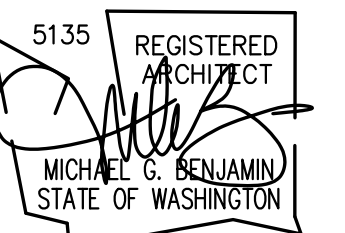


STUDIO 39 APARTMENTS

LACEY, WA



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"STUDIO 39"
APARTMENT BUILDING
420 GOLF CLUB RD SE
LACEY, WA 98503

WOODLAND DISTRICT REVIEW

CONTENTS

REVISIONS

PROJECT NO: 23-001
DATE: 14 MAR 24
DRAWN BY: JB

SHEET NO:

T1.0

ABBREVIATIONS	SYMBOLS	PROJECT TEAM	PROJECT DATA	DRAWING INDEX	APPLICABLE CODES																
<p>AB ANCHOR BOLT ACQUS ACQUSTICAL ACT ACQUSTICAL TILE ADJ ADJUSTABLE /ADJACENT AFF ABOVE FINISHED FLOOR ALT ALTERNATE ALUM ALUMINUM APPROX APPROXIMATE ARCH ARCHITECT AUTO AUTOMATIC BLKG BLOCKING BOT BOTTOM BKG BEARING BU BUILT UP CJ CONTROL JOINT CL CENTER LINE CLG CEILING CLR CLEAR CMU CONCRETE MASONRY UNIT CO CLEAN OUT COL COLUMN CONC CONCRETE CPT CARPET C.T. CERAMIC TILE DBL DOUBLE DF DRINKING FOUNTAIN DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DISP DISPENSER DN DOWN DS DOWNSPOUT DNG DRAWING EA EACH ELEG ELECTRIC EQ EQUAL EQUIP/EQUIPMENT EX EXISTING EXT EXTERIOR FD FLOOR DRAIN FE FIRE EXTINGUISHER FE&C FIRE EXTINGUISHER & CABINET DISP DISPENSER/DISPOSAL FF FINISHED FLOOR FN FINISH FLR FLOOR FLOR FLOURESCENT FND FOUNDATION FOC FACE OF CONCRETE</p>	<p>FOG FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR FTG FOOTING F.V. FIELD VERIFY GL GLASS GLU-LAM GLUE LAMINATED TIMBER GWB GYPSUM WALLBOARD HB HOSE BIBB HDR HEADER HMD HARD WOOD HM HOLLOW METAL HVAC HEATING/VENT/AIR CONDITION HW HOT WATER INT INTERIOR JAN JANITOR LAV LAVATORY LITG LIGHTING MAX MAXIMUM MECH MECHANICAL MFR MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS MTL METAL N.I.C. NOT IN CONTRACT NTS NOT TO SCALE OA OVER ALL O.C. ON CENTER PLASTIC LAMINATE PLYND FLYWOOD FR REINFORCED PT PRESSURE TREATED R&S ROD AND SHELF RB RUBBER BASE RD ROOF DRAIN REFER REFRIGERATOR RENF REINFORCED REQD REQUIRED RO ROUGH OPENING SECT SECTION SGL SAFETY GLASS SHTG SHEATHING SIM SIMILAR SV SHEET VINYL T&G TONGUE AND GROOVE TYP TYPICAL WB WOOD BASE WC WATER CLOSET WOOD WOOD WP WEATHERPROOF</p>	<p>OWNER: BROGAN COMPANIES 5020 JOPPA STREET SW TUMWATER, WA 98512 PH: 360-705-8426 CONTACT: KEN BROGAN</p> <p>ARCHITECT: MBA ARCHITECTS 806 NORTH 2ND STREET TACOMA, WA 98403 PH: 253-752-0409 CONTACT: MIKE BENJAMIN</p> <p>STRUCTURAL ENGINEER: SWENSON BAY FASSET 194 BRADWAY, SUITE 100 TACOMA, WA 98402 PH: 253-254-9470 CONTACT: CHRIS POTTER</p> <p>CIVIL ENGINEER: MCKENTON CIVIL 1145 BROADWAY, SUITE 115 TACOMA, WA 98402 PH: 253-319-1504 CONTACT: DENIS HARRIS</p> <p>MECHANICAL / PLUMBING: ROBSON ENGINEERS, INC. 19401 40TH AVENUE WEST SITE 302 LYNNWOOD, WA 98036 PH: 206-364-9343 CONTACT: JON ROBSON</p> <p>ELECTRICAL: ROBSON ENGINEERS, INC. 19401 40TH AVENUE WEST SITE 302 LYNNWOOD, WA 98036 PH: 206-364-9343 CONTACT: JON ROBSON</p>	<p>ADDRESS: 420 GOLF CLUB RD SE LACEY, WA 98503</p> <p>TAX PARCEL: 11017410601</p> <p>LEGAL DESCRIPTION: SECTION 11 TOWNSHIP 18 RANGE 1W QUARTER NE SE 55-6115 LT DOCUMENT 021/581</p> <p>SITE AREA: 0.14 ACRES</p> <p>ZONING: WOODLAND DISTRICT</p> <p>SETBACKS: GOLF CLUB ROAD BUILD-TO-LINE: AT FRONT PROPERTY LINE MINIMUM SIDE AND REAR YARD SETBACKS - 0' MINIMUM BUILDING HEIGHT - 30' ON GOLF CLUB</p> <p>CONSTRUCTION TYPE: V-B SPRINKLERED OCCUPANCY TYPE: R-2</p> <p>ALLOWABLE HEIGHTS & AREAS: R-2 OCCUPANCY 3 STORIES 513R 1,000 SF</p> <p>BUILDING AREA:</p> <table border="1"> <tr><td>FIRST FLOOR:</td><td>8,433 SF</td></tr> <tr><td>FIRST FLOOR ADDITION:</td><td>633 SF</td></tr> <tr><td>SECOND FLOOR:</td><td>8,433 SF</td></tr> <tr><td>SECOND FLOOR ADDITION:</td><td>674 SF</td></tr> <tr><td>TOTAL:</td><td>18,173 SF</td></tr> </table> <p>NEW OR REPLACED HARD SURFACE:</p> <table border="1"> <tr><td>SIDEWALK REPLACED:</td><td>1,041 SF</td></tr> <tr><td>BUILDING ADDITION:</td><td>674 SF</td></tr> <tr><td>TOTAL:</td><td>1,715 SF</td></tr> </table>	FIRST FLOOR:	8,433 SF	FIRST FLOOR ADDITION:	633 SF	SECOND FLOOR:	8,433 SF	SECOND FLOOR ADDITION:	674 SF	TOTAL:	18,173 SF	SIDEWALK REPLACED:	1,041 SF	BUILDING ADDITION:	674 SF	TOTAL:	1,715 SF	<p>T1.0 COVER SHEET, PROJECT DATA</p> <p>C1.0 CIVIL COVER SHEET SV1.0 TOPOGRAPHIC SURVEY C2.0 TEGS AND DEMOLITION PLAN C3.0 CIVIL SITE PLAN C3.1 CIVIL PLAN DETAILS C4.0 UTILITY PLAN C4.1 UTILITY DETAILS C4.2 UTILITY DETAILS</p> <p>L1.00 LANDSCAPE PLAN L1.01 PLANT LEGEND & IMAGES L1.02 PLANTING DETAILS L2.00 IRRIGATION PLAN</p> <p>A1.0 ARCHITECTURAL SITE PLAN A3.1 ELEVATIONS A3.2 BUILDING SECTIONS A1.1 ROOF PLAN</p>	<p>2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 UNIFORM PLUMBING CODE 2018 WASHINGTON STATE ENERGY CODE 2009 ICC A117.1 - 2004 2018 WASHINGTON STATE AMENDMENTS</p> <p>GENERAL NOTES</p> <p>CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS REPRESENTED WITHIN THESE DRAWINGS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONTINUING WORK THAT MAY BE AFFECTED BY SUCH DISCREPANCY. CONTRACTOR WILL BE RESPONSIBLE FOR ANY WORK DONE AFTER DISCOVERY OF ERROR(S)/OMISSIONS NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.</p> <p>VICINITY MAP</p> <p style="text-align: center;">SITE</p>
FIRST FLOOR:	8,433 SF																				
FIRST FLOOR ADDITION:	633 SF																				
SECOND FLOOR:	8,433 SF																				
SECOND FLOOR ADDITION:	674 SF																				
TOTAL:	18,173 SF																				
SIDEWALK REPLACED:	1,041 SF																				
BUILDING ADDITION:	674 SF																				
TOTAL:	1,715 SF																				

DEVELOPMENT TEAM

OWNER / APPLICANT

DAVE KNITTLE & BOB PRESLEY
PO BOX 67
OLYMPIA, WA 98507
CONTACT: DAVE KNITTLE
EMAIL: DKCONCRETE@AOL.COM
PHONE: (360) 329-1634

CIVIL ENGINEER

MOMENTUM CIVIL
1145 BROADWAY, SUITE 115
TACOMA, WA 98402
CONTACT: DREW HARRIS, P.E.
EMAIL: DREWH@MOMENTUMCIVIL.COM
PHONE: (253) 722-6059

CONTACT: TONY CALLAHAN, P.E.
EMAIL: TONYC@MOMENTUMCIVIL.COM
PHONE: (563) 451-2623

SURVEYOR

INFORMED LAND SURVEY
PO BOX 5137
TACOMA, WA 98415
CONTACT: EVAN WAHLSTROM, PLS
EMAIL: EWHLSTROM@I-LANDSURVEY.COM
PHONE: (253) 507-7787 EXT. 1004

ARCHITECT

M.B.A ARCHITECTS
806 N 2ND STREET
TACOMA, WA 98403
CONTACT: LAWRENCE ARANDA
PHONE: 253-752-9409
EMAIL: LAWRENCE@MBAARCHITECTS.COM

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLAN TO THE CITY OF LACEY PUBLIC WORKS FOR REVIEW AND OBTAIN APPROVAL PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY. MOMENTUM CIVIL ASSUMES NO RESPONSIBILITY FOR TRAFFIC CONTROL. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CITY OF LACEY STANDARDS. IF CITY OF LACEY STANDARDS DO NOT ADDRESS A PROJECT ELEMENT, THEN THE LATEST VERSION OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION SHALL APPLY UNLESS SUPERSEDED BY THIS PLAN SET, OR AN ORDER OF THE ENGINEER OR OWNER.
- CONTRACTOR TO INSTALL IRRIGATION SLEEVING AND ELECTRICAL AND LIGHTING CONDUIT BASED ON LANDSCAPE AND ELECTRICAL/LIGHTING PLANS, RESPECTIVELY.

SITE INFORMATION

PARCEL NUMBER(S): 8612030015
PROJECT ADDRESS: 420 GOLF CLUB RD SE LACEY, WA 98503
PARCEL AREA: 32,387 SF (0.74 ACRES)

SURFACE COVERAGE SUMMARY:

NEW AND REPLACED IMPERVIOUS SURFACE:	2,325+/- SF (0.05 AC)
EFFECTIVE IMPERVIOUS SURFACE:	2,325+/- SF (0.05 AC)
NEW & REPLACED POLLUTION GENERATING HARD SURFACE:	76+/- SF (0.002 AC)
LANDSCAPING/TOPSOIL AMENDMENT AREA:	535+/- SF (0.01 AC)
TOTAL DISTURBED AREA:	2,860+/- SF (0.07 AC)

SITE VOLUME CALCULATIONS

CUT VOLUME	3 CY
FILL VOLUME	11 CY
NET VOLUME	8 CY <FILL>

EARTHWORK NOTE: ALL VOLUMES ARE APPROXIMATE AND ARE PROVIDED FOR PERMITTING PURPOSES ONLY AND REPRESENT THE FINISH GRADE TO EXISTING GRADE AS SHOWN ON THE PLANS. CONTRACTOR SHALL RELY ON THEIR OWN ESTIMATES FOR DETERMINING ACTUAL EARTHWORK QUANTITIES. THE VOLUMES LISTED ABOVE DO NOT ACCOUNT FOR STRIPPINGS, IMPORTED SUBGRADE MATERIALS, PAVEMENT DEPTHS, TRENCHING, STRUCTURAL EXCAVATION, EXPANSION/COMPACTION FACTORS, OR ANY SOIL TYPE RESTRICTIONS.

TOPOGRAPHIC SURVEY DISCLAIMER

THE EXISTING CULTURAL AND TOPOGRAPHIC DATA SHOWN ON THESE PLANS HAS BEEN PREPARED BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, MOMENTUM CIVIL CANNOT ENSURE ITS ACCURACY AND THIS IS NOT RESPONSIBLE FOR THE ACCURACY OF THAT INFORMATION OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE PLANS AS A RESULT.

FIRE SPRINKLER DESIGN

AN APPROVED NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) FIRE SPRINKLER SYSTEM IS REQUIRED FOR THE PROPOSED STRUCTURE. REFER TO FIRE SPRINKLER PLANS PREPARED BY OTHERS FOR ALL INTERIOR COMPONENTS.

FILL SPECIFICATION

FILL MATERIAL SHALL NOT CONTAIN PETROLEUM PRODUCTS, OR ANY KNOWN SUBSTANCES THAT ARE TOXIC, HAZARDOUS, DANGEROUS, OR WHICH OTHERWISE VIOLATE ANY STATE, FEDERAL, OR LOCAL LAW, ORDINANCE CODE, REGULATION RULE, ORDER, OR STANDARD OF AN AGENCY HAVING JURISDICTION. ALL FILL MATERIAL SHALL BE EARTHEN, BE CAPABLE OF COMPACTION IN COMPLIANCE WITH ASTM D1557, AND BE IN COMPLIANCE WITH THE PROJECT-SPECIFIC GEOTECHNICAL RECOMMENDATIONS.

