



Community & Economic Development  
 420 College Street SE  
 Lacey, Washington 98503  
 (360) 491-5642

## COMMUNITY DEVELOPMENT DEPARTMENT PRESUBMISSION CONFERENCE AGENDA

- The following projects will be considered on **Wednesday, October 25, 2023**
- **VIA VIDEO CONFERENCE – LINK WILL BE SENT PRIOR TO MEETING**
- SPR Team Meeting will be held on the Tuesday prior to Pre-Sub meeting date

Meeting Time	Assigned Staff	Project Details
10:00	Planner <b>R. Fant</b>  Public Works <b>T. Stiles</b>	<b>Case #23-0279 – DR Horton</b> <b>Address/Parcel:</b> 8530 Steilacoom Rd SE <b>Zoning:</b> LD <b>Description of Proposal:</b> Subdivide 31 acres into 126 single family lots
11:00	Planner <b>S. Bartz</b>  Public Works <b>T. Stiles</b>	<b>Case – #23-0286 – Pope John Paul II High School</b> <b>Address/Parcel:</b> 5608 Pacific Ave SE <b>Zoning:</b> CBD4 <b>Description of Proposal:</b> Build a gymnasium for the high school
1:30	Planner <b>S. Bartz</b>  Public Works <b>T. Stiles</b>	<b>Case #23-0297 – Quyen Nguyen</b> <b>Address/Parcel:</b> 2626 College St SE <b>Zoning:</b> LD <b>Description of Proposal:</b> Convert existing daycare to townhouse

RECEIVED

SEP 28 2023

23-0279



CITY OF LACEY BY Community Development Department  
420 College Street SE  
Lacey, WA 98503  
(360) 491-5642

OFFICIAL USE ONLY

CASE NUMBER:
RELATED CASE NUMBERS:
PLANNER ASSIGNED:
PW ASSIGNED:

**PRESUBMISSION CONFERENCE REQUEST FORM**

ONE WEEK PRIOR TO REQUESTED DATE, SUBMIT VIA EMAIL TO PLANNING@CI.LACEY.WA.US, OR TO LACEY CITY HALL. NO FEE IS REQUIRED. SUBMISSION SHOULD INCLUDE COMPLETED APPLICATION, SITE PLAN DRAWING, VICINITY MAP, AND TRAFFIC GENERATION WORKSHEET.

APPLICANT: SSHI, LLC dba DR Horton

ADDRESS: 11241 Slater Avenue NE, Suite 200 CITY: Kirkland STATE: WA ZIP: 98033  
 PHONE NUMBER: (425) 825-3180 EMAIL: rhulquist@drhorton.com

REPRESENTATIVE: Hatton Godat Pantier (Jeff Pantier, PLS)

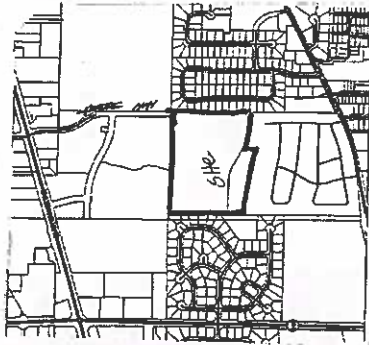
ADDRESS: 3910 Martin Way E, Ste B CITY: Olympia STATE: WA ZIP: 98506  
 PHONE NUMBER: (360) 943-1599 EMAIL: jeffp@hattonpantier.com

PROJECT ADDRESS: 8530 Steilacoom Rd S - Lacey
ASSESSOR'S TAX PARCEL NUMBER(S): 11813220100
BRIEF DESCRIPTION OF PROJECT: Subdivide 31 acres into 126 single family lots
TOTAL ACREAGE: 31 TOTAL SQ. FT OF BLDG: ZONING: Low Density 3-6
PROPOSED LAND USE: ( ) SINGLE-FAMILY ( ) MULTI-FAMILY ( ) INDUSTRIAL DUPLEX ( ) COMMERCIAL ( ) M.H. PARK
EXISTING ACCESS: Hoh Street PROPOSED ACCESS: Hoh Street

INDICATE PREFERENCE FOR A MEETING DATE AND TIME:  
 (MEETINGS ARE HELD THE 2ND AND 4TH WEDNESDAY OF EACH MONTH) DATE: 10/25/2023 TIME: 10am

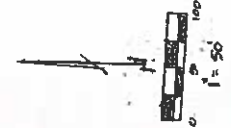
A presubmission conference is an opportunity for the developer and/or their representative to meet with staff to discuss preliminary studies or sketches of the proposed project. At the conference, staff will make available, pertinent information relating to the proposed development. The intent is to identify and/or eliminate as many potential problems as possible in order for the project to be processed without delay. The conference should take place prior to detailed work by an engineer or surveyor; however, the site drawing submitted, should have sufficient information to allow for staff review. Discussion topics will include such things as Comprehensive Plan, Street Plan, Storm Run Off & Retention, Shoreline Master Program, Zoning, Availability of Water/Sewer, Development Concepts, other requirements and permits, and the environmental impact. If the applicant owns adjacent land, the possibilities of future development will be discussed. Written information regarding process, specific requirements & related issues, will be furnished at the meeting. Staff will typically visit the site prior to the meeting and may enter the property if deemed necessary to gain a full understanding of the project.

**Conceptual Subdivision Plan  
Planned Residential  
Development-Hoh Street  
Residential**



**SITE DATA**  
 1911228100  
 Zoning District No. R-1.5  
 Total Area 8.8 Acres  
 Wetland/Buffer 2.1 Acres  
 No. of Lots 111  
 S.D. 9.0/AC  
 Average Lot Area 3,200 Square Feet  
 Average Lot Area 13.7 Acres (4.94)  
 No. of Lots 111  
 No. of Units 111  
 City of Lacey

**Notes:**  
 1. All other items shall be as shown and described by the Owner's description.  
 2. Wetland/Buffer is based on a wetland delineation report dated 03/20/2013.  
 3. Stormwater management shall be designed to meet or exceed the standards for the watershed.  
 4. All lot areas shall be as shown on this plan.  
 5. The plan is prepared in accordance with the requirements of the City of Lacey.



HGP 23-052



Hoh Street Residential  
Project Narrative  
September 27, 2023

Hoh Street Residential represents a planned subdivision of 31 acres into 131 single family lots. The subdivision is designed as a Planned Residential Development, which provides for flexibility in zoning requirements, specifically related to the minimum lot sizes. The planned project will provide a map of housing types with alleys and traditional front-loaded homes. The site is located within the Low Density 3-6 Zoning District, which requires a density range of 3 to 6 dwelling units per acre. The base density range for Hoh Street Residential is 66 to 133 units. A density bonus is not being proposed with the Planned Residential Development.

