHEET NO. **C2.00**  
**SITE SURFACING PLAN**

PROJECT NO. **19,873**

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A PORTION OF THE NE 1/4 OF THE SE 1/4, AND THE NORTH 1/2 OF THE SE 1/4, OF THE SE 1/4 OF SECTION 2, TOWNSHIP 18 NORTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, THURSTON COUNTY, WASHINGTON



**LEGEND**

**PROPOSED FEATURES:**

- SD STORM DRAIN PIPE
- RD ROOF DRAIN PIPE
- GRADE BREAK
- - - FLOW LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- TYPE 1 CATCH BASIN
- ROOF DRAIN CLEAN OUT
- DOWNSPOUT
- ME MATCH EXISTING

**GENERAL NOTES**

1. SEE SHEET C0.02 FOR APPLICABLE PROJECT NOTE REQUIREMENTS.
2. THE CONTRACTOR SHALL USE HORIZONTAL AND VERTICAL DATUMS AS OUTLINED SHEET SVD.01.
3. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES AFFECTING THE NEW CONSTRUCTION.
4. THE BURIED UTILITIES ON THIS PROJECT ARE SHOWN IN THEIR APPROXIMATE LOCATION WHERE KNOWN BASED ON FIELD SURVEY AS-BUILT PERFORMED BY SITTS & HILL ENGINEERS, INC. OTHER EXISTING BURIED UTILITIES MAY NOT BE SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE THEIR LOCATION MARKED ON THE GROUND PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL PROTECT, OR IMMEDIATELY REPAIR, ANY DAMAGED UTILITY "DISCOVERED" ON THIS PROJECT WITHOUT ADDITIONAL COSTS.
5. CONTRACTOR AND/OR SURVEYOR SHALL CALCULATE PIPE SLOPES BASED ON THE INVERT ELEVATIONS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO FIELD STAKING AND CONSTRUCTION.
6. CONTRACTOR TO FIELD VERIFY HORIZONTAL LOCATION OF CATCH BASIN STRUCTURES WITH RESPECT TO CURBING/CONCRETE PADS PRIOR TO CATCH BASIN PLACEMENT. STAKING OF PARTIAL CURBS/PADS AT TIME OF CATCH BASIN STAKING COULD BE NECESSARY. THE CONTRACTOR SHALL SET FRAMES AS NECESSARY TO MATCH CROSS SLOPE OF THE FINISH GRADE.
7. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR MAINTAINING ALL STORM SYSTEMS (EXISTING AND PROPOSED) THROUGH PROJECT COMPLETION.
8. PROVIDE 2' COVER OVER STORM PIPELINES UNLESS OTHERWISE NOTED.
9. ALL STORM SYSTEM COMPONENTS SHALL BE PER WSDOT STANDARD PLANS (INCLUDED ON SHEET C5.02)
 

TYPE 1 CATCH BASIN	B5.20-03
FRAME	B30.10-03
GRATE	B30.50-03
10. ALL STORM DRAIN (SD) PIPING SHALL BE SDR 35 PVC ASTM D3034 INSTALLED PER C1/C5.00.
11. ALL ROOF DRAIN (RD) LINES TO BE 6" PVC SDR-35 AT A MINIMUM SLOPE OF 2.0% (MINIMUM), UNLESS OTHERWISE NOTED.
12. SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF DOWNSPOUTS AND COORDINATE RD PIPING & DOWNSPOUT ASSEMBLIES ACCORDINGLY.