POST-CONSTRUCTION SOIL QUALITY AND DEPTH

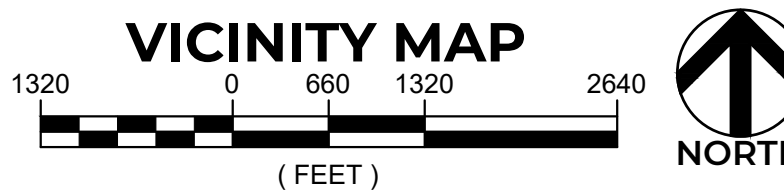
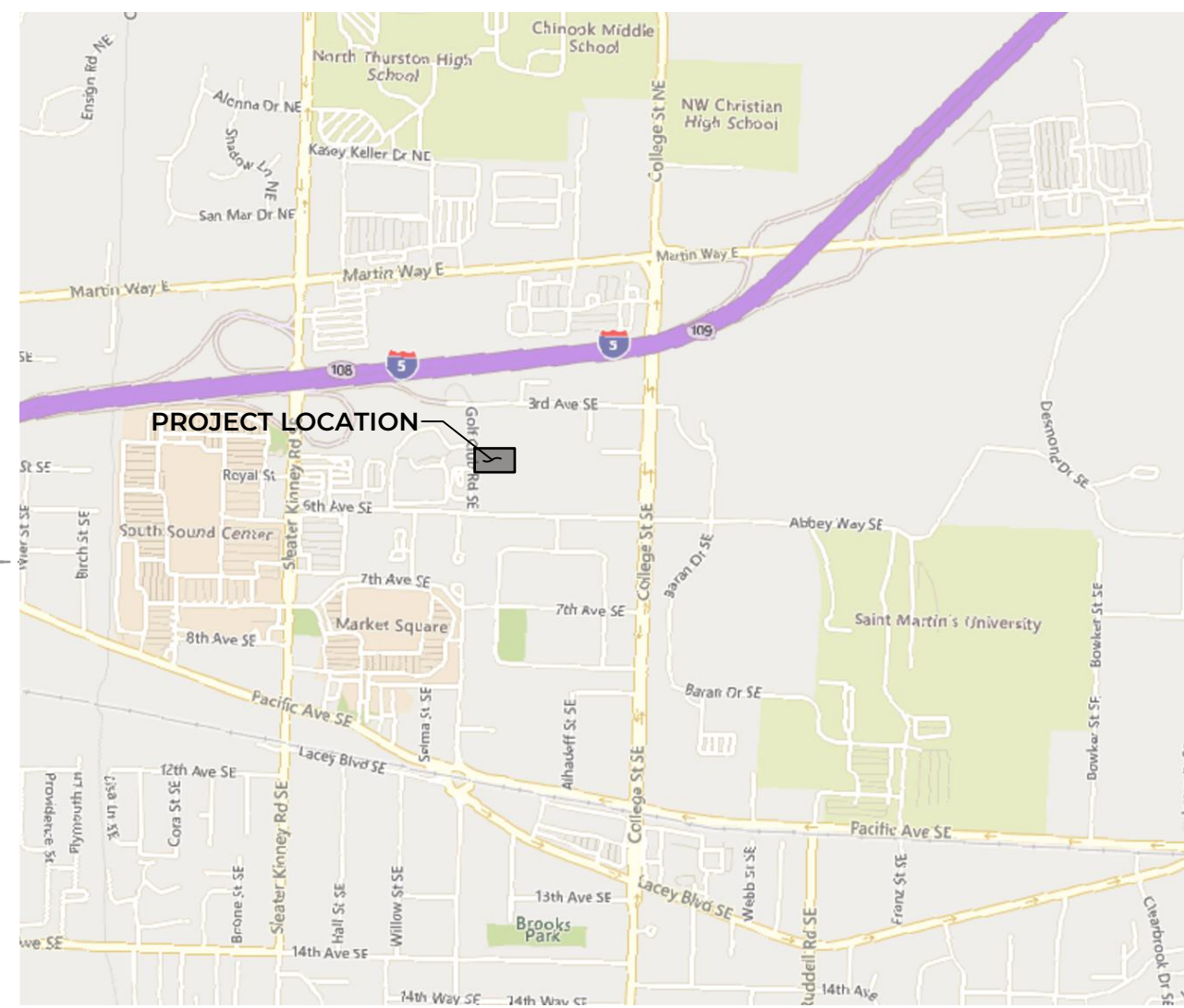
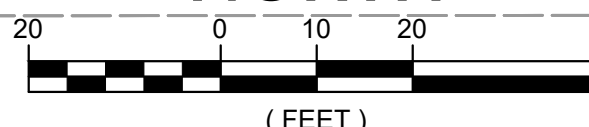
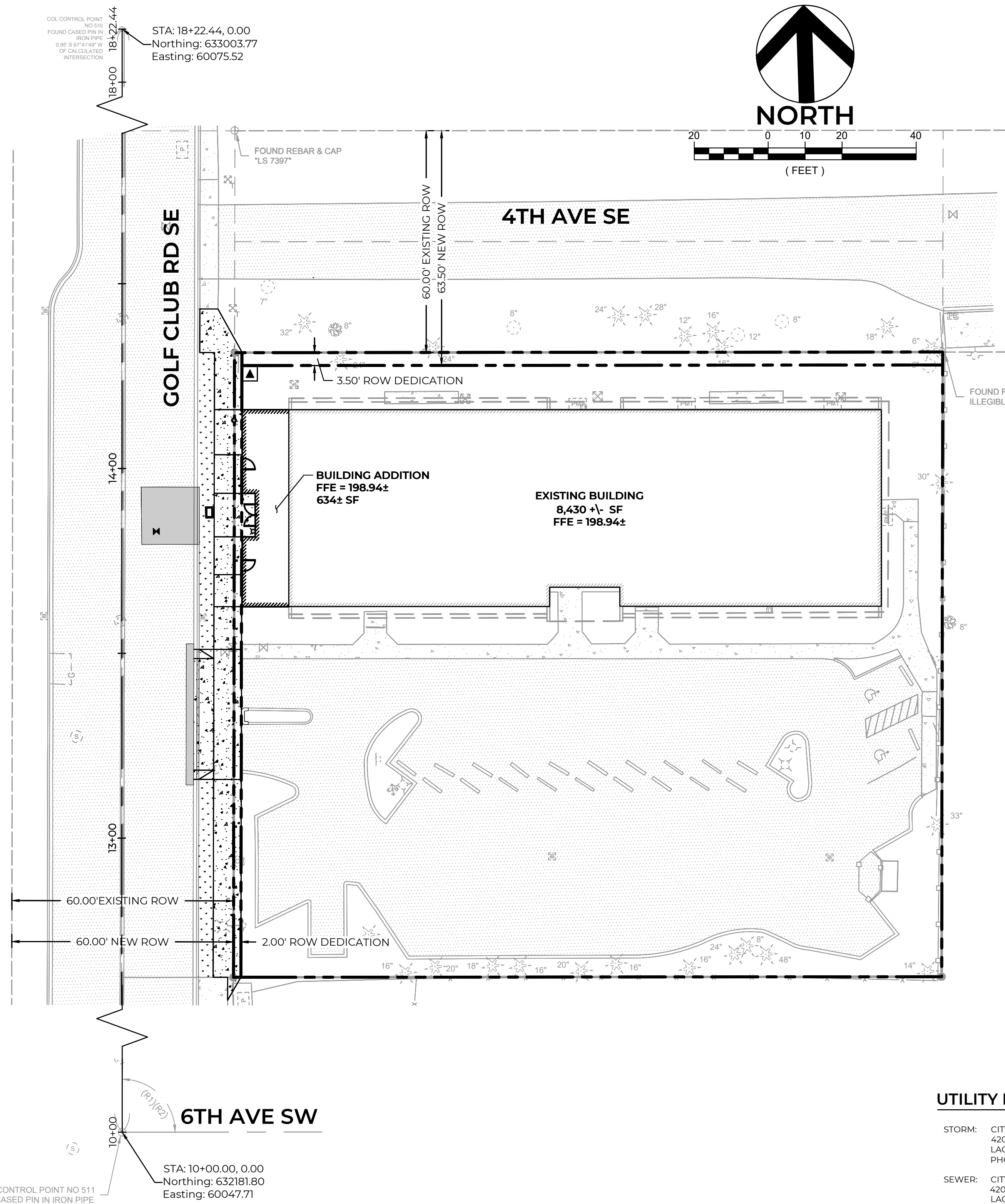
ALL DISTURBED SOILS THAT ARE TO REMAIN VEGETATED IN THE POST-DEVELOPED CONDITION SHALL BE AMENDED IN-PLACE TO COMPLY WITH DEPARTMENT OF ECOLOGY BEST MANAGEMENT PRACTICE (BMP) TS13.

EXISTING CONDITIONS VERIFICATION

PRIOR TO ANY EXCAVATION ACTIVITIES, THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED. EXISTING UTILITIES SHALL BE POT-HOLED AT THE LOCATION WHERE NEW CONNECTIONS ARE PROPOSED TO VERIFY INVERTS, MATERIALS, SIZE, AND GENERAL CONFORMANCE WITH THESE PLANS. CONTACT PROJECT ENGINEER IF CONDITIONS ARE DIFFERENT THAN ANTICIPATED.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY AND GENERAL SITE FEATURES ARE CONSISTENT WITH THESE PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED IMPROVEMENTS. CONTACT PROJECT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.

STUDIO 39 APARTMENTS



Sheet List Table

SHEET NO.	REF. NO.	SHEET TITLE
1	C1.0	CIVIL COVER
2	SV1.0	TOPOGRAPHIC SURVEY
3	C2.0	TESC AND DEMOLITION PLAN
4	C3.0	CIVIL SITE PLAN
5	C3.1	CIVIL PLAN DETAILS
6	C4.0	UTILITY PLAN
7	C4.1	UTILITY DETAILS
8	C4.2	UTILITY DETAILS

UTILITY PURVEYORS / SERVICES

STORM:	CITY OF LACEY PUBLIC WORKS 420 COLLEGE STREET SE LACEY, WA 98503 PHONE: (360) 491-5600	POWER:	PUGET SOUND ENERGY PHONE: (888) 321-7779
SEWER:	CITY OF LACEY PUBLIC WORKS 420 COLLEGE STREET SE LACEY, WA 98503 PHONE: (360) 491-5600	GAS:	PUGET SOUND ENERGY PHONE: (888) 321-7779
WATER:	CITY OF LACEY PUBLIC WORKS 420 COLLEGE STREET SE LACEY, WA 98503 PHONE: (360) 491-5600	CABLE/TELEPHONE/INTERNET:	COMCAST/XFINITY PHONE: (800) 934-6489 CENTURYLINK/LUMEN PHONE: (866) 642-0444
FIRE:	CITY OF LACEY FIRE DISTRICT 3 1231 FRANZ STREET SE LACEY, WA 98503 PHONE: (360) 491-2410		

NO.	DATE	REVISION DESCRIPTION



PERMIT SET

STUDIO 39 APARTMENTS
DAVE KNITTLE
CIVIL COVER
420 GOLF CLUB RD SE
LACEY, WA



CHECKED BY:	D. HARRIS
DESIGNED BY:	T. CALLAHAN
DRAWN BY:	J. SANTOS
HORIZ. DATUM:	NAD83/91
VERT. DATUM:	NGVD29
DATE:	3/13/2024
PROJECT NO.:	DKCO-01
SHEET NO.:	1 of 8
REFERENCE NO.:	C1.0



Know what's below.
Call before you dig.

Plot Date: 3/13/2024 5:09 PM
Save Date: 3/13/2024 4:38 PM
By: jazmin_santos
By: TonyCallahan; File: P:\BIBROG001-Studio_39\040CAD\Sheets\SD\VCV-BROG001.dwg

TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

PARCEL 2 OF SHORT SUBDIVISION NO. SS-6115 RECORDED DECEMBER 3, 1986 UNDER RECORDING NO. 8612030015; EXCEPTING THEREFROM THE NORTH 60 FEET AS CONVEYED TO THE CITY OF LACEY BY DEEDS RECORDED MARCH 29, 1989 UNDER RECORDING NOS. 8903290113 AND 8903290114; IN THURSTON COUNTY, WASHINGTON

SURVEYOR'S NOTES

1. THE PURPOSE OF THIS SURVEY IS TO DETERMINE THE LOCATION OF THE BOUNDARIES AND PROVIDE TOPOGRAPHIC INFORMATION OF THE PARCEL AS DESCRIBED HEREON.
2. THIS SURVEY WAS MADE BY FIELD TRAVERSE USING A GEOMAX ZOOM 90 2" ROBOTIC TOTAL STATION AND TOPCON HIPER SR GPS WITH RESULTING CLOSURES EXCEEDING THE MINIMUM ACCURACY STANDARDS AS SET FORTH BY WAC 332-130.
3. THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
4. THE TITLE REPORT WAS PROVIDED BY CHICAGO TITLE COMPANY OF WASHINGTON, COMMITMENT NUMBER CTTC220056488, DATED JANUARY 30, 2023 AT 8:00 AM.
5. FIELD WORK FOR THIS PROJECT WAS PERFORMED IN SEPTEMBER, 2023 AND IS THEREFORE A REFLECTION OF THE CONDITIONS AT THAT TIME. ALL MONUMENTS WERE VISITED OR SET IN SEPTEMBER, 2023.

HORIZONTAL DATUM/BASIS OF BEARINGS

THE HORIZONTAL DATUM FOR THIS SURVEY IS THE CITY OF LACEY COORDINATE SYSTEM, PER TIES TO CITY OF LACEY MONUMENT #511 FOUND AT THE INTERSECTION OF GOLF CLUB RD SE AND 6TH AVE SE AND CITY OF LACEY MONUMENT #510 FOUND AT THE INTERSECTION OF GOLF CLUB RD SE AND 3RD AVE SE. THE BEARING BETWEEN SAID MONUMENT BEING NORTH 01°56'15" EAST AS SHOWN HEREON.

VERTICAL DATUM

THE VERTICAL DATUM FOR THIS SURVEY IS NGVD29, PER TIES TO CITY OF LACEY BENCHMARK #1092 ELEVATION 201.272 FEET FOUND AT THE NORTHEAST CORNER OF THE INTERSECTION OF 6TH AVE SE AND GOLF CLUB PL SE. UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

REFERENCE SURVEYS

- R1) SHORT PLAT, RECORDING NO 8612030015
- R2) RECORD OF SURVEY, RECORDING NO 3782212
- R3) RECORD OF SURVEY, RECORDING NO 3096676

RECORDS OF THURSTON COUNTY AUDITOR'S OFFICE

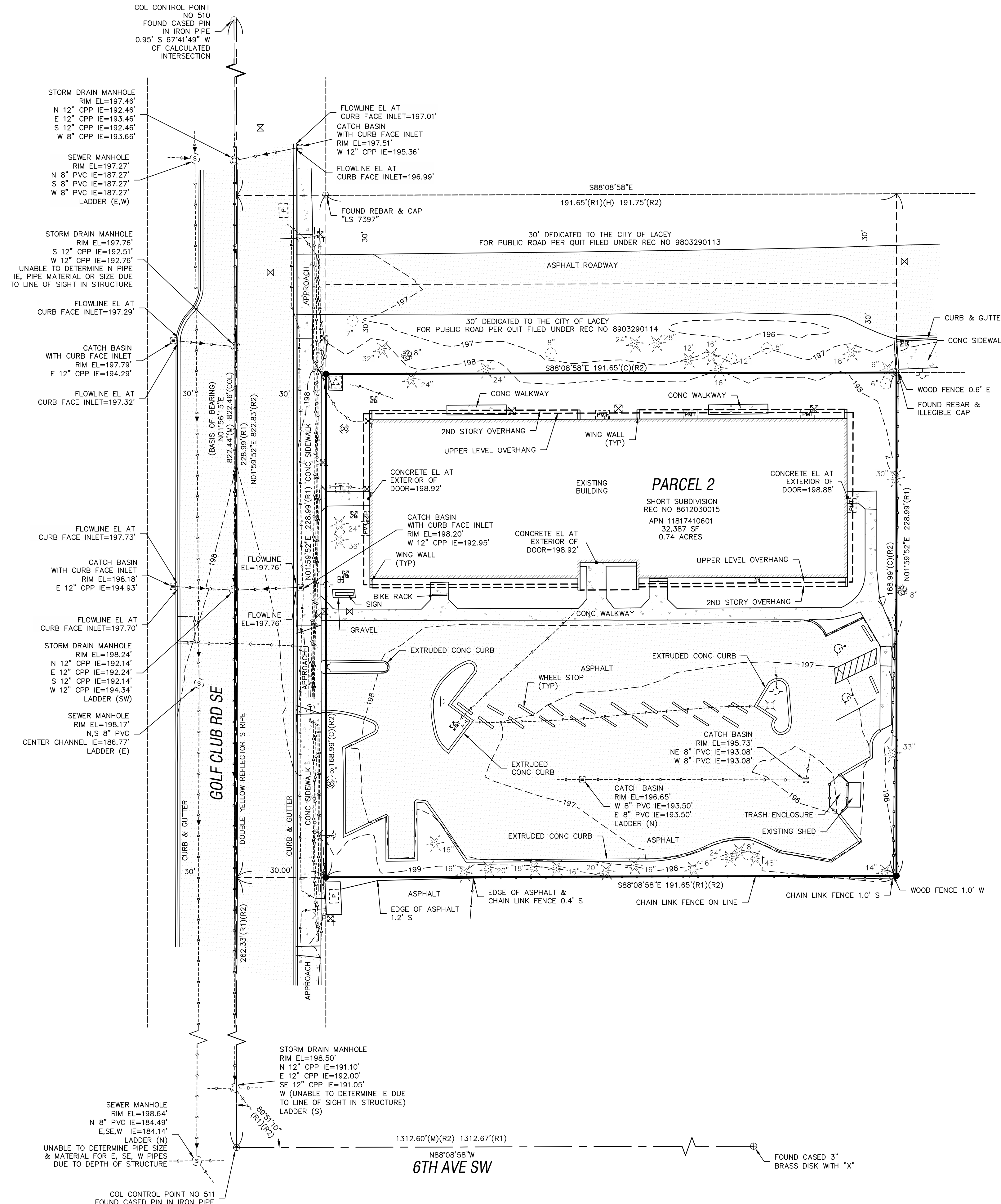
EASEMENTS OF RECORD

(PER TITLE REPORT PROVIDED BY CHICAGO TITLE COMPANY OF WASHINGTON, COMMITMENT NUMBER CTTC220056488, DATED JANUARY 30, 2023 AT 8:00 AM.):

7. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL HERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY
PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE
RECORDING DATE: DECEMBER 12, 1974
RECORDING NO.: 925522
AFFECTS: PORTION OF SAID PREMISES
SURVEYOR'S NOTE: THIS EASEMENT AFFECTS THE PROPERTY BUT IS BLANKET IN NATURE, NOT SHOWN ON MAP.
8. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, ENCROACHMENTS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, AS SET FORTH ON SHORT SUBDIVISION NO. SS-6115;
RECORDING NO.: 8612030015
SURVEYOR'S NOTE: DOCUMENT CONTAINS PROVISIONS PERTAINING TO THE RIGHT TO MAKE NECESSARY CUTS AND FILLS OVER LOTS IN SHORT PLAT ABUTTING PRIVATE OR PUBLIC STREETS.
9. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON PROPERTY HEREIN DESCRIBED AS GRANTED OR RESERVED IN DEED
IN FAVOR OF: CITY OF LACEY
RECORDING DATE: MARCH 29, 1989
RECORDING NO.: 8903290113
SURVEYOR'S NOTE: THIS ITEM AFFECTS THE PARCEL, PORTION DEEDED TO THE CITY OF LACEY SHOWN ON MAP. DOCUMENT CONTAINS PROVISIONS PERTAINING TO THE RIGHT TO MAKE CUTS AND FILLS.
10. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON PROPERTY HEREIN DESCRIBED AS GRANTED OR RESERVED IN DEED
IN FAVOR OF: CITY OF LACEY
RECORDING DATE: MARCH 29, 1989
RECORDING NO.: 8903290114
SURVEYOR'S NOTE: THIS ITEM AFFECTS THE PARCEL, PORTION DEEDED TO THE CITY OF LACEY SHOWN ON MAP. DOCUMENT CONTAINS PROVISIONS PERTAINING TO THE RIGHT TO MAKE CUTS AND FILLS.