The subdivision design will provide for an efficient layout of streets, open spaces, and home sites. The lot sizes will range from 2,700 square feet (30' x 90') to 4,500 square feet (45' x 100').

The open space areas represent approximately 13.5 acres, exceeding 30% of the gross site area. The open space areas have been designed to provide for interconnectivity, accessible safe and inviting areas for the residents of the subdivision. The design will include:

- a. Preservation of trees including several scattered oaks will be incorporated into the open space design.
- b. Active recreation with installation of community playground.
- c. Extensive landscaping throughout the interconnected open space areas.
- d. Trails and walking pathways providing interconnectivity between the community areas for safe and useable open space.
- e. Storm water drainage will be incorporated into the open space and vegetative areas. The drainage areas will be designed at the lower areas of the site preserving the natural character of the land.

Access to the site will be provided at Hoh Street SE with an emergency access through the adjacent mobile home park to Steilacoom Road SE. City of Lacey Sewer and water will be extended throughout the site.

#### PreSub Focused Inquiries

1. A City watermain appears to exist near the East boundary . Will the Planned Roadway Alignment be acceptable without conflicting with the existing watermain?
2. Will the City execute an affidavit, similar to the attached to remove the County Critical Area and High Groundwater Notices, since the property is now subject to City of Lacey regulations?
3. The Current design does not require a PRD density bonus. If the project is revised to include a townhome element, will the City support a density bonus, since the 5 amenities listed under LMC 16.60.145 are being provided?
4. Is the City aware of any transportation concurrency issues that could affect this project?
5. What is the City Sanitary Sewer Comprehensive Plan show for sewer service for this site?
6. Extensive geotechnical evaluations have been performed on the site. The soils throughout are apparently not capable of infiltration. Therefore, LID techniques will be limited on this project. Note the planned regional storm facility in the Southwest corner of the site. Will the City support this concept?



**City of Lacey**  
DEPARTMENT OF PUBLIC WORKS  
420 College Street S.E.  
Lacey, WA 98503-1238  
(360) 491-5600

**RESIDENTIAL  
TRAFFIC  
GENERATION  
WORKSHEET**

Date: September 27, 2023 Project No.: \_\_\_\_\_  
Project Name: Hoh Street Residential Parcel No.: 11813220100  
Project Address: 8530 Steilacoom Rd S - Lacey  
Applicant's Name: SSHI, LLC dba DR Horton Phone: (425) 825-3180  
Applicant's Address: 11241 Slater Avenue NE, Suite 200, Kirkland, WA 98033

**Existing Use**

Is there an existing use on the proposed project site?  Yes  No

*If existing use is commercial, please complete the commercial worksheet also.*

If the existing use is residential, please explain the number and type of unit(s):

Has the existing use been vacant for more than 18 months?  Yes  No

Will the existing unit(s) be demolished?  Yes  No

Remarks:

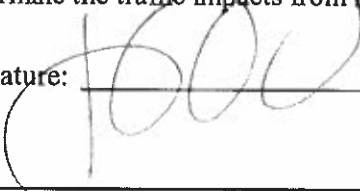
**Proposed Use (Include Site Plan)**

Check the proposed type of development (check all that apply):

	Number of Units		Number of Units
<input checked="" type="checkbox"/> Single Family Detached Housing	<u>131</u>	<input type="checkbox"/> Senior Adult Housing – Attached	_____
<input type="checkbox"/> Apartment	_____	<input type="checkbox"/> Congregate Care Facility	_____
<input type="checkbox"/> Residential Condominium/Townhouse	_____	<input type="checkbox"/> Assisted Living	_____
<input type="checkbox"/> Rental Townhouse	_____	<input type="checkbox"/> Continuing Care Retirement Community	_____
<input type="checkbox"/> Mobile Home Park	_____	<input type="checkbox"/> Residential Planned Unit Development	_____
<input type="checkbox"/> Senior Adult Housing – Detached	_____	<input type="checkbox"/> Other ( <i>Please Explain</i> )	_____

List other information useful in determining traffic characteristics:

I declare that I have completed this form and to the best of my knowledge and belief the above information is true and correct. I understand the City is relying on this information to accurately determine the traffic impacts from my development.

Signature: 

Date: 01/28/2023

**For Official Use Only:**

ITE Number: \_\_\_\_\_ Approved for Traffic Division By: \_\_\_\_\_

Development Reviewer: \_\_\_\_\_ Planner: \_\_\_\_\_

Land Use Code: \_\_\_\_\_ Discounts Applied: \_\_\_\_\_

Total PM Peak Hour Trips: \_\_\_\_\_ New PM Peak Hour Trips: \_\_\_\_\_

Comments: \_\_\_\_\_

Calculated by: \_\_\_\_\_

APPENDIX A  
CRITICAL AREA AND BUFFER NOTICE

Tax Parcel No. 11813220200

Legal Owner: Narrow's Real Estate, Inc  
FRANKLIN W & JOANN S. EVANS

NOTICE: This property contains critical areas and/or their buffers as defined by the Thurston County Planning Department or TCC 17.15, the Thurston County Critical Areas Ordinance. The property was the subject of a development proposal for:

MOBILE HOME PLACEMENT 77810 Filed on 12/13, 19 99  
(type of permit) application # date

Restrictions on use or alteration of the critical area and/or its buffers may exist due to natural conditions of the property and resulting regulations. Review of such application has provided information on the location of the critical area or its buffers and restrictions on their use through setback areas. A copy of a letter, document or site plan describing such setback areas is attached hereto.

EXECUTED this 17<sup>th</sup> day of Dec., 19 99.

Joann Evans

STATE OF WASHINGTON )  
COUNTY OF THURSTON )

I certify that I know or have satisfactory evidence that Joann Evans signed this instrument and acknowledged it to be his/her free and voluntary act for the uses and purposes mentioned in this instrument.