**KEYNOTES**

- 1 DOWNSPOUT PER DETAIL C2/C5.00
- 2 CATCH BASIN TYPE I PER DETAIL B1/C5.02
- 3 PROVIDE SILT TRAP TEE PER DETAIL B3/C5.01
- 4 6" STORM DRAIN CLEANOUT PER DETAIL C3/5.00
- 5 CONNECT TO 6" PVC DRAIN PIPE INTO EXISTING 8" STORM DRAIN LINE WITH 6x8 INSERT-A-TEE CONNECTION

**SITE GRADING AND DRAINAGE PLAN**

SCALE: 1"=10'

HORIZONTAL SCALE: 1"=10'



REVISIONS: 07/XX/2023

DESIGNED: S.A.J. DRAWN: S.A.J. CHECKED: D.D.F. DATE: 07/13/2023 SCALE: AS NOTED

APPROVALS: PERMIT SUBMITTAL

**sitts & hill**

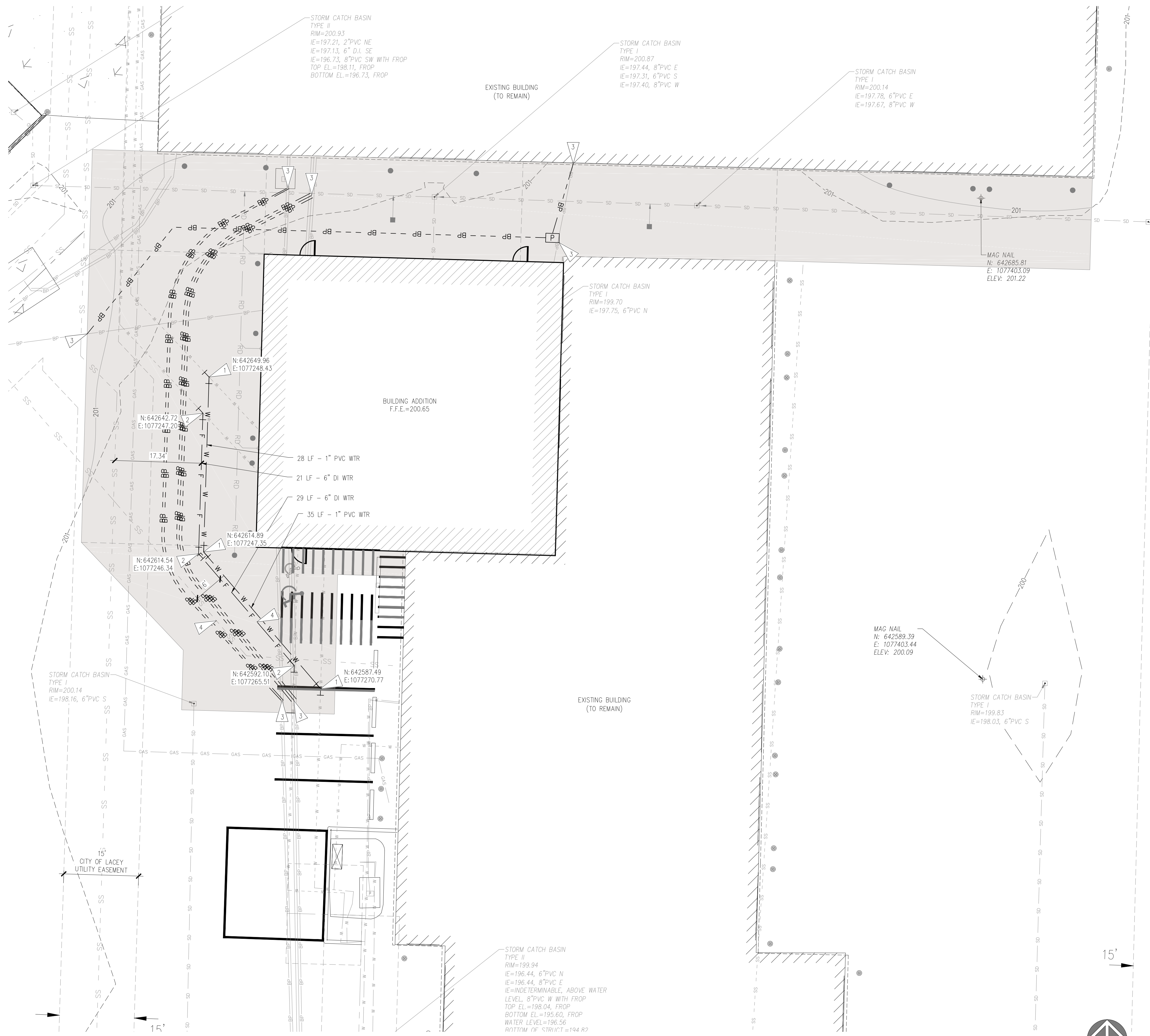
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PREPARED FOR: LEMAY PACIFIC DISPOSAL  
P.O. BOX 61726  
VANCOUVER, WA 98666