NOTE:
THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SIZE, TYPE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION, AND INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES.

Call Before You Dig
1-800-424-5555



LEGEND

- ⊕ FOUND CASED MONUMENT (AS SHOWN)
 - SET REBAR & CAP EMW LS #44651
 - FOUND REBAR & CAP (AS SHOWN)
 - ⊠ GAS VALVE
 - A/C UNIT
 - ⊠ POWER METER
 - ⊠ POWER VAULT
 - ⊠ POWER TRANSFORMER
 - ⊠ STREET LIGHT
 - ⊠ LOT LIGHT
 - ⊠ COMMUNICATION PEDESTAL
 - ⊠ COMMUNICATION VAULT
 - ⊠ STORM DRAIN CATCH BASIN
 - ⊠ STORM DRAIN MANHOLE
 - ⊠ SEWER CLEANOUT
 - ⊠ SEWER MANHOLE
 - ⊠ HOSE BIB
 - ⊠ IRRIGATION CONTROL BOX
 - ⊠ FIRE DEPARTMENT CONNECTION
 - ⊠ FIRE HYDRANT
 - ⊠ WATER METER
 - ⊠ WATER VALVE
 - ⊠ SIGN
 - ⊠ DECIDUOUS TREE
 - ⊠ CONIFER TREE
 - ⊠ CEDAR TREE
 - (R) DISTANCE OR ANGLE PER REFERENCE
 - (M) DISTANCE AS MEASURED
 - (C) DISTANCE AS CALCULATED
- COL CITY OF LACEY
- WOOD FENCE
 - CHAIN LINK FENCE
 - STORM DRAIN LINE
 - SEWER LINE
 - GAS PAINT LINE
 - WATER PAINT LINE
 - COMMUNICATIONS PAINT LINE
 - POWER PAINT LINE

SHT. 2 OF 8

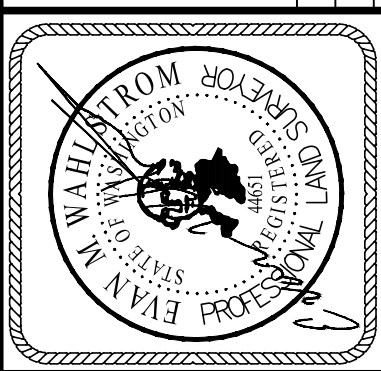
LOCATED IN NE 1/4 OF THE SE 1/4 OF SECTION 17, TOWNSHIP 16N, RANGE 11W, W.M.

FOR: MOMENTUM CIVIL ENGINEERING CONSULTANTS

CITY OF LACEY, THURSTON COUNTY, WA

TOPOGRAPHIC SURVEY

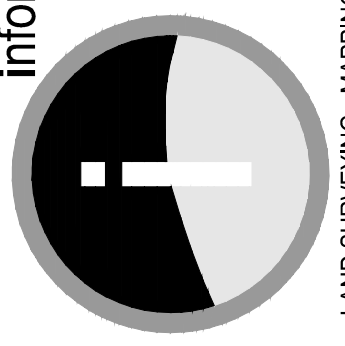
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FIELD CREW: AJ, GL



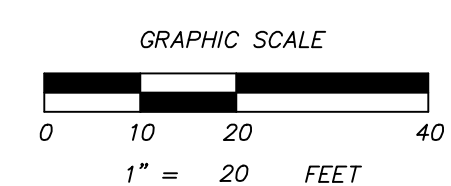
420 GOLF CLUB RD SE
LACEY, WA 98503
TAX PARCEL NO. 11817410601

informed land survey

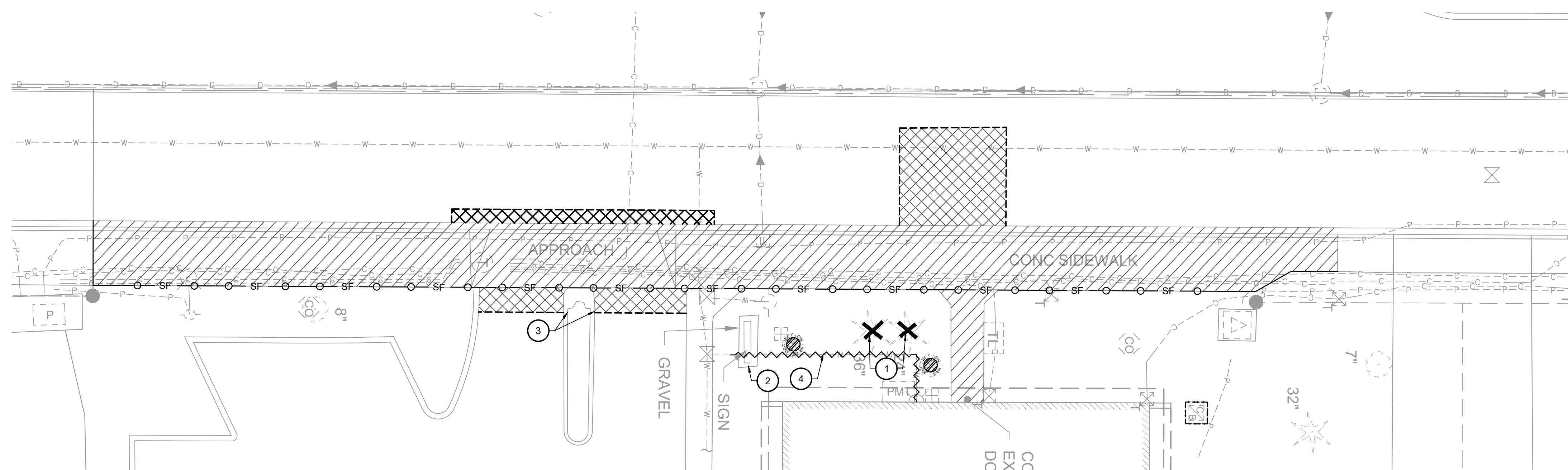
PO Box 5137
Tacoma, WA 98415-0137
Phone: 252-822-2070
adam@landsurvey.com
www.landsurvey.com



LAND SURVEYING - MAPPING - CONSTRUCTION LAYOUT



A PORTION OF THE NE 1/4 OF THE SE 1/4 OF SECTION 17, TOWNSHIP 18N, RANGE 1W, W.M.



TESC AND DEMOLITION LEGEND

- PROPERTY LINE
- FULL DEPTH PAVEMENT SAWCUT LINE
- SF ○ SILT FENCE
- TRIANGULAR FOAM SILT DIKE
- CURB REMOVAL
- HMA PAVEMENT REMOVAL
- CONCRETE SIDEWALK REMOVAL
- STORM DRAINAGE INLET PROTECTION
- TREE & STUMP REMOVAL
- 197 EXISTING MINOR CONTOUR
- 198 EXISTING MAJOR CONTOUR
- 197 PROPOSED MINOR CONTOUR
- 198 PROPOSED MAJOR CONTOUR

TESC AND DEMOLITION KEYNOTES

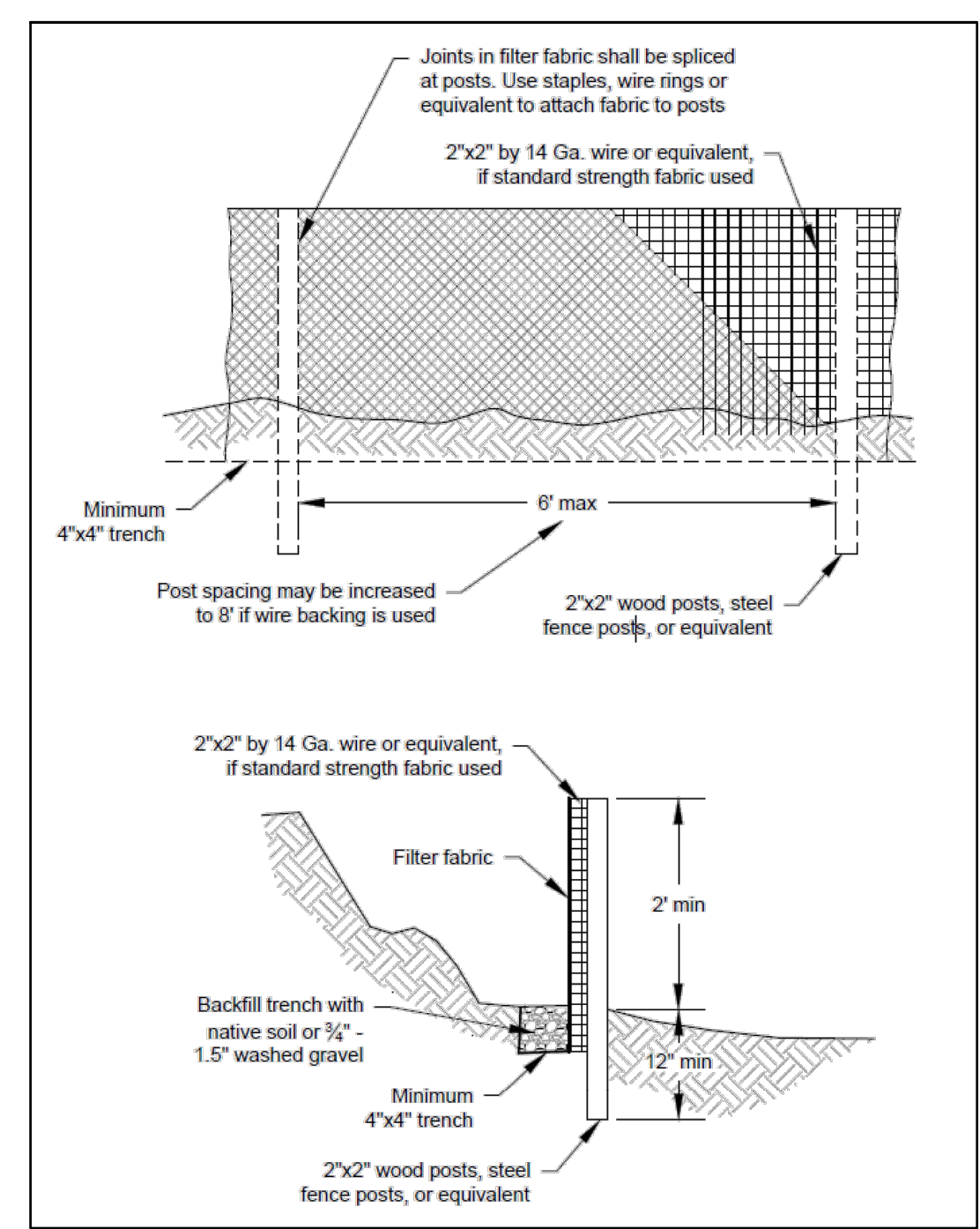
- ① REMOVE EXISTING TREE ENCRANCHING ON PROPOSED SIDEWALK AND/OR BUILDING ADDITION.
- ② DEMOLISH EXISTING SIGN AND ASSOCIATED FOUNDATION.
- ③ REMOVE CURBING IN ISLAND TO ALLOW FOR NEW SIDEWALK CONSTRUCTIONS. (SEE SITE PLAN)
- ④ REMOVE EXISTING 6" PIPE DOWNSTREAM OF NEW FIRE HYDRANT LOCATION SEE SHEET C4.0 FOR NEW FIRE HYDRANT LOCATION.

GENERAL DEMOLITION NOTES

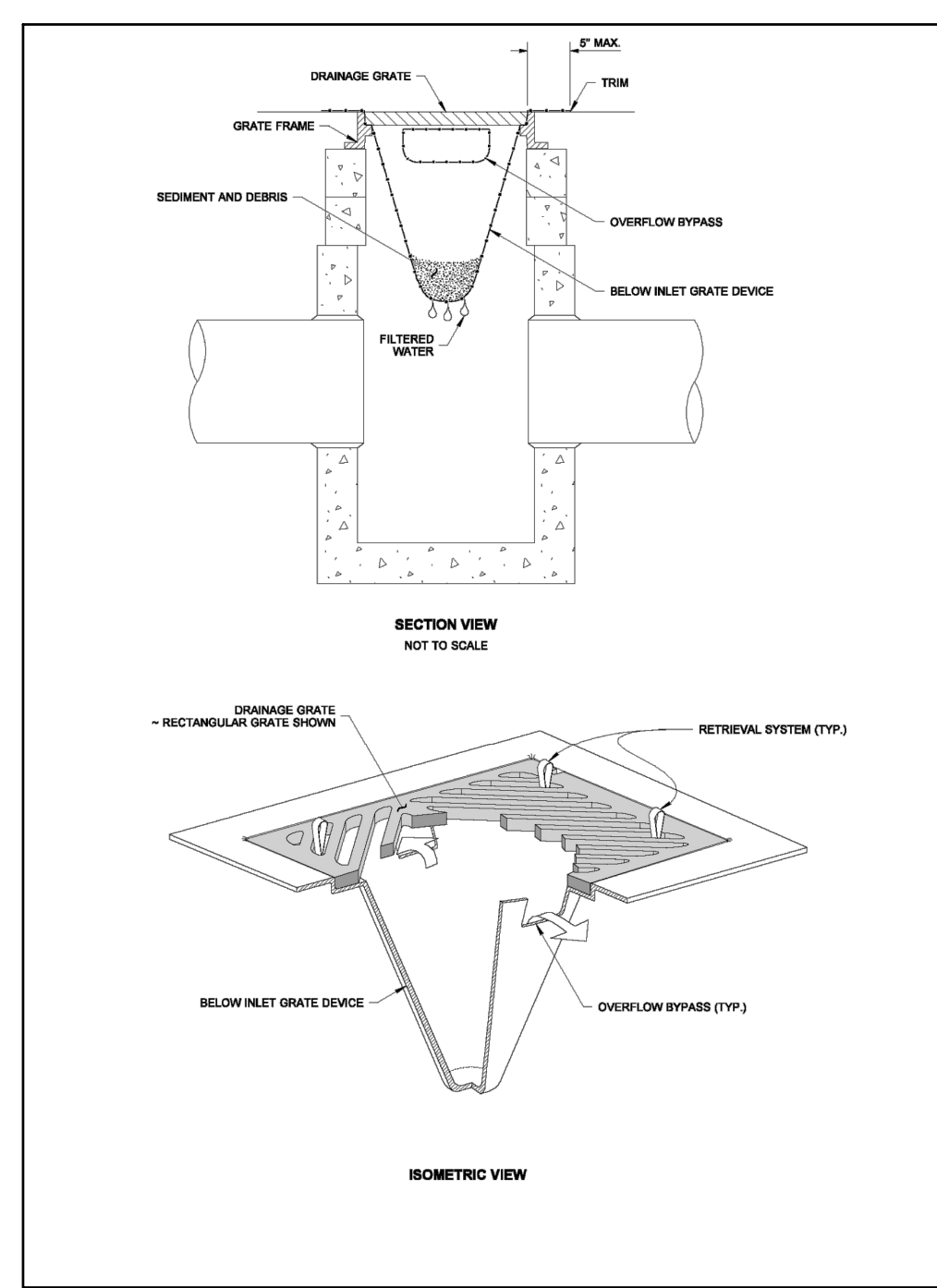
1. CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY PURVEYORS REGARDING CONFLICTS, REMOVAL, OR RELOCATION OF EXISTING FACILITIES.
2. CONTRACTOR SHALL PROTECT ALL UTILITIES / STRUCTURES TO REMAIN, AND ADJUST RIMS TO FINISHED GRADE.
3. CONTRACTOR TO POTHOLE AND VERIFY PROPOSED CROSSINGS AND CONNECTIONS WITH EXISTING UTILITIES. VERIFY PIPE SIZE AND INVERTS. NOTIFY ENGINEER OF ANY CONFLICT WITH DESIGN.
4. PROTECT AND PRESERVE ALL ADJACENT IMPROVEMENTS. COORDINATE WITH OWNER/ENGINEER IF CONFLICTS EXIST OR CONDITIONS ARE DIFFERENT THAN SHOWN.
5. PROTECT AND PRESERVE ALL SITE IMPROVEMENTS NOT DESIGNATED FOR DEMOLITION.