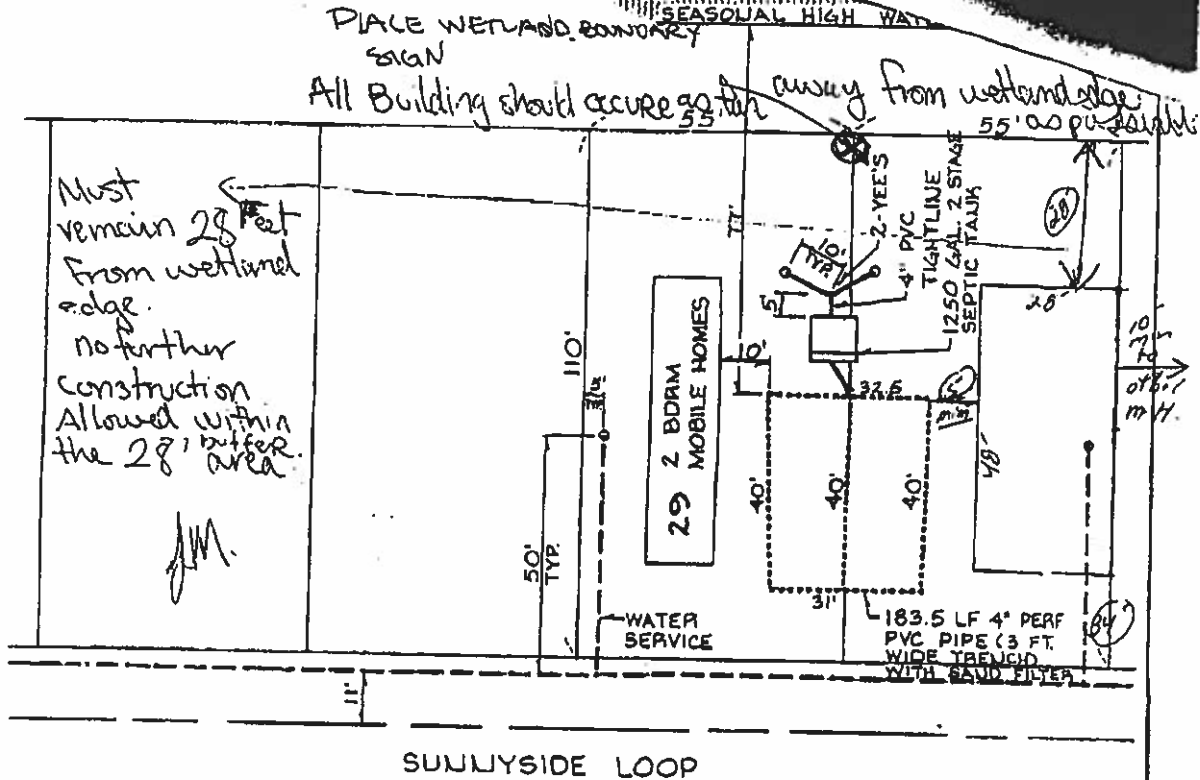


**Wetland  
Buffer Boundary**

**DO NOT DISTURB**

Contact Thurston County at 786-5490  
Regarding Uses and Restrictions





OWNER COPY



SCALE: 1" = 30'

APPROVED AS NOTED  
 THURSTON COUNTY  
 DEVELOPMENT SERVICES

By Tim  
 Date 11-23-88

ASBUILTS APPROVED BY:

[Signature] 6/2/88  
 HEALTH DEPT. DATE

[Signature]  
 ENGINEER DATE

[Signature] 5-15-84  
 INSTALLER DATE

ASBUILT LOT #'S 28 & 29

**MC<sup>2</sup> ENGINEERING**  
 Civil and Structural Engineering  
 4315 6TH AVE SE LACEY, WA 98503 491-3399

RAINIER VISTA MOBILE HOME PARK

DESIGN:	DRAWN: MJE	CHECKED:	JOB NO: 84054
SCALE: 1" = 30'	DATE: MAY 1984		1/1

\*: Relevant sections.

"NOTE: Before beginning and during the course of any grading, building construction, or other development activity, on a lot or development site subject to this deed restriction, the common boundary between the area subject to the deed restriction and the area of development activity must be fenced or otherwise marked to the satisfaction of Thurston County Current Planning Department."

- D. Regardless of the method chosen, responsibility for maintaining the tracts shall be held by a homeowners' association, adjacent lot owners, the permit applicant or designee, or other appropriate entity as approved by the review authority.
- E. The following note shall appear on the face of all plats, short plats, planned rural residential developments, or other approved site plans containing separate critical area tracts, and shall be recorded on the title of all affected lots:

"NOTE: All lots adjoining critical area tracts are responsible for maintenance and protection of the tracts. Maintenance includes insuring that no alterations occur and that all vegetation remains undisturbed unless the express written authorization of the Thurston County Current Planning Department has been received."

17.15.345 Review Standards--Access Limitations, Signs and Fencing of Critical Areas and Tracts.

- A. Access to critical areas and critical area tracts will normally be allowed, subject to unique conditions which warrant access limitations.
- B. The perimeter of the critical area buffer and those areas to be disturbed pursuant to an approved permit or authorization shall be marked in the field, inspected by the review authority prior to the commencement of permitted activities. This temporary marking shall be maintained throughout the duration of the development activity.
- \*C. As a condition of any permit or authorization issued pursuant to this Chapter, the applicant may be required to install permanent signs along the boundary of a critical area tract or along the edge of a critical area buffer.
- D. The sign shall be made of a ~~treated wood~~ or metal face and attached to a treated wood or metal post, or another material of equal durability.

THE TREATED WOOD SIGNS HAVENT PROVEN TO BE DURABLE.

- \* B. "Class II Wetlands" occur more commonly than Class I wetlands. These wetlands are those that: 1) provide habitat for very sensitive or important wildlife or plants; 2) are either difficult to replace; or 3) provide very high functions and values, particularly for wildlife habitat.

Class II wetlands satisfy no Class I criteria and are:

1. Those that have a documented occupance in the wetland of a federal or state listed sensitive plant, animal, or fish species; or
2. Those that contain priority species or habitats recognized by state agencies; or
3. Wetlands with significant functions which may not be adequately replicated through creation or restoration; or
4. Wetlands with significant habitat value of 22 or more points from the rating system.

\* 17.15.995 Floodplains, Streams, and Wetlands--Stream or Wetland Buffer Boundary Signs.

- A. The review authority may require that the perimeter of a stream or wetland buffer be signed as a condition of a large lot subdivision, planned rural residential development or subdivision. (Ordinance No. 11200, 06/03/96)
- B. The signs shall generally conform to the design and standards in Figure 29, as amended.
- C. The signs shall be attached to treated wood or metal posts or another material of equal durability.
- D. These signs shall be located at the point where lots intersect with the buffer, at corners where the buffer makes a change of direction, and not less than every 300 feet. (Ordinance No. 11200, 06/03/96)

17.15.1000 Floodplains, Streams, and Wetlands--Special Reports. The following special reports are required within the various categories: (Ordinance No. 11200, 06/03/96)

- A. Every application for development proposal for a Group A and B permit which contains a use or activity subject to Table 5 within a 100-year floodplain, or a floodway shall provide the following special reports:
  1. Drainage and Erosion Control Plan;

APPENDIX A  
CRITICAL AREA AND BUFFER NOTICE

Tax Parcel No. 11813220200

Legal Owner: Narrows Real Estate, Inc  
Franklin W. \* JOANN S. EVANS

NOTICE: This property contains critical areas and/or their buffers as defined by the Thurston County Planning Department or TCC 17.15, the Thurston County Critical Areas Ordinance. The property was the subject of a development proposal for:

Mobile Home Placement      77829      Filed on 12/13, 1999  
(type of permit)                      application #                      date

Restrictions on use or alteration of the critical area and/or its buffers may exist due to natural conditions of the property and resulting regulations. Review of such application has provided information on the location of the critical area or its buffers and restrictions on their use through setback areas. A copy of a letter, document or site plan describing such setback areas is attached hereto.