PROJECT: LEMAY PACIFIC DISPOSAL SHOP BUILDING ADDITION  
2910 HOGUM BAY RD, LACEY, WA 98516  
SHEET TITLE: SITE GRADING AND DRAINAGE PLAN  
SHEET NO. C3.00  
PROJECT NO. 19,873



A PORTION OF THE NE 1/4 OF THE SE 1/4, AND THE NORTH 1/2 OF THE SE 1/4, OF THE SE 1/4 OF SECTION 2, TOWNSHIP 18 NORTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, THURSTON COUNTY, WASHINGTON



LEGEND

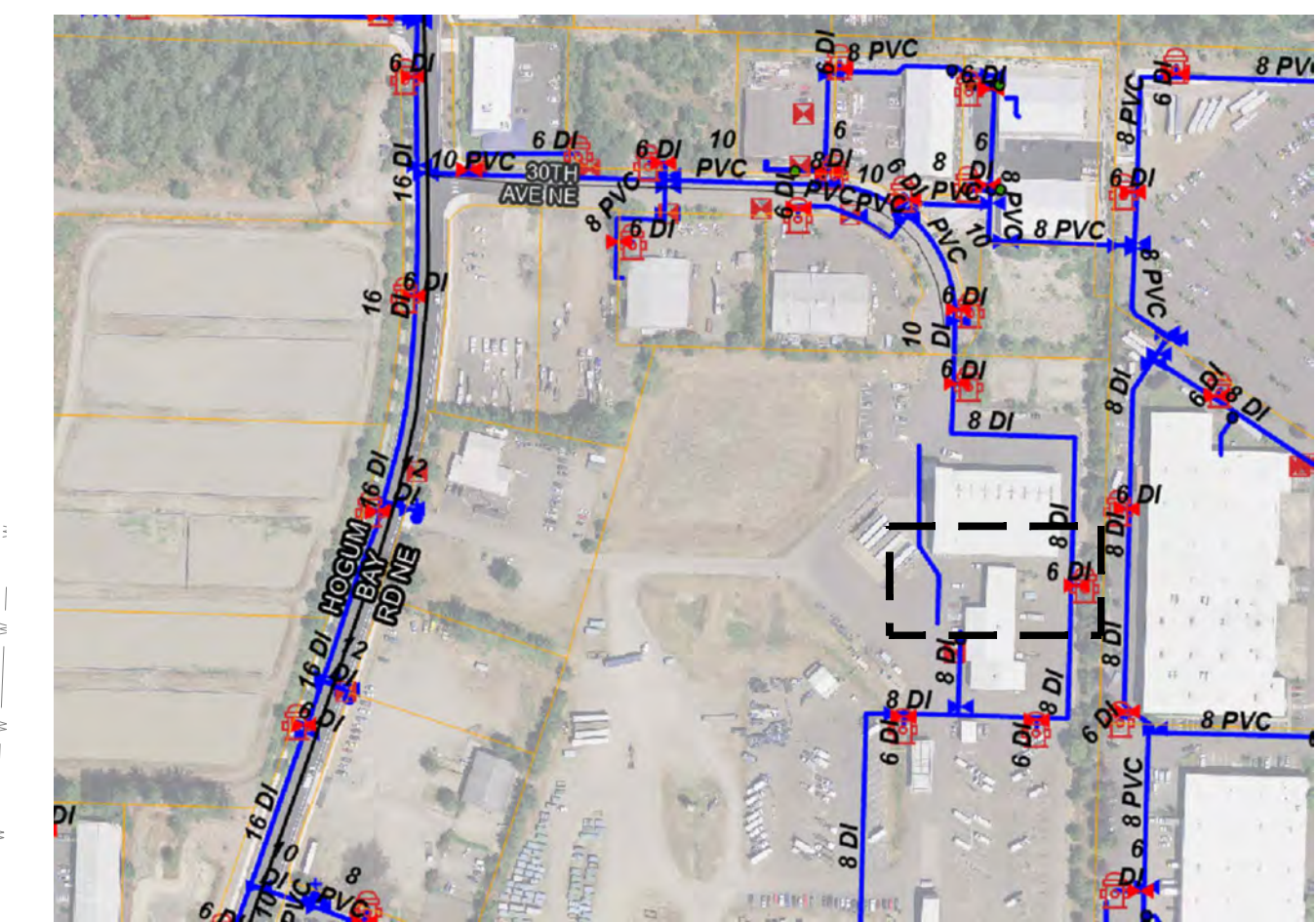
- PROPOSED FEATURES:
- W WATER UTILITY PIPE
  - F FIRE UTILITY PIPE
  - BP- BURIED POWER LINE
  - [P] POWER VAULT