RECOMMENDED CONSTRUCTION SEQUENCE

1. MARK CLEARING AND DEMOLITIONS LIMITS.
2. INSTALL INLET PROTECTION AROUND EXISTING STORM DRAIN INLETS.
3. INSTALL CONSTRUCTION ENTRANCES, SILT FENCES, SEDIMENT TRAPS, AND CONSTRUCTION FENCES ON THE SITE.
4. INSTALL PERMANENT STORMWATER CONVEYANCE SYSTEM. INSTALL INLET PROTECTION IN STRUCTURES AS THEY ARE INSTALLED.
5. BEGIN DEMOLITION.
6. GRADE SITE.
7. INSTALL UTILITIES, IRRIGATION SLEEVES, CURBS AND GUTTER.
8. CONSTRUCT BUILDING.
9. PREPARE SITE FOR PAVING.
10. PAVE SITE
11. COMPLETE PAVING AND PERMANENTLY STABILIZE THE SITE.
12. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER SITE IS PERMANENTLY STABILIZED.



A CATCH BASIN INLET PROTECTION
SCALE: NTS



B SILT FENCE
SCALE: NTS

SEEDING NOTES - CITY OF LACEY STORMWATER DESIGN MANUAL

1. USE SEEDING THROUGHOUT THE PROJECT ON DISTURBED AREAS THAT HAVE REACHED FINAL GRADE OR THAT WILL REMAIN UNWORKED FOR MORE THAN 30 DAYS.
2. THE OPTIMUM SEEDING WINDOWS FOR WESTERN WASHINGTON ARE APRIL 1 THROUGH JUNE 30 AND SEPTEMBER 1 THROUGH OCTOBER 1.
3. BETWEEN JULY 1 AND AUGUST 30, SEEDING REQUIRES IRRIGATION UNTIL 75 PERCENT GRASS COVER IS ESTABLISHED.
4. BETWEEN OCTOBER 1 AND MARCH 30, SEEDING REQUIRES A COVER OF MULCH WITH STRAW OR AN EROSION CONTROL BLANKET UNTIL 75 PERCENT GRASS COVER IS ESTABLISHED.
5. WHERE THE TERM "FULLY ESTABLISHED" IS USED TO DESCRIBE VEGETATIVE COVER OR PLANTINGS, IT SHALL BE UNDERSTOOD TO MEAN THAT HEALTHY VEGETATION COVERS 90 PERCENT OF EXPOSED SOIL.

SILT FENCE NOTES - CITY OF LACEY STORMWATER DESIGN MANUAL

1. FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A 6 INCH MINIMUM OVERLAP, AND SECURELY FASTENED AT BOTH ENDS TO POST.
2. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30 INCHES).
3. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 8 INCHES WIDE AND 12 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
4. WHEN STANDARD STRENGTHEN FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
5. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
6. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POST WITH ALL OTHER PROVISIONS OF ABOVE NOTES APPLYING.
7. SILT FENCES SHALL NOT BE REMOVED BEFORE THE UNSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
8. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

RECOMMENDED CSWPPP BMPS

- ELEMENT 1: PRESERVE VEGETATION/MARK CLEARING LIMITS**
-SILT FENCE (BMP C233)
- ELEMENT 2: ESTABLISH CONSTRUCTION ENTRANCE**
-NOT APPLICABLE
- ELEMENT 3: CONTROL FLOW RATES**
-WATTLES (BMP C235)
- ELEMENT 4: INSTALL SEDIMENT CONTROLS**
-SILT FENCE (BMP C233)
-WATTLES (BMP C235)
- ELEMENT 5: STABILIZE SOILS**
-TEMPORARY AND PERMANENT SEEDING (BMP C120)
-DUST CONTROL (BMP C140)
- ELEMENT 6: PROTECT SLOPES**
-TEMPORARY AND PERMANENT SEEDING (BMP C120)
- ELEMENT 7: PROTECT DRAIN INLETS**
-STORM DRAIN INLET PROTECTION (BMP C220)
- ELEMENT 8: STABILIZE CHANNELS AND OUTLETS**
-NOT APPLICABLE
- ELEMENT 9: CONTROL POLLUTANTS**
-CONCRETE HANDLING (BMP C151)
-SAWCUTTING AND SURFACING POLLUTION PREVENTION (BMP C152)
-MATERIAL DELIVERY, STORAGE CONTAINMENT (BMP C153)
-CONCRETE WASHOUT AREA (BMP C154)
- ELEMENT 10: CONTROL DE-WATERING**
-NOT APPLICABLE
- ELEMENT 11: MAINTAIN BMPS**
-MATERIALS ON HAND (BMP C150)
-CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (BMP C160)
- ELEMENT 12: MANAGE THE PROJECT**
-MATERIALS ON HAND (BMP C150)
-CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (BMP C160)
-SCHEDULING (BMP C162)
- ELEMENT 13: PROJECT LOW IMPACT DEVELOPMENT BMPS**
-NOT APPLICABLE

STORMWATER OR DEWATERING WATER FROM THE EXCAVATION SHALL BE DISCHARGED AT THE LOCATION SHOWN. ALL STORMWATER OR DEWATERING WATER DISCHARGED FROM THE SITE MUST MEET THE EFFLUENT LIMITATIONS SET FORTH IN THE DEPARTMENT OF ECOLOGY'S GENERAL STORMWATER PERMIT. IF NECESSARY, CONTRACTOR SHALL PROVIDE A SETTLING TANK/POND OR A FILTRATION UNIT TO MAINTAIN COMPLIANCE WITH THIS STATE-WIDE ORDINANCE.

PROTECT ALL EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL THROUGHOUT CONSTRUCTION. PARTICULAR ITEMS ARE CALLED OUT FOR PROTECTION WITHIN THIS PLAN SET FOR EMPHASIS ONLY AND THE LIST IS NOT ALL-INCLUSIVE. CONTACT ENGINEER OR OWNER IF THERE IS ANY UNCERTAINTY PERTAINING TO THE LIMITS OF DEMOLITION OR EXISTING ITEMS TO REMAIN.

THIS TEMPORARY EROSION AND SEDIMENT CONTROL (T.E.S.C.) PLAN REPRESENTS A MINIMAL LEVEL OF BMPS ANTICIPATED FOR THIS SITE. THE CONTRACTOR SHALL MODIFY AND AUGMENT THIS T.E.S.C. PLAN AS NECESSARY TO FULFILL ALL THE REQUIREMENTS OF THE SITE SPECIFIC CONSTRUCTION STORM WATER PERMIT.

CAUTION
LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE AND MAY NOT BE ACCURATE OR ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION OF UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR MUST CALL 1-800-424-5555 NOT LESS THAN TWO FULL BUSINESS DAYS BEFORE BEGINNING EXCAVATION WHERE ANY UNDERGROUND UTILITIES MAY EXIST. EXISTING UTILITIES TO BE LOCATED, PROTECTED, AND REPAIRED IN ACCORDANCE WITH RCW 19.122.

NO.	DATE	REVISION DESCRIPTION	BY	CHK



PERMIT SET

STUDIO 39 APARTMENTS
DAVE KNITTLE
TESC AND DEMOLITION PLAN
420 GOLF CLUB RD SE
LACEY, WA



CHECKED BY: **D. HARRIS**
DESIGNED BY: **T. CALLAHAN**
DRAWN BY: **J. SANTOS**

HORIZ. DATUM: **NAD83/91**
VERT. DATUM: **NGVD29**

DATE: **3/13/2024**

PROJECT NO. **DKCO-01**

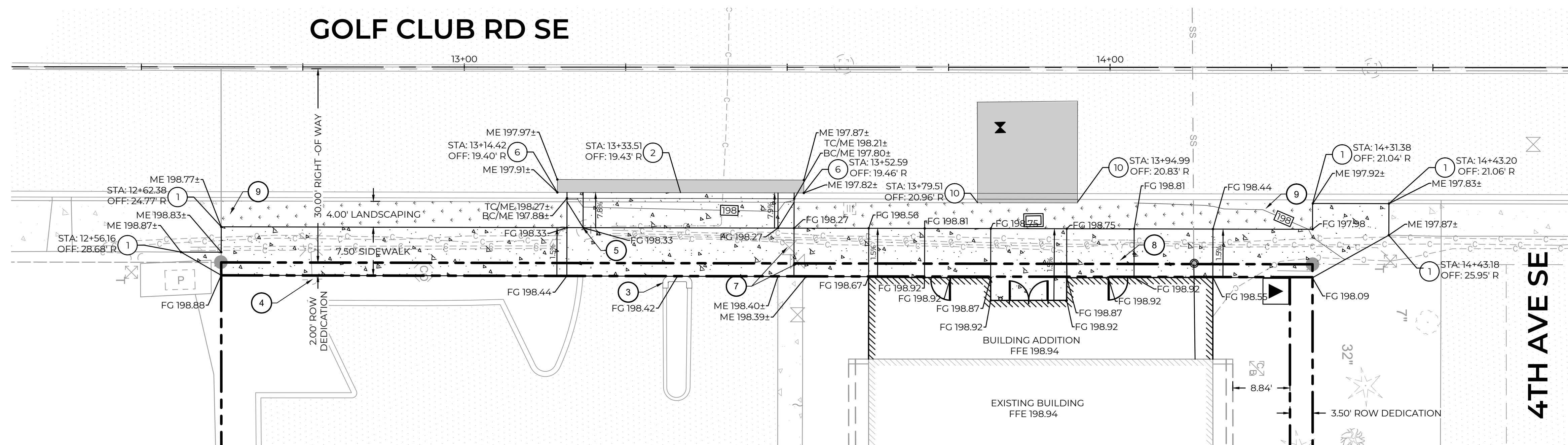
SHEET NO. **3 of 8**

REFERENCE NO. **C2.0**

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By: Jazmin Santos
By: Jazmin Santos
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GOLF CLUB RD SE



GRADING LEGEND

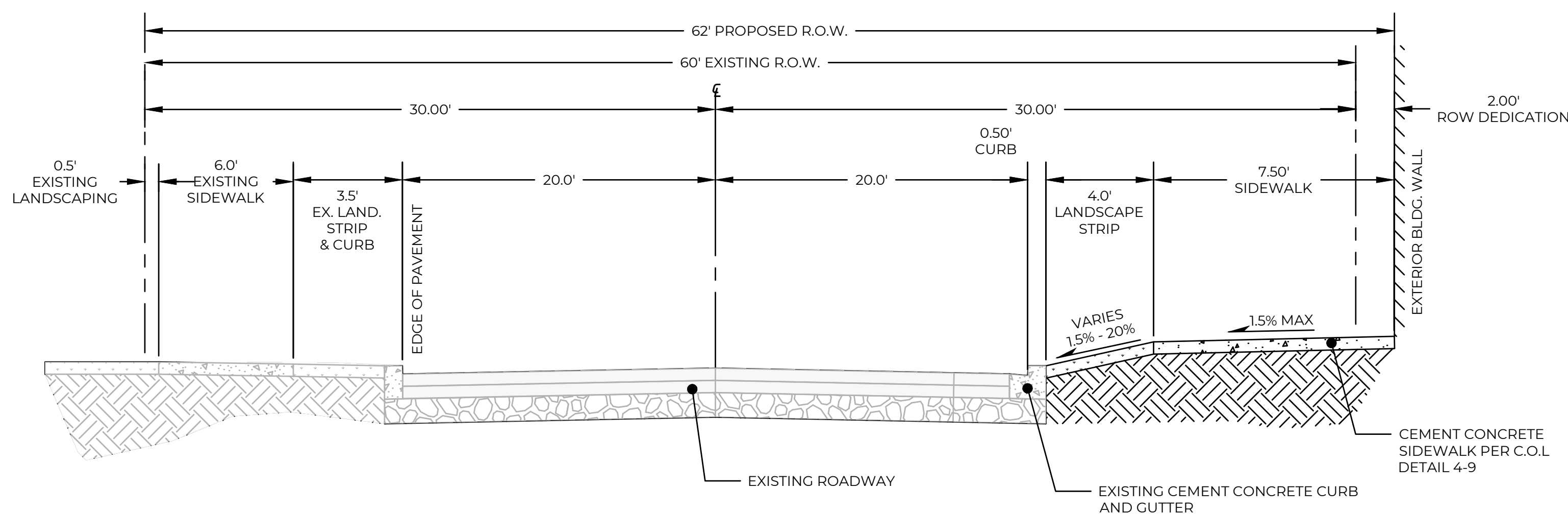
EG 100.0±	EXISTING GRADE
ME 100.0±	MATCH EXISTING
FG 100.00	FINISH GRADE
TC 100.00	TOP OF CURB
BC 100.00	BOTTOM OF CURB
TS 100.00	TOP OF STEP
BS 100.00	BOTTOM OF STEP
TW 100.00	TOP OF WALL
BW 100.00	BOTTOM OF WALL
FL 100.00	FLOWLINE
HP 100.00	HIGH POINT
TR 100.00	TOP OF PED. RAMP
BR 100.00	BOTTOM OF RAMP
FC 100.00	FLUSH CURB

FG MAJOR CONTOUR	100
FG MINOR CONTOUR	101
EG MAJOR CONTOUR	100
EG MINOR CONTOUR	101

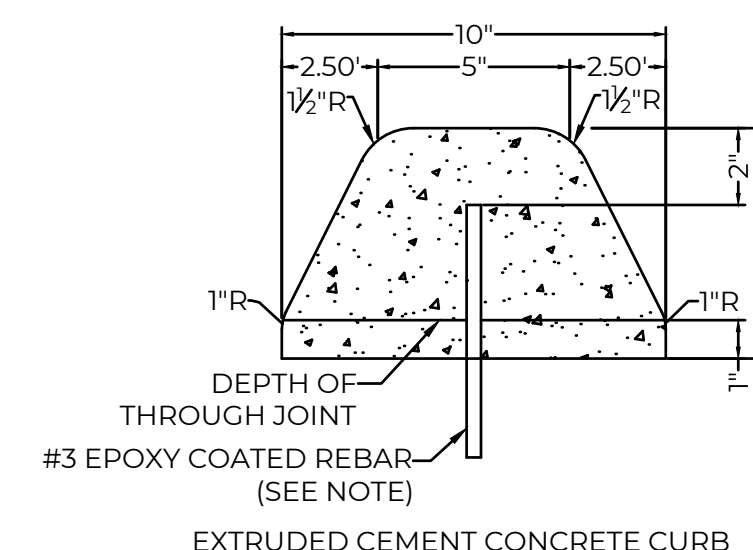
NOTE: ALL SPOT ELEVATIONS SHOWN ARE EXTERIOR TO STRUCTURE UNLESS OTHERWISE NOTED. NO SPOT ELEVATIONS ON THE CIVIL PLANS ARE INTENDED TO SPECIFY GRADES WITHIN BUILDINGS/STRUCTURES.

CIVIL KEYNOTES

- 1 NEW CEMENT CONCRETE SIDEWALK PER CITY OF LACEY (COL) STANDARD DETAIL 4-9 INCLUDED ON SHEET C4.0. REPLACE SIDEWALK TO THE NEAREST JOINT BEYOND THE LIMITS OF WORK SHOWN.
- 2 NEW CEMENT CONCRETE DRIVEWAY ENTRANCE PER CITY OF LACEY STANDARD DETAIL 4-7. NEW CEMENT CONCRETE CURB AT DRIVEWAY EXTENTS PER COL STD DETAIL 4-14 ON SHEET C4.0.
- 3 REPLACE EXTRUDED CURB IN KIND PER DETAIL 2 ON THIS SHEET.
- 4 PROTECT EXISTING LIGHT POLE THROUGHOUT CONSTRUCTION.
- 5 EXISTING TELEPHONE VAULT. ADJUST LID TO MATCH PROJECT DRIVEWAY GRADES.
- 6 RESTORE HMA PAVEMENT ROADWAY SECTION TO MATCH EXISTING SECTION MATERIAL AND THICKNESSES.
- 7 ADJUST EXISTING WATER VALVE CANS TO MATCH PROPOSED GRADES.
- 8 ADJUST EXISTING JUNCTION BOX TO MATCH PROPOSED GRADES.
- 9 NO PARKING ANYTIME SIGN (MUTCD R7-1) WITH ARROW POINT TOWARDS DRIVEWAY ENTRANCE. SIGN PER COL DETAIL 4-31 INCLUDED ON C4.0
- 10 NEW CEMENT CONCRETE CURB AND GUTTER REPLACEMENT AT UTILITY CUT PER COL STD DETAIL 4-14 INCLUDED ON SHEET C4.0



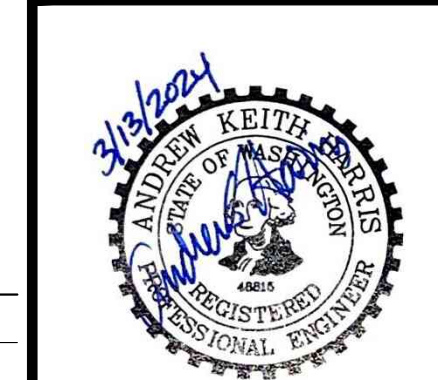
1 TYPICAL GOLF CLUB RD SE SECTION
SCALE: NTS



NOTE: ALTERNATELY, THE USE OF EPOXY BONDING AGENT, IN PLACE OF #3 REBAR, WILL BE ALLOWED.