EXECUTED this 17 day of December, 1999.  
Joann Evans

STATE OF WASHINGTON )  
COUNTY OF THURSTON )

I certify that I know or have satisfactory evidence that Joann Evans signed this instrument and acknowledged it to be his/her free and voluntary act for the uses and purposes mentioned in this instrument.

### AFFIDAVIT High Groundwater Flooding

Tax Parcel No: 11813220200

Project Number: 77829

Property Owner's Name:

Address:

Phone number:

NARROWS Real Estate, Inc.  
FRANKLIN WT JOANN SEVANS  
PO BOX 82750  
KENMORE, WA 98028

I, \_\_\_\_\_, have no knowledge that the development site on the property where the proposed activity will take place has ever been subject to flooding.

Property Owner Signature: 

Dated: 12/17/99

*This form is used when the High Groundwater Flood Hazard Areas Resource Map indicates possible flooding from high groundwater within 200 feet of a proposed activity that requires a building permit, septic permit, or grading permit. It must be signed by the property owner and delivered to the Thurston County Permit Assistance Center prior to permit issuance. This form will be returned to the property owner.*

All Building shall occur as far away from the wetland edge as possible.

Must Remain 15' from wetland edge. No further

PLACE WETLAND BOUNDARY SIGN

(N) construct on Allowed within the 15' buffer area.

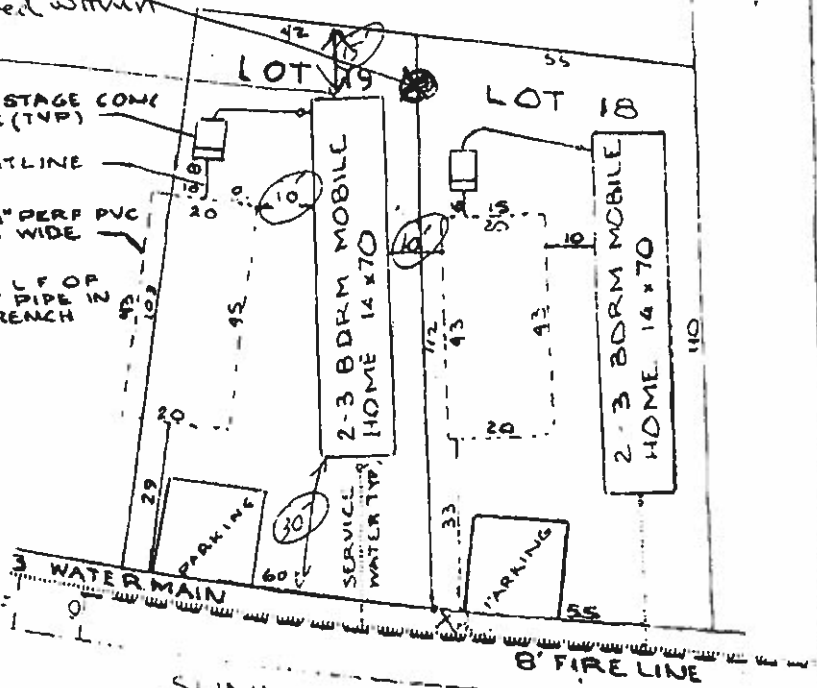
SCALE: 1"=30'

1125 GAL 2 STAGE COMB SEPTIC TANK (TVP)

4" PVC TIGHTLINE (TVP)

128 LF OF 4" PERF PVC PIPE IN A 3' WIDE TRENCH

LOT 18 126 LF OF 4" PVC PERF PIPE IN A 3' WIDE TRENCH



OWNER COPY

SUNNYSIDE LANE

APPROVED AS NOTED  
 THURSTON COUNTY  
 DEVELOPMENT SERVICES  
 By: [Signature]  
 Date: 12-13-85

ASBUILTS APPROVED BY:

HEALTH DEPT  
 ENGINEER  
 INSTALLER

DATE  
 DATE  
 DATE

**MC<sup>2</sup> ENGINEERING**

Civil and Structural Engineering  
 431 6TH AVE SE LACEY WA 98501 425 3399

RAINIER VISTA  
 MOBILE HOME PARK

DESIGN:	DRAWN: ITD	CHECKED:	JOB NO. 84054
SCALE: 1"=30'	DATE: JAN 1985		

ASBUILT  
 LOTS # 18 & 19

RECEIVED



**Wetland  
Buffer Boundary**

**DO NOT DISTURB**

Contact Thurston County at 786-5490.  
Regarding Uses and Restrictions

\*: Relevant sections.

"NOTE: Before beginning and during the course of any grading, building construction, or other development activity, on a lot or development site subject to this deed restriction, the common boundary between the area subject to the deed restriction and the area of development activity must be fenced or otherwise marked to the satisfaction of Thurston County Current Planning Department."

- D. Regardless of the method chosen, responsibility for maintaining the tracts shall be held by a homeowners' association, adjacent lot owners, the permit applicant or designee, or other appropriate entity as approved by the review authority.
- E. The following note shall appear on the face of all plats, short plats, planned rural residential developments, or other approved site plans containing separate critical area tracts, and shall be recorded on the title of all affected lots:

"NOTE: All lots adjoining critical area tracts are responsible for maintenance and protection of the tracts. Maintenance includes insuring that no alterations occur and that all vegetation remains undisturbed unless the express written authorization of the Thurston County Current Planning Department has been received."

17.15.345 Review Standards--Access Limitations, Signs and Fencing of Critical Areas and Tracts.

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- B. The perimeter of the critical area buffer and those areas to be disturbed pursuant to an approved permit or authorization shall be marked in the field, inspected by the review authority prior to the commencement of permitted activities. This temporary marking shall be maintained throughout the duration of the development activity.
- \* C. As a condition of any permit or authorization issued pursuant to this Chapter, the applicant may be required to install permanent signs along the boundary of a critical area tract or along the edge of a critical area buffer.
- D. The sign shall be made of a ~~treated wood~~ or metal face and attached to a treated wood or metal post, or another material of equal durability.