GENERAL NOTES

1. SEE SHEET C0.01 & C0.02 FOR APPLICABLE PROJECT NOTE REQUIREMENTS.
2. THE CONTRACTOR SHALL USE HORIZONTAL AND VERTICAL DATUMS AS OUTLINED SHEET SV1.00.
3. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES AFFECTING THE NEW CONSTRUCTION.
4. THE BURIED UTILITIES ON THIS PROJECT ARE SHOWN IN THEIR APPROXIMATE LOCATION WHERE KNOWN BASED ON FIELD SURVEY AS-BUILT FORMED BY SITS & HILL ENGINEERS, INC. OTHER EXISTING BURIED UTILITIES MAY NOT BE SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE THEIR LOCATION MARKED ON THE GROUND PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL PROTECT, OR IMMEDIATELY REPAIR, ANY DAMAGED UTILITY "DISCOVERED" ON THIS PROJECT WITHOUT ADDITIONAL COSTS.
5. CONTRACTOR AND/OR SURVEYOR SHALL CALCULATE PIPE SLOPES BASED ON THE INVERT ELEVATIONS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO FIELD STAKING AND CONSTRUCTION.
6. PROVIDE 3" MINIMUM COVER OVER WATER PIPELINES UNLESS OTHERWISE NOTED.
7. ALL DUCTILE IRON PIPE SHALL CONFORM TO AWWA C 151 STANDARD THICKNESS CLASS 52 AND HAVE A CEMENT MORTAR LINING CONFORMING TO AWWA C 104. ALL PIPE SHALL BE JOINED USING NON-RESTRAINED JOINTS WHICH SHALL BE RUBBER GASKET, PUSH ON TYPE OR MECHANICAL JOINT, CONFORMING TO AWWA C 111.
8. ALL WATER LINES SHALL BE INSTALLED PER CITY OF LACEY STANDARDS AND IN ACCORDANCE WITH THE CITY OF LACEY STANDARD DETAIL D2/C5.01.
9. CONTRACTOR IS RESPONSIBLE TO PROTECT EXISTING UTILITY/COVER BY ANY MEANS NECESSARY (SUCH AS METAL PLATES, ETC.) DURING INSTALLATION. DAMAGED SURFACE FEATURES OR UTILITIES SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

KEYNOTES

- 1 1" MJMJ PVC 45° BEND
- 2 6" MJMJ DI 45° BEND
- 3 COORDINATE INSTALLATION OF BURIED POWER LINES AND BOXES WITH THE ELECTRICAL SURVEYOR
- 4 PROVIDE CONCRETE ENCASUREMENT PER DETAIL D1 & D3/C5.01



WATER SYSTEM MAP  
SCALE: N.T.S.