2 CEMENT CONCRETE EXTRUDED CURB
SCALE: NTS

NO.	DATE	REVISION DESCRIPTION	BY	CHK



PERMIT SET

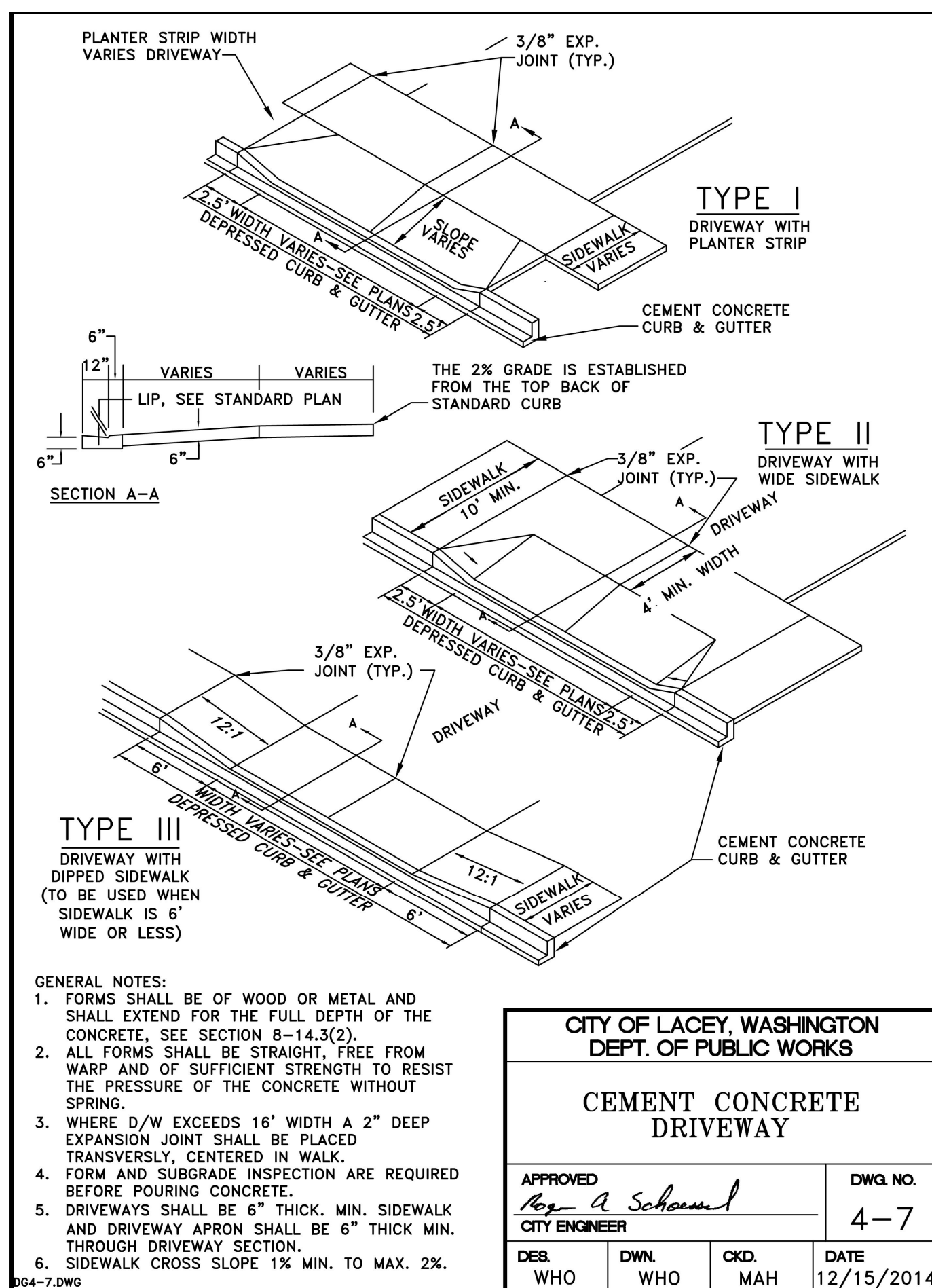
STUDIO 39 APARTMENTS
DAVE KNITTLE
CIVIL SITE PLAN
420 GOLF CLUB RD SE
LACEY, WA



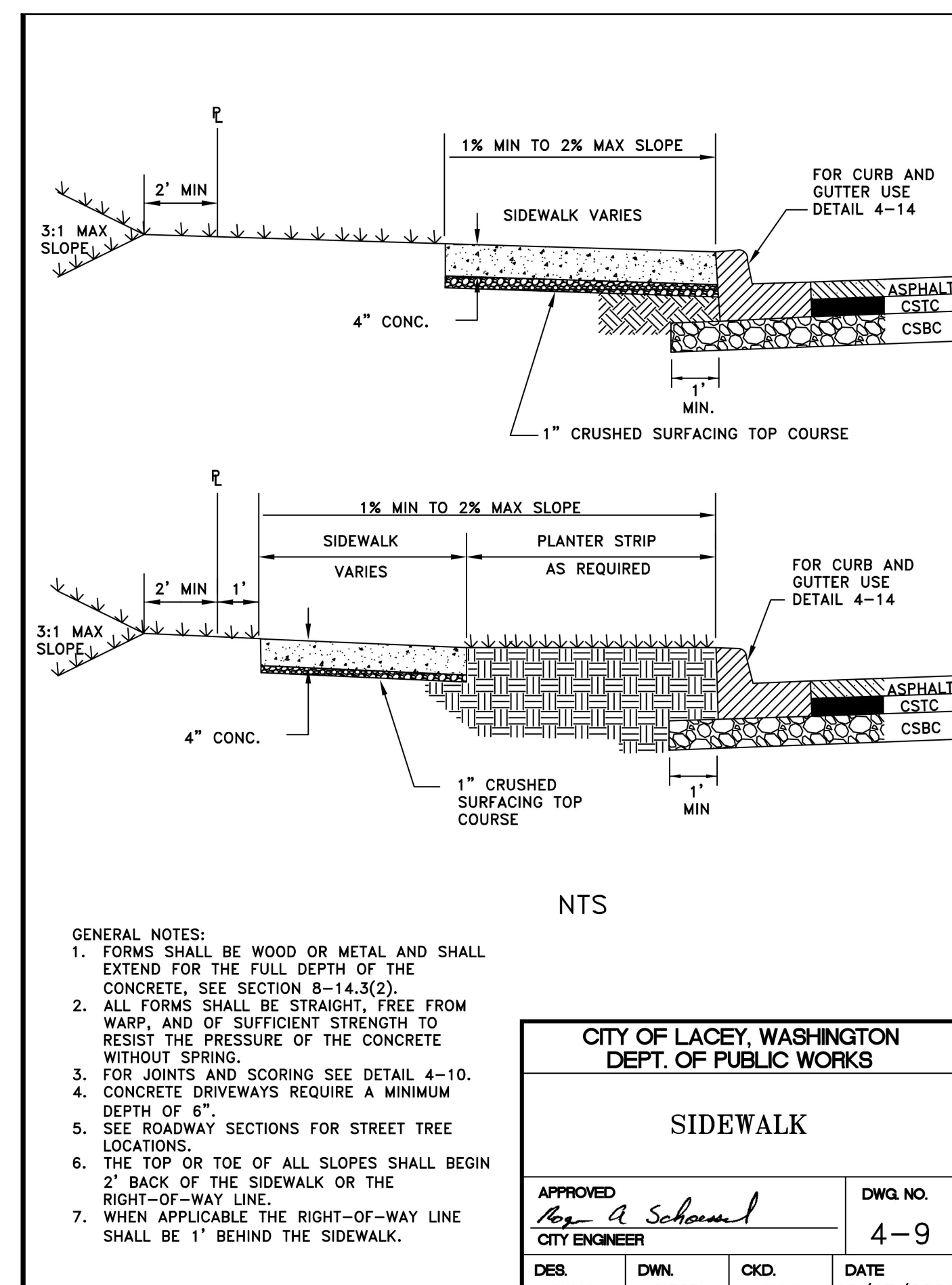
CHECKED BY:	D. HARRIS
DESIGNED BY:	T. CALLAHAN
DRAWN BY:	J. SANTOS
HORIZ. DATUM:	NAD83/91
VERT. DATUM:	NGVD29
DATE:	3/13/2024
PROJECT NO.:	DKCO-01
SHEET NO.:	4 of 8
REFERENCE NO.:	C3.0

THE CONTRACTOR MUST PREPARE A TRAFFIC CONTROL PLAN AND GAIN APPROVAL OF THAT PLAN FROM THE JURISDICTION HAVING AUTHORITY PRIOR TO COMMENCING THE WORK. MOMENTUM CIVIL IS NOT RESPONSIBLE FOR TRAFFIC CONTROL.

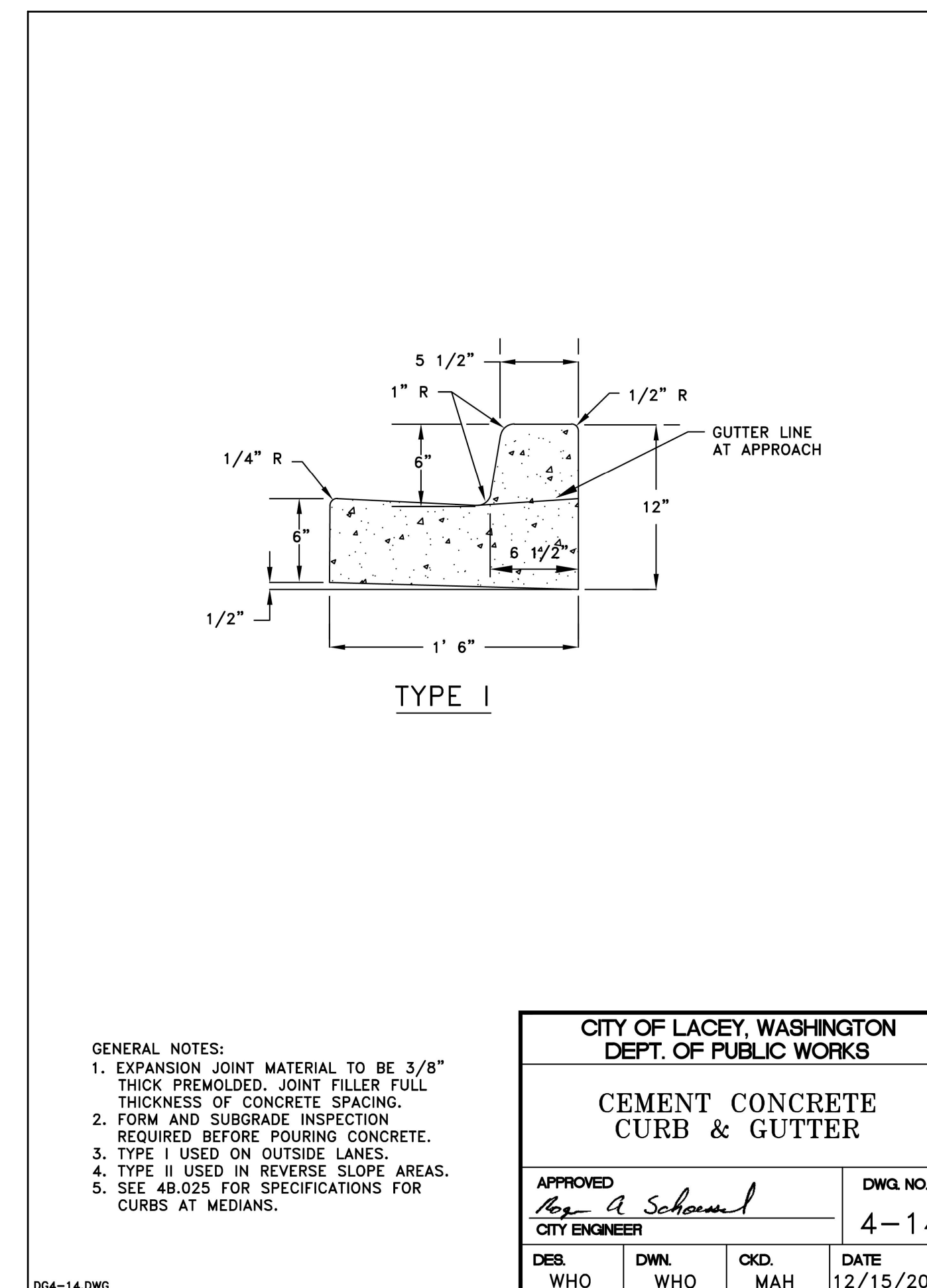
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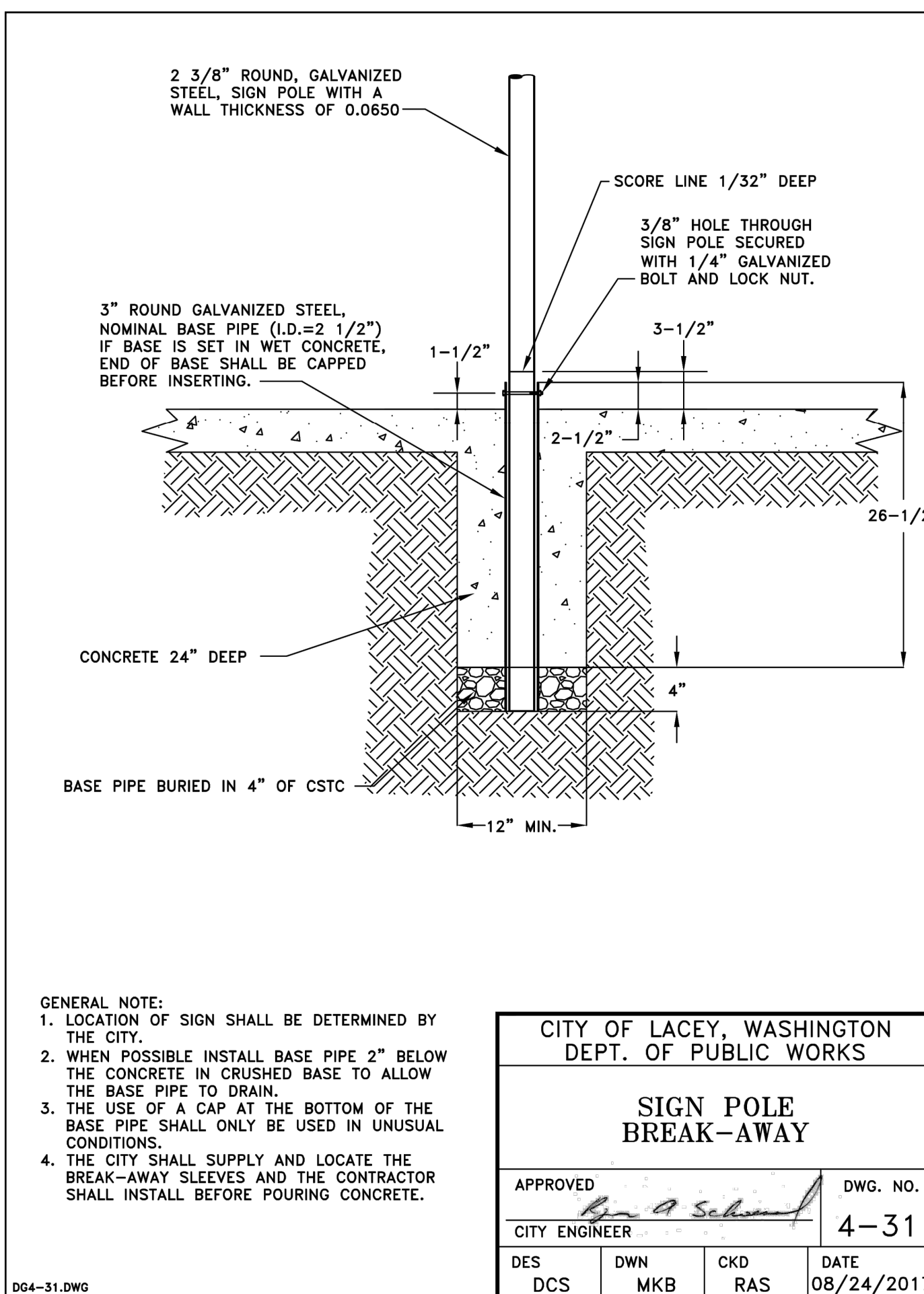
CITY OF LACEY, WASHINGTON DEPT. OF PUBLIC WORKS			
CEMENT CONCRETE DRIVEWAY			
APPROVED <i>Reg. A. Schumel</i> CITY ENGINEER	DWG. NO. 4-7	DATE 12/15/2014	
DES. WHO	DWN. WHO	CKD. MAH	DATE