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- \* B. "Class II Wetlands" occur more commonly than Class I wetlands. These wetlands are those that: 1) provide habitat for very sensitive or important wildlife or plants; 2) are either difficult to replace; or 3) provide very high functions and values, particularly for wildlife habitat.

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2. Those that contain priority species or habitats recognized by state agencies; or
3. Wetlands with significant functions which may not be adequately replicated through creation or restoration; or
4. Wetlands with significant habitat value of 22 or more points from the rating system.

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- B. The signs shall generally conform to the design and standards in Figure 29, as amended.
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17.15.1000 Floodplains, Streams, and Wetlands--Special Reports. The following special reports are required within the various categories: (Ordinance No. 11200, 06/03/96)

- A. Every application for development proposal for a Group A and B permit which contains a use or activity subject to Table 5 within a 100-year floodplain, or a floodway shall provide the following special reports:
  1. Drainage and Erosion Control Plan;

AFTER RECORDING RETURN TO:

Phillips Burgess PLLC  
505 Broadway, Suite 408  
Tacoma, WA 98402

THURSTON COUNTY TITLE CO  
AFFIDAVIT OF INAPPLICABILITY OF *215* MISC.  
CRITICAL AREA AND BUFFER NOTICE

Grantor	CITY OF TUMWATER, a municipal corporation
Grantee(s)	THE PUBLIC; KAUFMAN REAL ESTATE, LLC, a Washington limited liability company
Legal Description (abbreviated)	16-17-2W NW-SE/W2 SW-SE LESS 21.44A H&W LESS 2.20A
Reference No. of Related Documents	3796189; 3798544
Assessor's Tax Parcel ID No.	12716420000

This Affidavit is made this 3<sup>rd</sup> day of March, 2016, by the City of Tumwater, a municipal corporation, as GRANTOR.

WHEREAS Kaufman Real Estate, LLC, a Washington limited liability company owns that certain real property legally described on Exhibit A, attached hereto (the "Property"); and

WHEREAS prior to annexation by the City of Tumwater, the Property was located in unincorporated Thurston County and contained critical areas and/or buffers as defined by the Thurston County Planning Department or TCC Chapter 17.15, the Thurston County Critical Area Ordinance, and accordingly a Critical Area and Buffer Notice was recorded at Auditor's File Nos. 3796189 and 3798544; and

WHEREAS the Property was annexed to the City of Tumwater effective June 1, 2015, pursuant to City of Tumwater Resolution No. R2015-001; and

Page 1 of 3

4490250  
03/07/2016 03:22 PM Miscellaneous  
Thurston County Washington  
THURSTON COUNTY TITLE

Pages: 3



WHEREAS the Critical Area and Buffer Notice no longer applies to the Property.

NOW, THEREFORE, GRANTOR declares as follows:

1. The Property has been properly annexed to the City of Tumwater, effective June 1, 2015.
2. The critical areas and/or buffers defined by the Thurston County Planning Department or TCC Chapter 17.15, the Thurston County Critical Area Ordinance, no longer apply to the Property, therefore, the Critical Area and Buffer Notice recorded at Auditor's File Nos. 3796189 and 3798544 is no longer applicable to the Property.

GRANTOR:

CITY OF TUMWATER

Chris Carlson

By: Chris Carlson

Its: Permit Manager

STATE OF WASHINGTON )

:ss.

COUNTY OF THURSTON )

I certify that I know or have satisfactory evidence that Chris Carlson is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the Permit Mgr. of City of Tumwater to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

GIVEN under my hand and official seal this 3rd day of MARCH, 2016.



Kerri J. Gacke  
 Print Name: KERRI J GACKE  
 NOTARY PUBLIC in and for the State of  
 Washington, residing at TUMWATER  
 Commission expires: 5-3-18

**EXHIBIT A  
LEGAL DESCRIPTION**

THAT PORTION OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 17 NORTH, RANGE 2 WEST, W.M., LYING WESTERLY OF TRACTS CONVEYED TO THE STATE OF WASHINGTON, BY DEEDS RECORDED MARCH 2, 1953, AUGUST 15, 1957, AND JULY 19, 1966 UNDER AUDITOR'S FILE NOS. 516498, 587782, AND 743347, RESPECTIVELY.

**ENDORSEMENT**

Attached to and forming a part of  
Policy Number **SGW 08001476**  
Issued By **THURSTON COUNTY TITLE COMPANY**  
acting as agent for  
**Old Republic National Title Insurance Company**

Endorsement No. **1**  
File Number **TH2639G**

The Company hereby assures the Assured that there are no matters shown by the public records which affect the estate or interest described in Schedule A, other than those shown in Schedule B, except:

**Eliminate Paragraph 8 on Schedule B - Section II.**

**Amend Notes b. and d. on Schedule B - Section II, as follows:**

**b. ACCORDING TO THE RECORDS OF THURSTON COUNTY ASSESSOR, THE CURRENT VALUE OF SAID PREMISES IS AS FOLLOWS:**

TAX ACCOUNT NO.: 127-16-340102  
LAND: \$211,000.00  
IMPROVEMENTS: \$0.00  
TOTAL: \$211,000.00  
(AFFECTS PARCEL A)

TAX ACCOUNT NO.: 127-16-340100  
LAND: \$332,200.00  
IMPROVEMENTS: \$0.00  
TOTAL: \$332,200.00  
(AFFECTS PARCEL B)

TAX ACCOUNT NO.: 127-16-420000  
LAND: \$1,189,450.00  
IMPROVEMENTS: \$0.00  
TOTAL: \$1,189,450.00  
(AFFECTS PARCEL C)

TAX ACCOUNT NO.: 127-16-340101  
LAND: \$548,350.00  
IMPROVEMENTS: \$0.00  
TOTAL: \$548,350.00  
(AFFECTS PARCEL D)

**d. GENERAL TAXES FOR 2016 IN THE ORIGINAL AMOUNT OF \$2,885.85. TAX ACCOUNT NO. 127-16-340102. (AREA CODE 440, FIRST HALF TAXES ARE DELINQUENT MAY 1. LAST HALF TAXES ARE DELINQUENT NOVEMBER 1.) (AFFECTS PARCEL A)**

**GENERAL TAXES FOR 2016 IN THE ORIGINAL AMOUNT OF \$4,527.93. TAX ACCOUNT NO. 127-16-340100. (AREA CODE 440, FIRST HALF TAXES ARE DELINQUENT MAY 1. LAST HALF TAXES ARE DELINQUENT NOVEMBER 1.) (AFFECTS PARCEL B)**

**GENERAL TAXES FOR 2016 IN THE ORIGINAL AMOUNT OF \$16,148.49. TAX ACCOUNT NO. 127-16-420000. (AREA CODE 440, FIRST HALF TAXES ARE DELINQUENT MAY 1. LAST HALF TAXES ARE DELINQUENT NOVEMBER 1.) (AFFECTS PARCEL C)**

**GENERAL TAXES FOR 2016 IN THE ORIGINAL AMOUNT OF \$7,619.56. TAX ACCOUNT NO. 127-16-340101. (AREA CODE 440, FIRST HALF TAXES ARE DELINQUENT MAY 1. LAST HALF TAXES ARE DELINQUENT NOVEMBER 1.) (AFFECTS PARCEL D)**

**File No. TH2639G**

**Dated: March 11, 2016 at 8:00 a.m.**

The effective date for the Guarantee is hereby extended to the date shown herein, subject, however, to any additional matters shown above.