REVISIONS: 07/XX/2023

PERMIT SUBMITTAL

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DESIGNED: S.A.J. S.A.J.  
DRAWN: S.A.J. S.A.J.  
CHECKED: D.D.F. D.D.F.  
DATE: 07/13/2023  
SCALE: AS NOTED

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**sh** **sitts & hill**  
 CIVIL | STRUCTURAL | ARCHITECTURAL | SURVEY  
 4815 CENTER STREET | TACOMA, WA 98409  
 PHONE: (253) 774-9449 | FAX: (253) 474-0153  
<http://www.sitts-hill.com>

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**LEMAY PACIFIC DISPOSAL**  
 P.O. BOX 61726  
 VANCOUVER, WA 98666

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**LEMAY PACIFIC DISPOSAL**  
**SHOP BUILDING ADDITION**  
 2910 HOGUM BAY RD, LACEY, WA 98516  
 SHEET TITLE: **SITE UTILITY PLAN**

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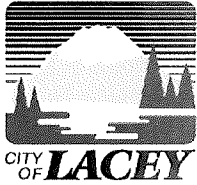
**C4.00**  
 PROJECT NO.: **19,873**

O:\19800\19873\Drawings\19873-C4.00.dwg last edited: 08/14/23 8:53am by jackson5



# VICINITY MAP





**CITY OF LACEY**  
Community Development Department  
420 College Street SE  
Lacey, WA 98503  
(360) 491-5642

**OFFICIAL USE ONLY**

CASE NUMBER:
RELATED CASE NUMBERS:
PLANNER ASSIGNED:
PW ASSIGNED:

***PRESUBMISSION CONFERENCE REQUEST FORM***

ONE WEEK PRIOR TO REQUESTED DATE, SUBMIT VIA EMAIL TO [PLANNING@CITY.LACEY.WA.US](mailto:PLANNING@CITY.LACEY.WA.US), OR TO LACEY CITY HALL. NO FEE IS REQUIRED.  
SUBMISSION SHOULD INCLUDE COMPLETED APPLICATION, SITE PLAN DRAWING, VICINITY MAP, AND TRAFFIC GENERATION WORKSHEET.

APPLICANT: Colin Bossio

ADDRESS: 1445 SR 6 M CITY: Chehalis STATE: WA ZIP: 98522

PHONE NUMBER: 360-280-0252 EMAIL: colinbossio9@gmail.com

REPRESENTATIVE:

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_ EMAIL: \_\_\_\_\_

PROJECT ADDRESS: 5116 14<sup>th</sup> Ave SE Lacey

ASSESSOR'S TAX PARCEL NUMBER(S): 55600001500

BRIEF DESCRIPTION OF PROJECT: Separate Lot 17 which was already legal lot per original subdivision. For future duplex or triplex development