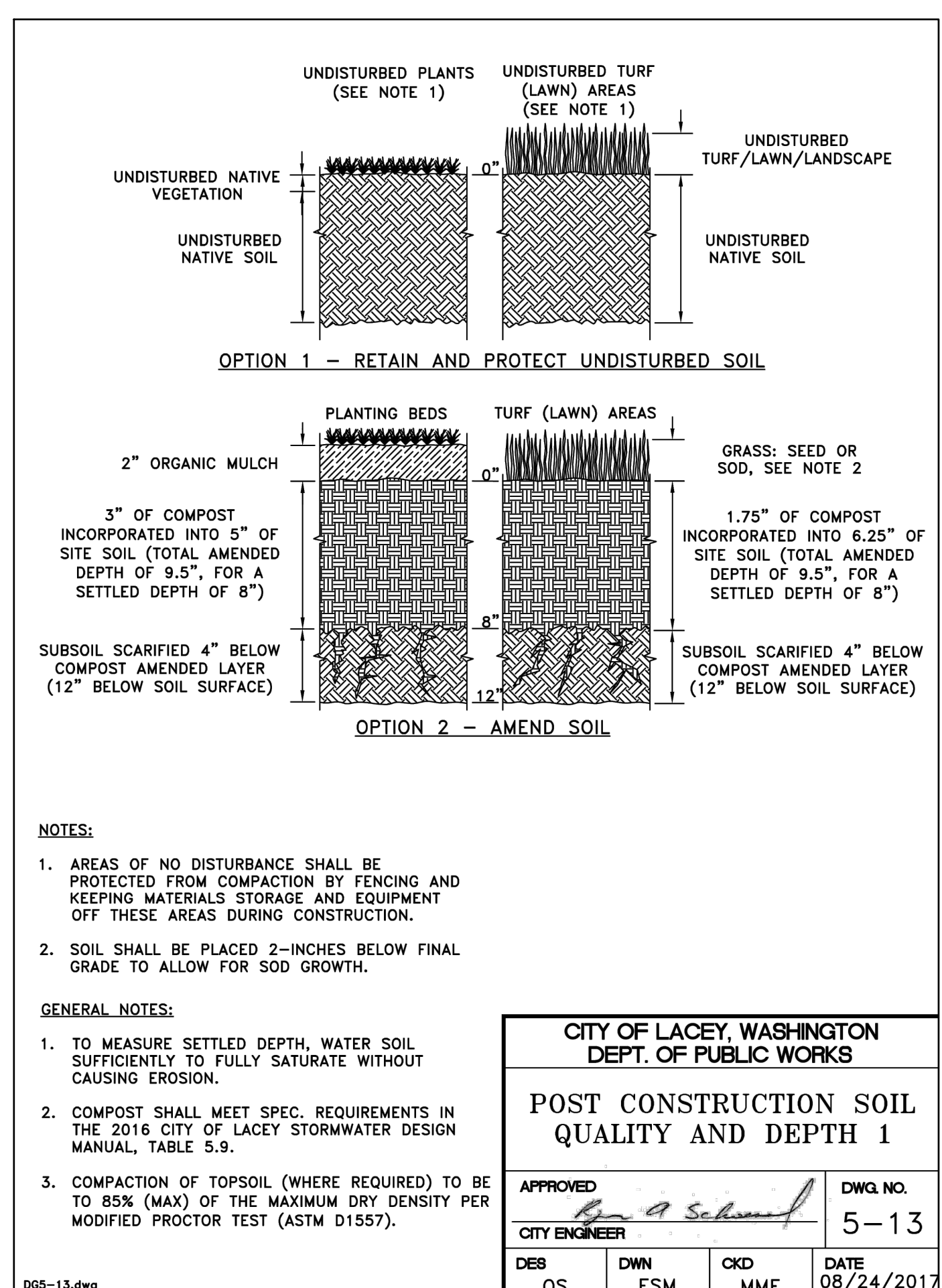
CITY OF LACEY, WASHINGTON DEPT. OF PUBLIC WORKS			
CEMENT CONCRETE SIDEWALK			
APPROVED <i>Reg. A. Schumel</i> CITY ENGINEER	DWG. NO. 4-9	DATE 12/15/2014	
DES. WHO	DWN. WHO	CKD. MAH	DATE



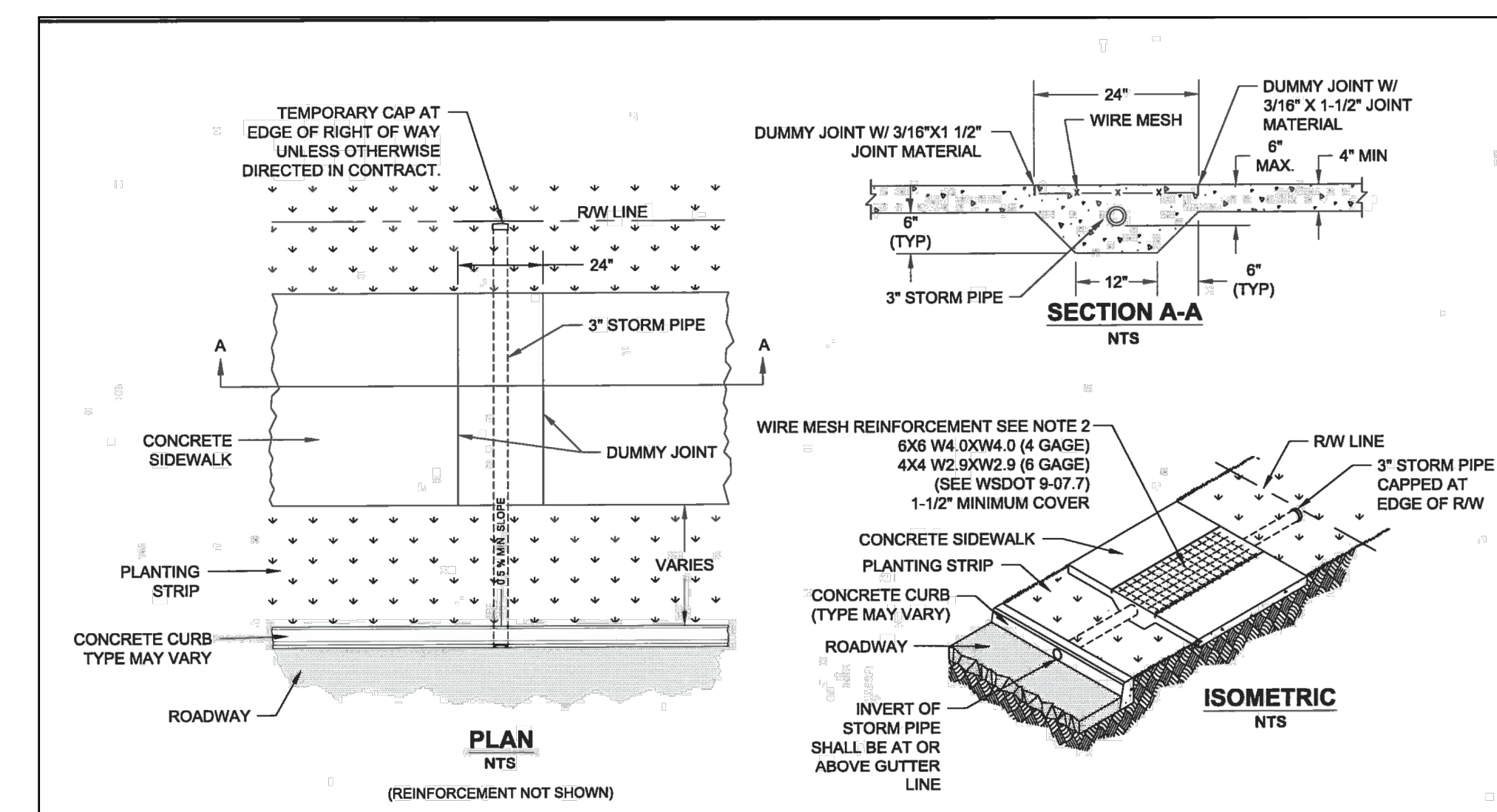
CITY OF LACEY, WASHINGTON DEPT. OF PUBLIC WORKS			
CEMENT CONCRETE CURB & GUTTER			
APPROVED <i>Reg. A. Schumel</i> CITY ENGINEER	DWG. NO. 4-14	DATE 12/15/2014	
DES. WHO	DWN. WHO	CKD. MAH	DATE



CITY OF LACEY, WASHINGTON DEPT. OF PUBLIC WORKS			
SIGN POLE BREAK-AWAY			
APPROVED <i>Reg. A. Schumel</i> CITY ENGINEER	DWG. NO. 4-31	DATE 08/24/2017	
DES. DCS	DWN. MKB	CKD. RAS	DATE



CITY OF LACEY, WASHINGTON DEPT. OF PUBLIC WORKS			
POST CONSTRUCTION SOIL QUALITY AND DEPTH 1			
APPROVED <i>Reg. A. Schumel</i> CITY ENGINEER	DWG. NO. 5-13	DATE 08/24/2017	
DES. OS	DWN. ESM	CKD. MMF	DATE



NO.	DATE	REVISION DESCRIPTION



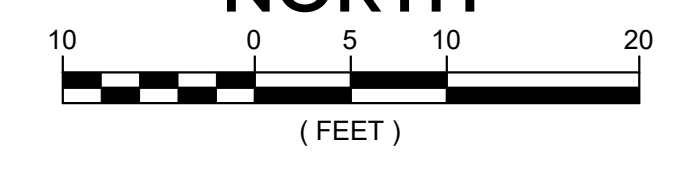
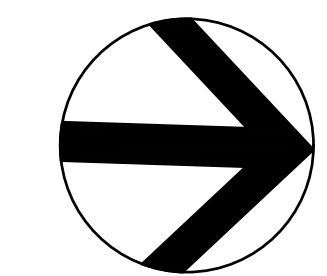
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STUDIO 39 APARTMENTS
DAVE KNITTLE
CIVIL PLAN DETAILS
420 GOLF CLUB RD SE
LACEY, WA



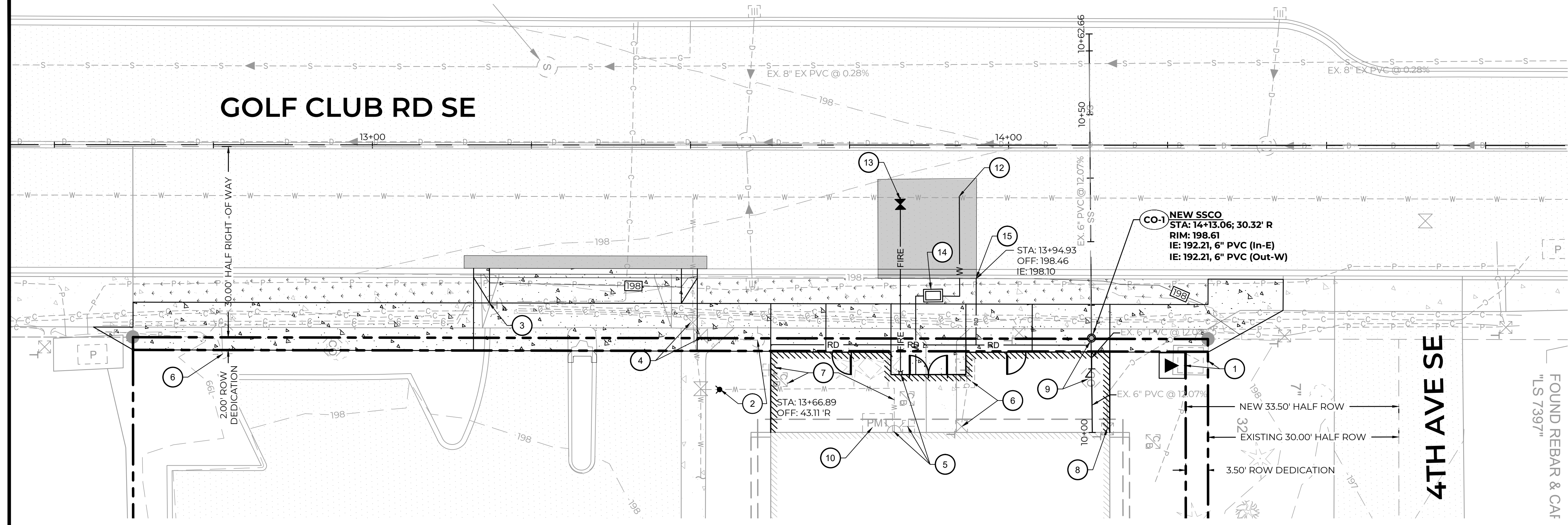
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DRAWN BY: J. SANTOS	HORIZ. DATUM: NAD83/91
VERT. DATUM: NGVD29	DATE: 3/13/2024
PROJECT NO. DKCO-01	SHEET NO. 5 of 8
REFERENCE NO. C3.1	

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GOLF CLUB RD SE

4TH AVE SE

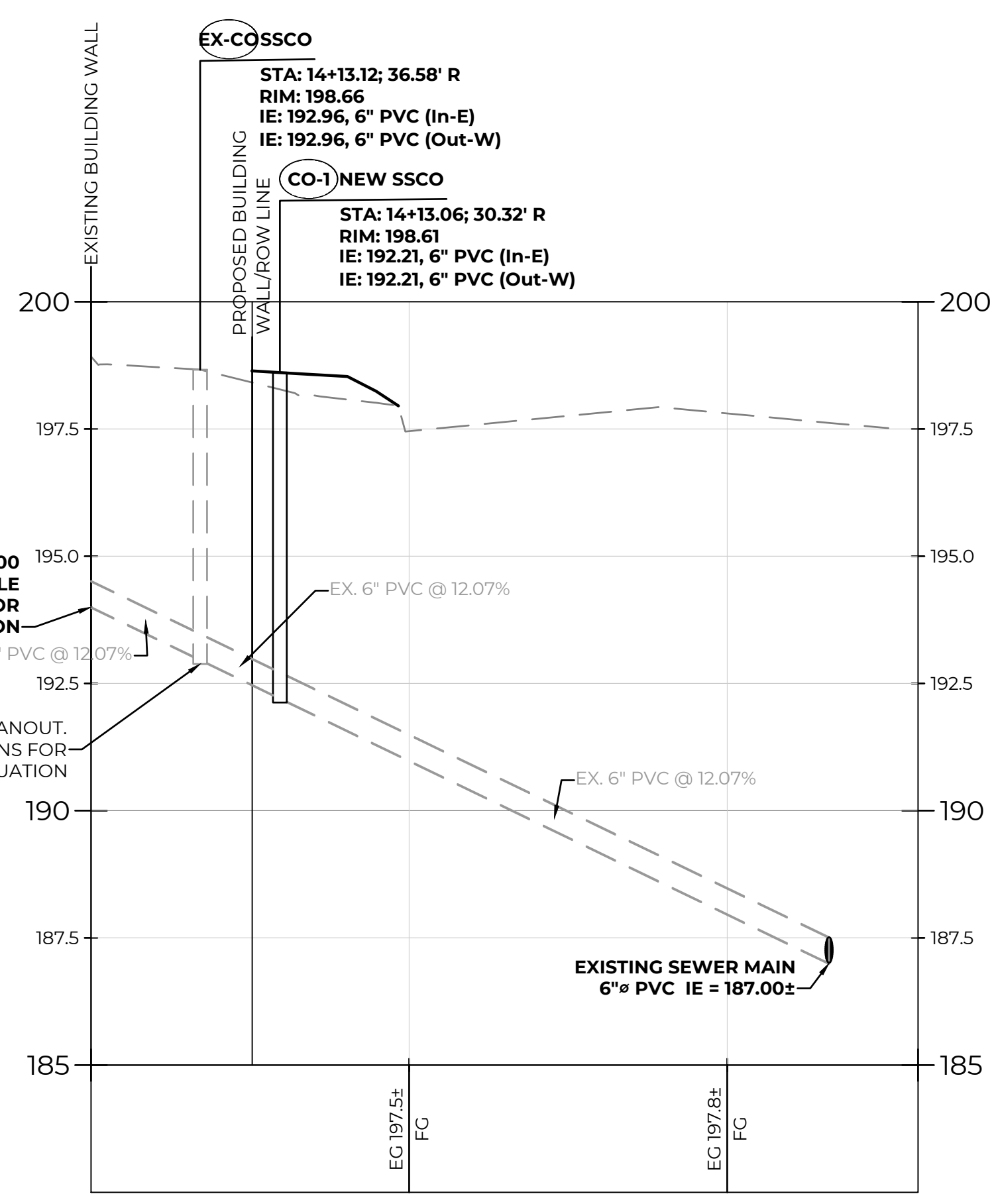


UTILITY LEGEND

- BUILDING FOOTPRINT
- PROPERTY BOUNDARY
- EASEMENT
- SANITARY SEWER LINE
- WATER MAIN LINE
- WATER SERVICE LINE
- EXISTING CATCH BASIN TY. 1
- WATER METER/FIRE DEPARTMENT CONNECTION/POST INDICATOR VALVE/FIRE HYDRANT
- SANITARY SEWER MANHOLE AND CLEANOUT