The total liability of the Company under said Guarantee and under this endorsement thereto shall not exceed, in the aggregate, the amount stated in said Guarantee. This endorsement is made a part of said Guarantee and in subject to the exclusions from coverage, the limits of liability and other provisions of the Conditions and Stipulations therein, except as modified by the provisions hereof.

**Dated: March 11, 2016 at 8:00 a.m.**

**THURSTON COUNTY TITLE COMPANY as agent for  
Old Republic National Title Insurance Company**

Countersigned



Authorized Signatory

Note: This endorsement shall not be valid or binding  
Until countersigned by an authorized signatory.  
meh

**Guarantee Update Endorsement  
(Continued)**

RECEIVED

OCT 04 2023



CITY OF LACEY BY 23-0286  
Community Development Department  
420 College Street SE  
Lacey, WA 98503  
(360) 491-5642

OFFICIAL USE ONLY

CASE NUMBER:
RELATED CASE NUMBERS:
PLANNER ASSIGNED:
PW ASSIGNED:

**PRESUBMISSION CONFERENCE REQUEST FORM**

ONE WEEK PRIOR TO REQUESTED DATE, SUBMIT VIA EMAIL TO PLANNING@CI.LACEY.WA.US, OR TO LACEY CITY HALL. NO FEE IS REQUIRED. SUBMISSION SHOULD INCLUDE COMPLETED APPLICATION, SITE PLAN DRAWING, VICINITY MAP, AND TRAFFIC GENERATION WORKSHEET.

APPLICANT: **Pope John Paul II High School**

ADDRESS: 5608 Pacific Avenue SE	CITY: Lacey	STATE: WA	ZIP: 98503
PHONE NUMBER: 360-438-7600	EMAIL: tallin@popejp2hseagles.com		

REPRESENTATIVE: Angelea Miller

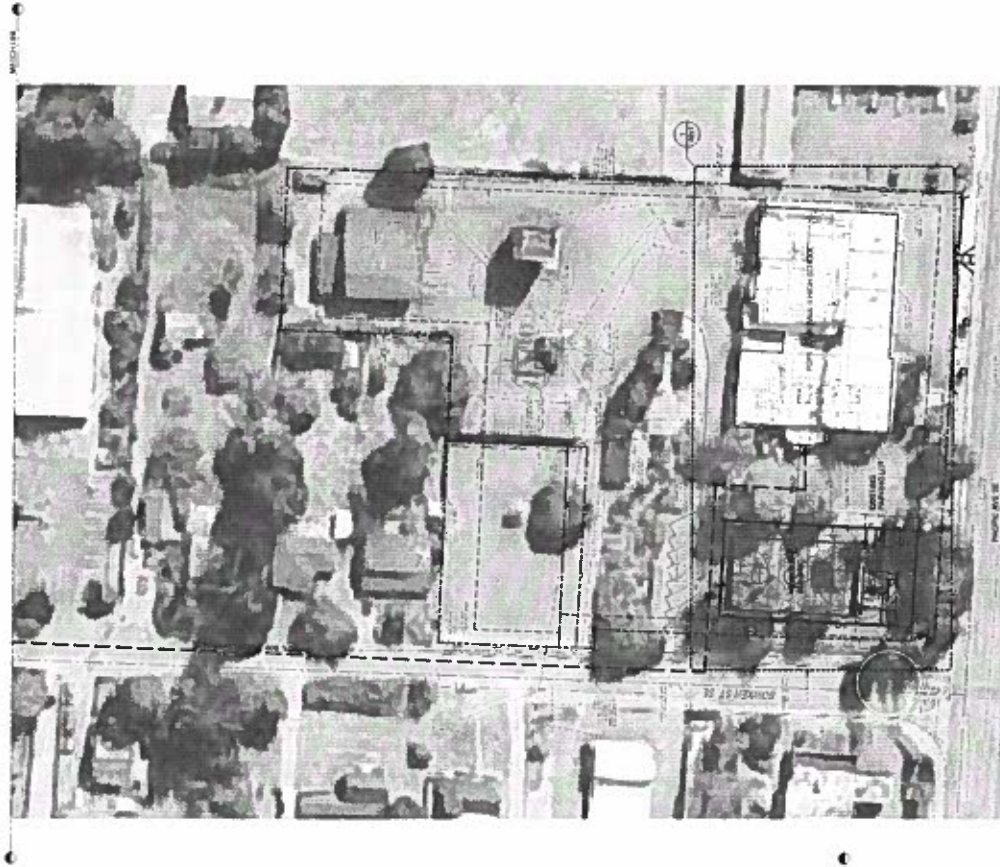
ADDRESS: 5608 Pacific Avenue SE	CITY: Lacey	STATE: WA	ZIP: 98503
PHONE NUMBER: 253-677-1458	EMAIL: miller_angelea@msn.com		

PROJECT ADDRESS: 5608 Pacific Avenue SE, Lacey, WA 98503
ASSESSOR'S TAX PARCEL NUMBER(S): 310000020000, 310000030000
BRIEF DESCRIPTION OF PROJECT: Build gymnasium
TOTAL ACREAGE: 2.8      TOTAL SQ. FT OF BLDG: 9,250      ZONING: CBD-4
PROPOSED LAND USE: <input checked="" type="checkbox"/> Educational services <input type="checkbox"/> SINGLE-FAMILY <input type="checkbox"/> MULTI-FAMILY <input type="checkbox"/> INDUSTRIAL DUPLEX <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> M.H. PARK
EXISTING ACCESS: Yes      PROPOSED ACCESS: TBD

INDICATE PREFERENCE FOR A MEETING DATE AND TIME:
(MEETINGS ARE HELD THE 2ND AND 4TH WEDNESDAY OF EACH MONTH)      DATE: 10/11/2023      TIME: 11 a.m.