TOTAL ACREAGE: .22 TOTAL SQ. FT OF BLDG: TBD ZONING: LD

PROPOSED LAND USE: ( ) SINGLE-FAMILY  MULTI-FAMILY ( ) INDUSTRIAL DUPLEX ( ) COMMERCIAL ( ) M.H. PARK

EXISTING ACCESS: 14<sup>th</sup> Ave PROPOSED ACCESS: Same

INDICATE PREFERENCE FOR A MEETING DATE AND TIME: \_\_\_\_\_

(MEETINGS ARE HELD THE 2ND AND 4TH WEDNESDAY OF EACH MONTH) DATE: 8/23/23 TIME: 9 am but flexible

A presubmission conference is an opportunity for the developer and/or their representative to meet with staff to discuss preliminary studies or sketches of the proposed project. At the conference, staff will make available, pertinent information relating to the proposed development. The intent is to identify and/or eliminate as many potential problems as possible in order for the project to be processed without delay. The conference should take place prior to detailed work by an engineer or surveyor; however, the site drawing submitted, should have sufficient information to allow for staff review. Discussion topics will include such things as Comprehensive Plan, Street Plan, Storm Run Off & Retention, Shoreline Master Program, Zoning, Availability of Water/Sewer, Development Concepts, other requirements and permits, and the environmental impact. If the applicant owns adjacent land, the possibilities of future development will be discussed. Written information regarding process, specific requirements & related issues, will be furnished at the meeting. Staff will typically visit the site prior to the meeting and may enter the property if deemed necessary to gain a full understanding of the project.





5116 14th ave

Home Find Identify Measure Draw **Map & Layers**  Tool Labels X

Show Layer List Layer

County Base Map

Aerial 2022 (Fast) Basemap

Aerials (All)

Hillshades

Add To Favorites

Bookmarks Map

Reset The Map

Click or tap a location on the map to learn what's there.

View in a Different Map



1996 2022

2022

Loading Property Data map data...





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Community Development Department  
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Lacey, WA 98503  
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CASE NUMBER:
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PLANNER ASSIGNED:
PW ASSIGNED:

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APPLICANT: Michael Cobb

ADDRESS: PO Box 1122 CITY: Centralia STATE: WA ZIP: 98531  
PHONE NUMBER: \_\_\_\_\_ EMAIL: cobbmichael@hotmail.com

REPRESENTATIVE:

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ EMAIL: \_\_\_\_\_

PROJECT ADDRESS: <u>4527 13th Ave SE Lacey, WA 98503</u>	
ASSESSOR'S TAX PARCEL NUMBER(S): <u>61500300400</u>	
BRIEF DESCRIPTION OF PROJECT: <u>discuss zoning requirements <sup>adjacent to</sup> multi-family housing vs town home vs single family home w/ ADU. would like to get really heavy expectation of what is possible and any zoning changes to density rules.</u>	
TOTAL ACREAGE: <u>0.32</u>	TOTAL SQ. FT OF BLDG: _____ ZONING: <u>MD moderate-density</u>
PROPOSED LAND USE: ( ) SINGLE-FAMILY ( <input checked="" type="checkbox"/> ) MULTI-FAMILY ( ) INDUSTRIAL DUPLEX ( ) COMMERCIAL ( ) M.H. PARK	
EXISTING ACCESS: <u>13th Ave SE</u>	PROPOSED ACCESS: <u>eastward 13th Ave SE to private road/adjacent</u>

INDICATE PREFERENCE FOR A MEETING DATE AND TIME: 8/23 3pm (anytime between 11:30 and 4pm will work)  
(MEETINGS ARE HELD THE 2ND AND 4TH WEDNESDAY OF EACH MONTH) 9/6 3pm  
DATE: \_\_\_\_\_ TIME: \_\_\_\_\_

A presubmission conference is an opportunity for the developer and/or their representative to meet with staff to discuss preliminary studies or sketches of the proposed project. At the conference, staff will make available, pertinent information relating to the proposed development. The intent is to identify and/or eliminate as many potential problems as possible in order for the project to be processed without delay. The conference should take place prior to detailed work by an engineer or surveyor; however, the site drawing submitted, should have sufficient information to allow for staff review. Discussion topics will include such things as Comprehensive Plan, Street Plan, Storm Run Off & Retention, Shoreline Master Program, Zoning, Availability of Water/Sewer, Development Concepts, other requirements and permits, and the environmental impact. If the applicant owns adjacent land, the possibilities of future development will be discussed. Written information regarding process, specific requirements & related issues, will be furnished at the meeting. Staff will typically visit the site prior to the meeting and may enter the property if deemed necessary to gain a full understanding of the project.