A presubmission conference is an opportunity for the developer and/or their representative to meet with staff to discuss preliminary studies or sketches of the proposed project. At the conference, staff will make available, pertinent information relating to the proposed development. The intent is to identify and/or eliminate as many potential problems as possible in order for the project to be processed without delay. The conference should take place prior to detailed work by an engineer or surveyor; however, the site drawing submitted, should have sufficient information to allow for staff review. Discussion topics will include such things as Comprehensive Plan, Street Plan, Storm Run Off & Retention, Shoreline Master Program, Zoning, Availability of Water/Sewer, Development Concepts, other requirements and permits, and the environmental impact. If the applicant owns adjacent land, the possibilities of future development will be discussed. Written information regarding process, specific requirements & related issues, will be furnished at the meeting. Staff will typically visit the site prior to the meeting and may enter the property if deemed necessary to gain a full understanding of the project.

### VICINITY MAP



1 SITE PLAN  
1" = 40'



**TOVANI HART**  
 609 A COLUMBIA ST. SW  
 OLYMPIA, WA 98501  
 P: 360.381.6174 • F: 360.380.5514

## JPII SITE FEASIBILITY

5608 Pacific Ave SE  
 Lacey, WA 98503

**NOT FOR  
 CONSTRUCTION**

JOB NO.  
 086446 BY  
 DATE  
 10-25-2023  
 PROJECT  
 JPII

**PRESUBMISSION  
 PRESUBMISSION  
 SITE PLAN**

# A010





TOVAN | HART  
 600 N. COLUMBIA ST. 9W  
 OLYMPIA, WA 98501  
 P. 360.226.5274 • F. 360.350.2614

# JPII SITE FEASIBILITY

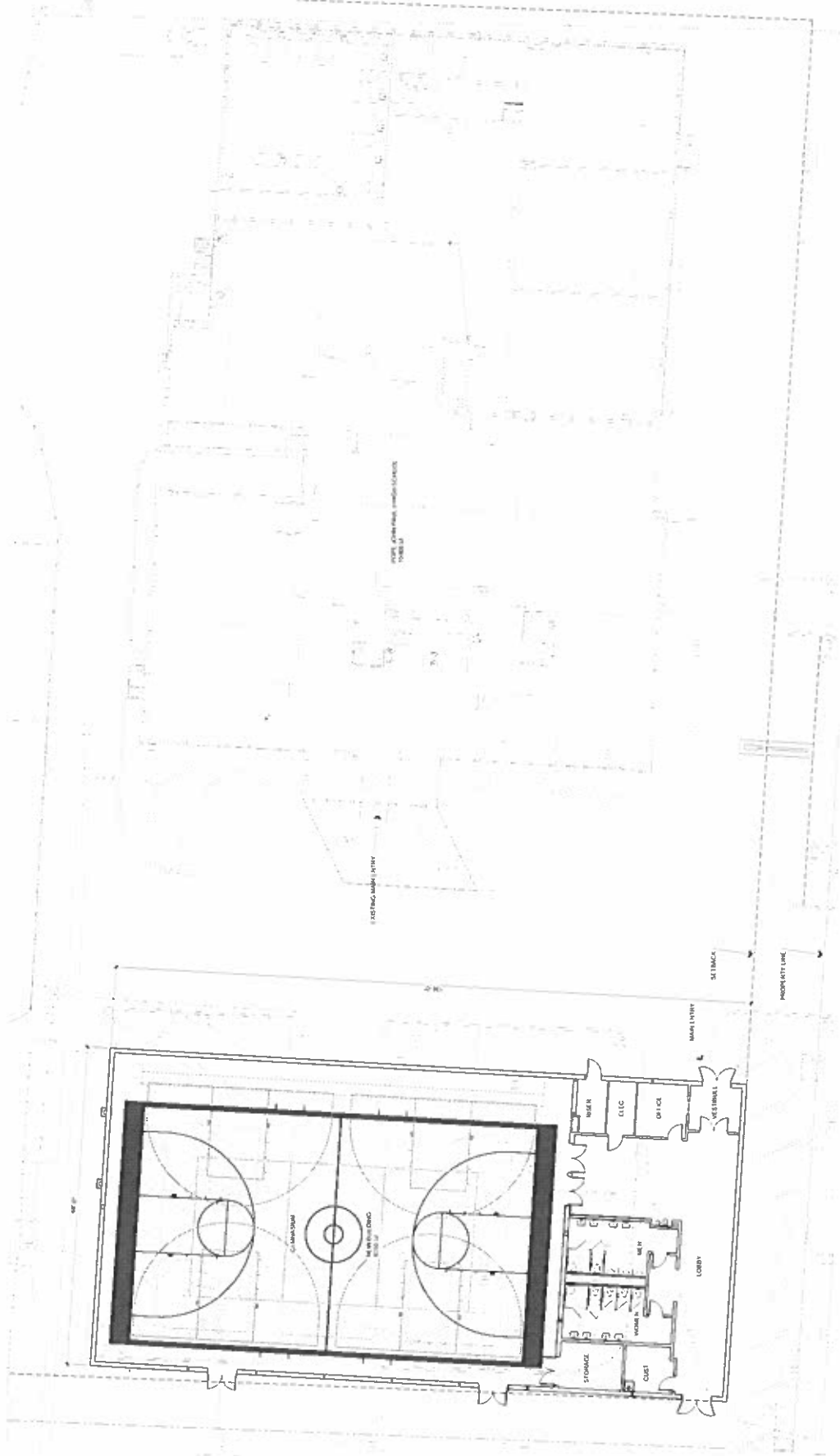
5608 Pacific Ave SE  
 Lacey, WA 98503

**NOT FOR  
 CONSTRUCTION**

JOB NO.  
 DRAWN BY  
 DATE  
 10-03-2023  
 PROJECT NO.

**PRESUBMISSION  
 PRESUBMISSION  
 ENLARGED SITE  
 PLAN**

**A011**



**1 ENLARGED SITE PLAN**

RECEIVED

OCT 16 2023

BY 23-0297



CITY OF LACEY
Community Development Department
420 College Street SE
Lacey, WA 98503
(360) 491-5642

OFFICIAL USE ONLY

Table with 1 column and 4 rows: CASE NUMBER, RELATED CASE NUMBERS, PLANNER ASSIGNED, PW ASSIGNED

PRESUBMISSION CONFERENCE REQUEST FORM

ONE WEEK PRIOR TO REQUESTED DATE, SUBMIT VIA EMAIL TO PLANNING@CI.LACEY.WA.US, OR TO LACEY CITY HALL. NO FEE IS REQUIRED.
SUBMISSION SHOULD INCLUDE COMPLETED APPLICATION, SITE PLAN DRAWING, VICINITY MAP AND TRAFFIC GENERATION WORKSHEET.

APPLICANT: Quyen Nguyen

ADDRESS: 17962 Marine View Drive SW CITY: Normandy WA STATE: WA ZIP: 98166
PHONE NUMBER: 206-853-5728 EMAIL: quyenseattle@gmail.com

REPRESENTATIVE:

ADDRESS: CITY: STATE: ZIP:
PHONE NUMBER: EMAIL:

PROJECT ADDRESS: 2626 College Street SE Lacey, WA 98503
ASSESSOR'S TAX PARCEL NUMBER(S): 11828220400
BRIEF DESCRIPTION OF PROJECT: To convert an existing daycare into a townhouse
TOTAL ACREAGE: 0.91 TOTAL SQ. FT OF BLDG: 2520 ZONING: LD
PROPOSED LAND USE: ( ) SINGLE-FAMILY ( ) MULTI-FAMILY ( ) INDUSTRIAL DUPLEX ( ) COMMERCIAL ( ) M.H. PARK
EXISTING ACCESS: College Street PROPOSED ACCESS: College Street

INDICATE PREFERENCE FOR A MEETING DATE AND TIME:
(MEETINGS ARE HELD THE 2ND AND 4TH WEDNESDAY OF EACH MONTH) DATE: 10/25/2023 TIME: 9:00 AM

A presubmission conference is an opportunity for the developer and/or their representative to meet with staff to discuss preliminary studies or sketches of the proposed project. At the conference, staff will make available, pertinent information relating to the proposed development. The intent is to identify and/or eliminate as many potential problems as possible in order for the project to be processed without delay. The conference should take place prior to detailed work by an engineer or surveyor; however, the site drawing submitted, should have sufficient information to allow for staff review. Discussion topics will include such things as Comprehensive Plan, Street Plan, Storm Run Off & Retention, Shoreline Master Program, Zoning, Availability of Water/Sewer, Development Concepts, other requirements and permits, and the environmental impact. If the applicant owns adjacent land, the possibilities of future development will be discussed. Written information regarding process, specific requirements & related issues, will be furnished at the meeting. Staff will typically visit the site prior to the meeting and may enter the property if deemed necessary to gain a full understanding of the project.



**TLS DESIGN-BUILD LLC**  
 1904 MARY FARM, WA 98144  
 TEL: 206-453-4728  
 QUTEN@TSLTBUILD.COM

**DANG'S RESIDENCE**  
 2828 COLLEGE STREET SE  
 LACEY, WA 98533

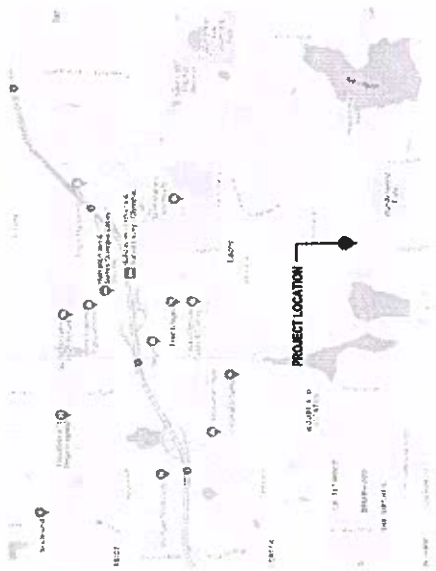
**SITE PLAN**

**REVISIONS:**

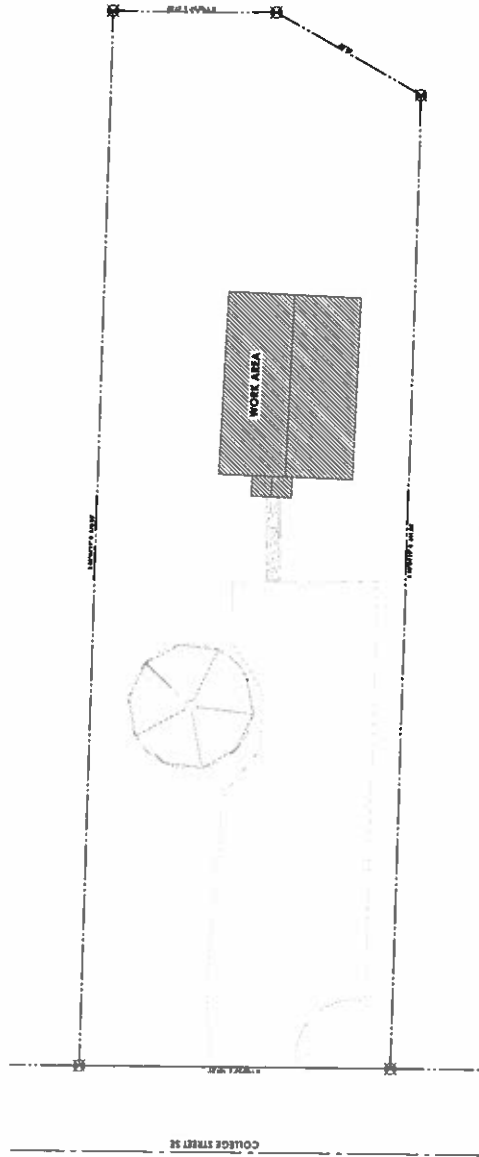

**CADD FILE:**

**DATE:** 10.17.2023  
**DESIGNED BY:**  
**CHECKED BY:**

**G-2**



**VICINITY MAP**



**SITE PLAN**  
 SCALE: 1" = 20'-0"

<b>SITE ADDRESS:</b> 2828 COLLEGE STREET SE LACEY, WA 98533	
<b>LEGAL DESCRIPTION:</b> SECTION 28 TOWNSHIP 18 RANGE 1W QUARTER NW 1/4 BLK 40 T18 DOCUMENT W07230.	
<b>PARCEL:</b> 11823220400	
<b>ZONE:</b> LD, LOW DENSITY RESIDENTIAL	<b>PROVIDE:</b> NO CHANGE NO CHANGE NO CHANGE NO CHANGE
<b>LOT AREA:</b> 39,840 SF (0.91 ACRE)	<b>ALLOWED:</b> 35'-0" 30'-0" 20'-0" 5'-0", 10'-0" TOTAL
<b>HEIGHT &amp; SETBACKS:</b> BASE HEIGHT: _____ STREET SETBACK: _____ SIDE SETBACK: _____	
<b>MAX. LOT COVERAGE:</b> TOTAL SITE AREA: 39,840 S.F. (0.91 ACRE) ALLOWABLE MAX. LOT COVERAGE: 50% OR 19,820 S.F. LOT COVERAGE: _____	