UTILITY CIVIL KEYNOTES

- 1 RELOCATE EXISTING TRANSFORMER OUT OF THE NEW SIDEWALK ALIGNMENT AND OUTSIDE OF THE PROPOSED RIGHT-OF-WAY DEDICATION AREA ONTO PRIVATE PROPERTY. CONTRACTOR TO COORDINATE WITH PUGET SOUND ENERGY FOR RELOCATION AND SCOPE FOR WORK.
- 2 RELOCATE EXISTING FIRE HYDRANT OUT OF PROPOSED SIDEWALK ALIGNMENT. FIRE HYDRANT TO BE CONSTRUCTED PER COL STD DETAIL 6-8.0. CAP AND REMOVE EXISTING 6-INCH FIRE HYDRANT ASSEMBLY LINE AT EXISTING GATE VALVE. TURN VALVE TO "OFF" POSITION.
- 3 EXISTING TELEPHONE VAULT. ADJUST LID TO MATCH PROJECT DRIVEWAY GRADES.
- 4 ADJUST EXISTING WATER VALVE CANS TO MATCH PROPOSED GRADES.
- 5 RELOCATE EXISTING FIRE DEPARTMENT CONNECTION (FDC) AND SHUT-OFF VALVE TO NEW EXTERIOR BUILDING WALL. INTERNAL PLUMBING ROUTING TO BE DESIGNED AND INSTALLED PER SEPERATE PLUMBING/FIRE SPRINKLER PLANS.
- 6 RELOCATE EXISTING TELEPHONE VAULT AND RISER OUTSIDE OF BUILDING ADDITION FOOTPRINT. CONTRACTOR TO COORDINATE WITH UTILITY PURVEYOR FOR SCOPE OF WORK AND LOCATION OF PROPOSED RELOCATIONS.
- 7 RELOCATE EXISTING WATER APPURTENANCES OUTSIDE OF PROPOSED BUILDING ADDITION FOOTPRINT. SEE FIRE SPRINKLER PLANS FOR PROPOSED SIZES, LOCATIONS AND ROUTING OF FDC AND INDICATOR VALVE TO BE MOUNTED ON THE BUILDING WALL. ALL WATER LINE WORK TO BE IN ACCORDANCE WITH CITY OF LACEY PUBLIC WORKS STANDARDS. CONTRACTOR TO COORDINATE WITH CITY FOR ACCEPTABLE RELOCATION LOCATIONS.
- 8 RELOCATE EXISTING COMMUNICATIONS JUNCTION BOX OUTSIDE OF BUILDING ADDITION FOOTPRINT. CONTRACTOR TO COORDINATE WITH UTILITY PURVEYOR FOR SCOPE OF WORK AND LOCATION OF PROPOSED RELOCATION.
- 9 REUSE EXISTING 6" SEWER SERVICE LINE. CUT EXISTING SERVICE LATERAL AND INSTALL NEW CLEANOUT PER COL STD DETAIL 7-7.1
- 10 RELOCATE EXISTING POWER METER TO NEW EXTERIOR BUILDING WALL. CONTRACTOR AND OWNER TO COORDINATE WITH UTILITY PURVEYOR FOR ADDITIONAL REQUIREMENTS REGARDING NEW METER AND SUBMETER FOR SERVICING NEW UNITS.
- 11 DECOMMISSION EXISTING 2-INCH WATER SERVICE LINE. CONTRACTOR TO COORDINATE WITH CITY OF LACEY WATER DEPARTMENT SCOPE OF WORK AND DECOMMISSIONING REQUIREMENTS.
- 12 NEW 3-INCH DOMESTIC WATER SERVICE CONNECTION TO EXISTING MAIN WITHIN GOLF CLUB ROAD. CONTRACTOR TO COORDINATE WITH CITY OF LACEY FOR SCOPE OF MAIN TAP AND METER INSTALLATION.
- 13 NEW 6-INCH FIRE SERVICE CONNECTION WITH 6" GATE VALVE. CONNECTION TO EXISTING MAIN PER COL DETAIL 6-11.0. CONTRACTOR TO COORDINATE WITH THE CITY OF LACEY FOR SCOPE OF MAIN TAP AND METER INSTALLATION.
- 14 PROVIDE NEW 3" WATER METER IN AN EXTERIOR VAULT PER DETAIL 6-12.0 ON SHEET C4.1 COORDINATE VAULT LID ELEVATION TO MATCH WITH SIDEWALK GRADES.
- 15 CONSTRUCT THROUGH CURB STORM PIPE. SEE DETAIL 1 ON SHEET C3.1.



SIDE SEWER STUB (STA: 10+00 TO 10+65)
Horz. Scale: 1" = 10' | Vert. Scale: 1" = 2'

1 SIDE SEWER PROFILE
SCALE: NTS

NO.	DATE	REVISION DESCRIPTION



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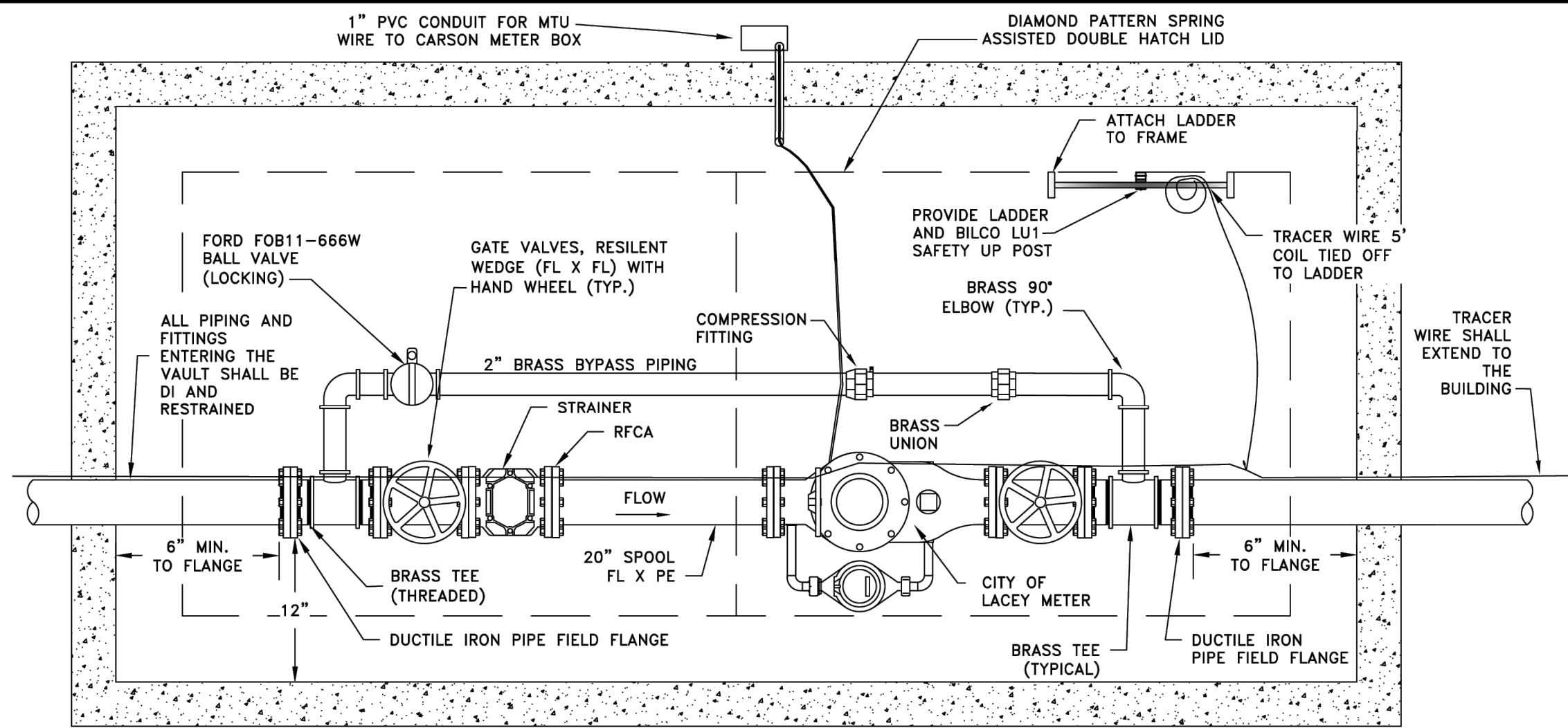
STUDIO 39 APARTMENTS
DAVE KNITTLE
UTILITY PLAN
420 GOLF CLUB RD SE
LACEY, WA



CHECKED BY: D. HARRIS
DESIGNED BY: T. CALLAHAN
DRAWN BY: J. SANTOS
HORIZ. DATUM: NAD83/91
VERT. DATUM: NGVD29
DATE: 3/13/2024
PROJECT NO. DKCO-01
SHEET NO. 6 OF 8
REFERENCE NO. C4.0

Plot Date: 3/13/2024 5:10 PM
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PORTION OF THE NE 1/4, SE 1/4, SECTION 17, TOWNSHIP 18N, RANGE 1W, W.M.



GENERAL NOTES:

- A MINIMUM OF 10 PIPE DIAMETERS OF STRAIGHT UNOBSTRUCTED PIPE SHALL BE REQUIRED UPSTREAM OF THE METER.
- THE METER VAULT SHALL BE SIZED PROPERLY TO MEET MINIMUM PIPING CLEARANCE REQUIREMENTS.
- THE CONCRETE METER VAULT SHALL BE BEDDED WITH 6" OF CRUSHED ROCK. THE INSTALLATION SHALL BE LEVEL AND SET TO MATCH FINAL GRADE.
- THE CONCRETE METER VAULT AND LID SHALL BE DESIGNED FOR H-20 LOADING. THE HATCHES SHALL BE DIAMOND PLATE ALUMINUM STYLE, L.W. PRODUCTS, BILCO OR A PRE-APPROVED EQUAL AND SHALL HAVE ALL 316 STAINLESS STEEL HARDWARE. THE HATCHES SHALL HAVE A SLAM LOCK HASP AND WEATHER PROTECTED PAD LOCK COVER.
- THE METER VAULT SHALL BE PROVIDED WITH A DRAIN AND THE FINAL INSTALLATION SHALL DRAIN PROPERLY.
- THE BYPASS PIPING ARE NOT REQUIRED FOR IRRIGATION ONLY INSTALLATIONS.
- ALL PIPING SHALL BE A MINIMUM OF 12" ABOVE VAULT FLOOR AND BE SUPPORTED BY ADJUSTABLE JACK STANDS. THE STANDS SHALL BE PLACED IN FOUR LOCATIONS TO PROVIDE FIRM SUPPORT.
- ALL BYPASS PIPE AND FITTINGS SHALL BE 2" DOMESTIC BRASS MEETING LOW LEAD REQUIREMENTS.
- THE TOP OF THE METER AND VALVE WHEELS SHALL BE MINIMUM 12" BELOW THE LID.
- A HOLE SHALL BE DRILLED IN THE VAULT WALL 12" DOWN FROM THE LID FOR A 1" PVC ELECTRICAL CONDUIT TO A REMOTE READER BOX PLACED NO MORE THAN 3' AWAY FROM THE VAULT. THE REMOTE METER BOX SHALL BE A CHRISTY FL 30T. THE CONDUIT PENETRATION SHALL BE GROUTED.
- THE VAULT SHALL BE INSTALLED IN A PLANTER OR IN A PLANTER ISLAND AND SHALL NOT BE ALLOWED IN ANY DRIVING SURFACE. WHEN PLANS ARE ALTERED A PLANTER ISLAND SHALL BE CREATED TO INSTALL THE VAULT IN.

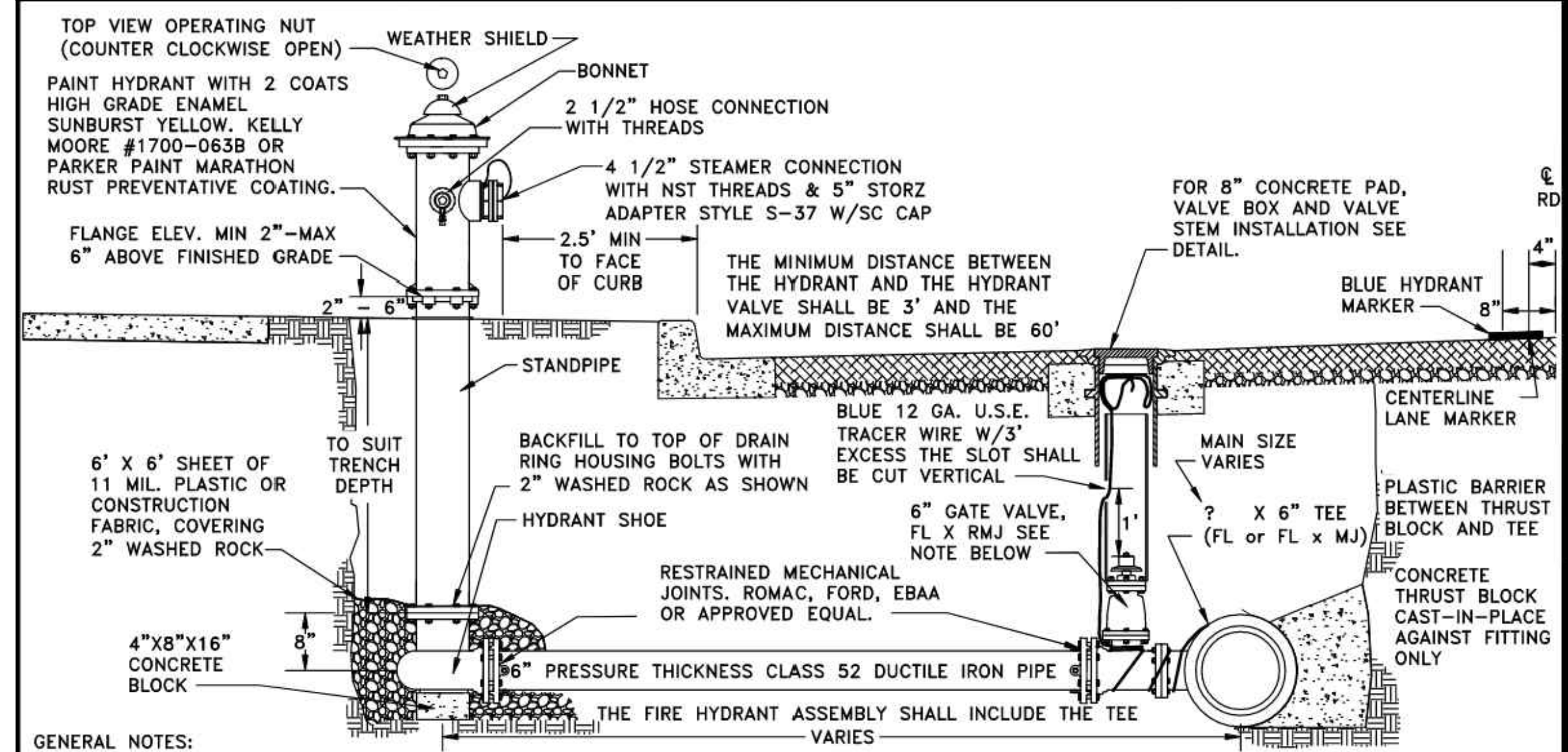
METER AND STRAINER LAY LENGTHS	
3" COMPOUND	17"
3" TURBINE (IRRIGATION)	12"
3" STRAINER	6"
4" COMPOUND	20"
4" TURBINE (IRRIGATION)	14"
4" STRAINER	7.5"

CITY OF LACEY, WASHINGTON
DEPT. OF PUBLIC WORKS

STANDARD PLUMBING
CONFIGURATION FOR
3" & 4" METERS

APPROVED: *[Signature]* DWG. NO. 6-3.2
CITY ENGINEER

DES	DWN	CKD	DATE
EBK	EBK	RAS	08/24/2017



GENERAL NOTES:

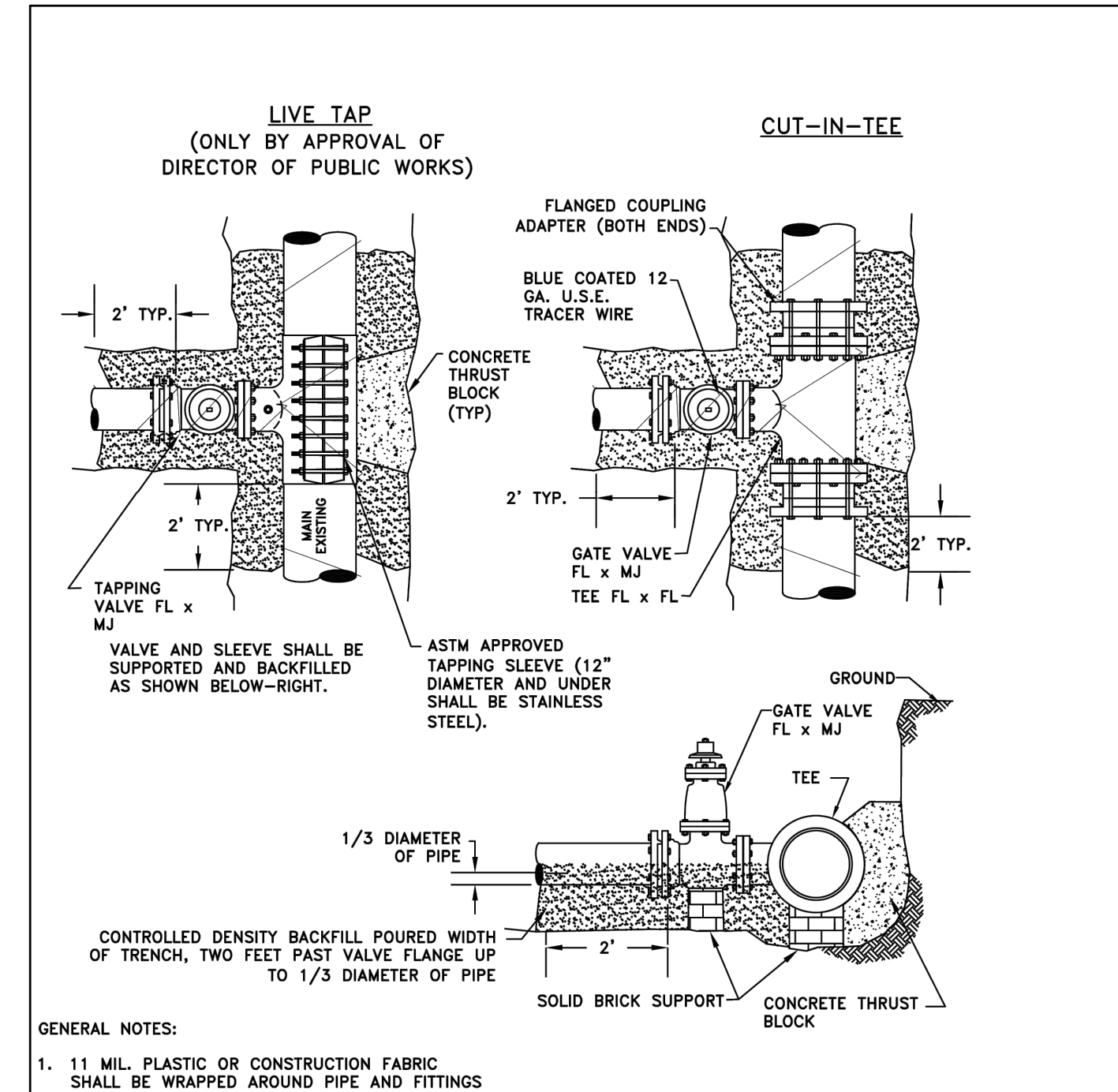
- A MINIMUM FIVE FOOT RADIUS OF UNOBSTRUCTED WORKING AREA SHALL BE PROVIDED AROUND ALL HYDRANTS. THE UNOBSTRUCTED AREA SHALL INCLUDE BUT NOT BE LIMITED TO TREES, SHRUBS, PLANTS, VAULTS, FDC AND METERS.
- HYDRANT SHALL BE WATEROUS PACER, M & H RELIANT STYLE 929, AMERICAN AVK, KENNEDY K-81, MUELLER CENTURION AND EJIW 5CD250 WATER MASTER.
- GATE VALVES SHALL BE RESILIENT WEDGE NRS WITH O-RING SEALS. VALVE ENDS SHALL BE MECHANICAL JOINT BY ANSI FLANGES. VALVES SHALL CONFORM TO AWMA C515. VALVES SHALL BE MUELLER, M&H, KENNEDY, CLOW R/W WATEROUS SERIES 500 OR EJIW FLOWMASTER.
- REMOVE FACTORY CHAINS HOLDING CAPS.
- WHEN DISTANCE BETWEEN HYDRANT AND VALVE EXCEED 20 FEET, FIELDLOK GASKETS SHALL BE INSTALLED.
- INSTALLATION OF THE TYPE 2E TWO WAY BLUE REFLECTIVE HYDRANT MARKER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE TYPE 2E TWO WAY BLUE REFLECTIVE HYDRANT MARKER SHALL BE ALIGNED WITH THE OUTSIDE EDGE OF THE LANE MARKER OR 8" FROM THE CENTER OF THE RPM TO THE CENTER LINE OF THE ROADWAY. SEE DETAIL.

CITY OF LACEY, WASHINGTON
DEPT. OF PUBLIC WORKS

FIRE HYDRANT
ASSEMBLY

APPROVED: *[Signature]* DWG. NO. 6-8.0
CITY ENGINEER

DES	DWN	CKD	DATE
WHO	WHO	RAS	08/24/2017



GENERAL NOTES:

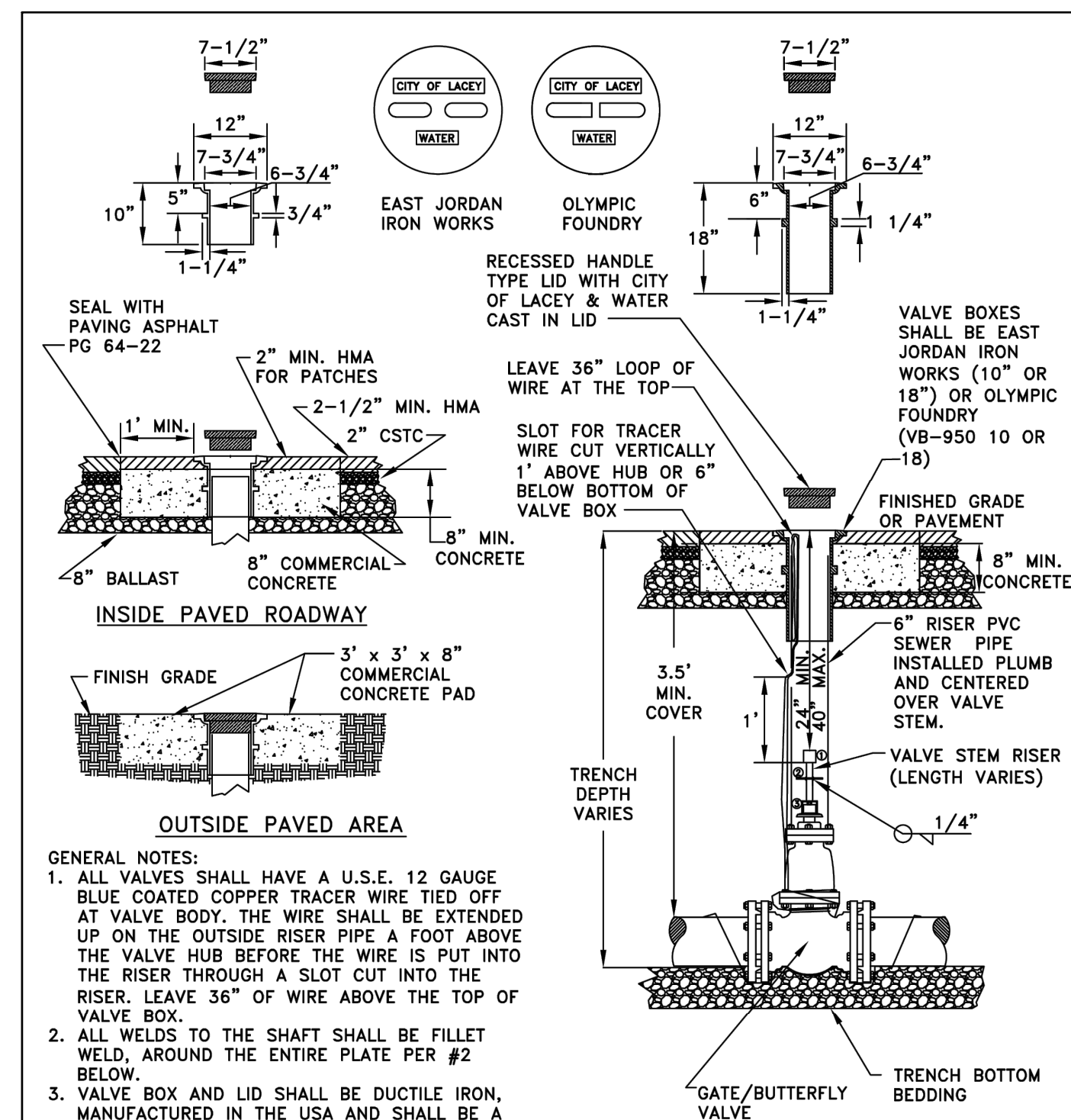
- 11 MIL. PLASTIC OR CONSTRUCTION FABRIC SHALL BE WRAPPED AROUND PIPE AND FITTINGS BEFORE THRUST BLOCK OR CDF BACKFILL ARE POURED.
- CONTROLLED DENSITY FILL SHALL CONSIST OF 1750# SAND, 1750# PER GRAVEL, 230# WATER, 141# CEMENT, 6 OUNCES WATER REDUCING AGENT PER 100# CEMENT.
- THE EXISTING MAIN, TAPPING SLEEVE AND VALVE SHALL BE SUPPORTED THROUGHOUT THE ENTIRE PROCESS WHEN TAPPING THE EXISTING WATER MAIN.
- CONNECT TO EXISTING TRACER WIRE, IF PRESENT.
- CUTTING AC PIPE REQUIRES PROPER AC CUTTING AND DISPOSAL PRACTICES BE FOLLOWED. REFER TO OLYMPIC AIR POLLUTION CONTROL AUTHORITY DOCUMENT AND AWMA AC PIPE CUTTING DOCUMENT. AC PIPE CUTTER SHALL BE CERTIFIED.
- ADDITIONAL VALVES MAYBE REQUIRED WITH CUT IN OFF TEE.

CITY OF LACEY, WASHINGTON
DEPT. OF PUBLIC WORKS

CONNECTION TO
EXISTING MAIN

APPROVED: *[Signature]* DWG. NO. 6-11.0
CITY ENGINEER

DES	DWN	CKD	DATE
LRW	WHO	RAS	08/24/2017



GENERAL NOTES:

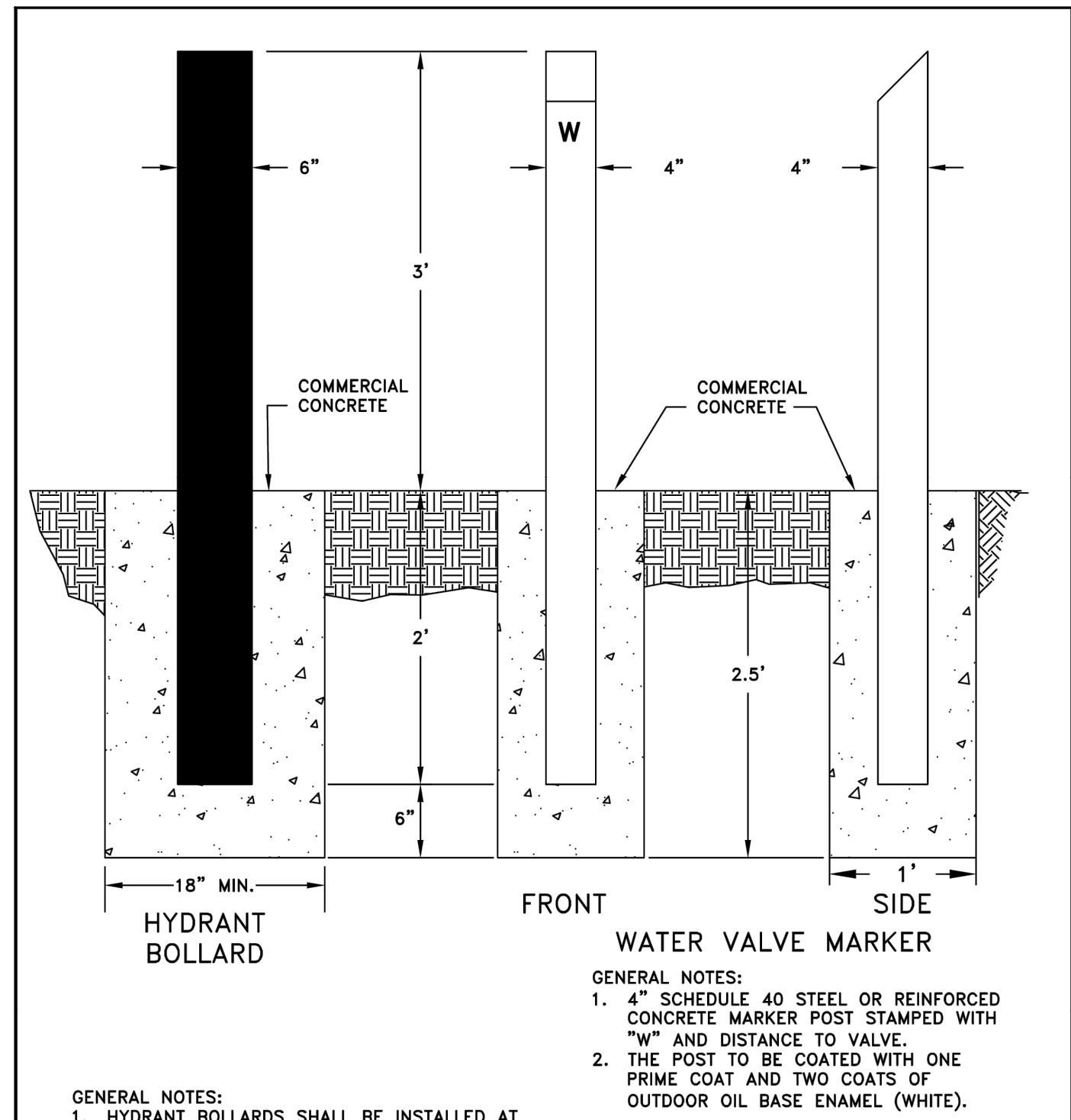
- ALL VALVES SHALL HAVE A U.S.E. 12 GAUGE BLUE COATED COPPER TRACER WIRE TIED OFF AT VALVE BODY. THE WIRE SHALL BE EXTENDED UP ON THE OUTSIDE RISER PIPE A FOOT ABOVE THE VALVE HUB BEFORE THE WIRE IS PUT INTO THE RISER THROUGH A SLOT CUT INTO THE RISER. LEAVE 36" OF WIRE ABOVE THE TOP OF VALVE BOX.
- ALL WELDS TO THE SHAFT SHALL BE FILLET WELD, AROUND THE ENTIRE PLATE PER #2 BELOW.
- VALVE BOX AND LID SHALL BE DUCTILE IRON, MANUFACTURED IN THE USA AND SHALL BE A MATCHED SET FROM THE SAME MANUFACTURER.
- EXISTING SURFACES PAVED WITH PERMEABLE MATERIALS SHALL BE REPLACED IN-KIND WHERE FEASIBLE IN CONFORMANCE WITH 48-180 TRENCH BACKFILL AND RESTORATION.

CITY OF LACEY, WASHINGTON
DEPT. OF PUBLIC WORKS

STANDARD VALVE BOX
INSTALLATION

APPROVED: *[Signature]* DWG. NO. 6-12.0
CITY ENGINEER

DES	DWN	CKD	DATE
WHO	WHO	RAS	08/24/2017



GENERAL NOTES:

- HYDRANT BOLLARDS SHALL BE INSTALLED AT A MINIMUM OF 5' FROM THE HYDRANT SITUATED SO AS NOT TO BLOCK ANY OF THE HYDRANT PORTS.
- THE HYDRANT BOLLARDS SHALL BE 6" IN DIAMETER SCHEDULE 20 STEEL POST AND FILLED WITH CONCRETE.
- THE HYDRANT BOLLARDS SHALL BE COATED WITH ONE PRIMER COAT AND TWO COATS OUTDOOR OIL BASE ENAMEL, THE SAME COLOR AS THE HYDRANT. SEE DETAIL.
- WHEN HYDRANT BOLLARDS ARE REQUIRED IN HIGH TRAFFIC AREAS GLASS BEADS SHALL BE SPRAYED OR PLACED ON TO THE WET PAINT TO PROVIDE BETTER VISIBILITY AT NIGHT.

CITY OF LACEY, WASHINGTON
DEPT. OF PUBLIC WORKS

HYDRANT BOLLARD &
WATER VALVE MARKER
POST DETAIL

APPROVED: *[Signature]* DWG. NO. 6-13.0
CITY ENGINEER

DES	DWN	CKD	DATE
WHO	WHO	RAS	08/24/2017

NO.	DATE	REVISION DESCRIPTION



PERMIT SET

STUDIO 39 APARTMENTS
DAVE KNITTLE
UTILITY DETAILS
420 GOLF CLUB RD SE
LACEY, WA



CHECKED BY: D. HARRIS
DESIGNED BY: T. CALLAHAN
DRAWN BY: J. SANTOS

HORIZ. DATUM: NAD83/91
VERT. DATUM: NGVD29

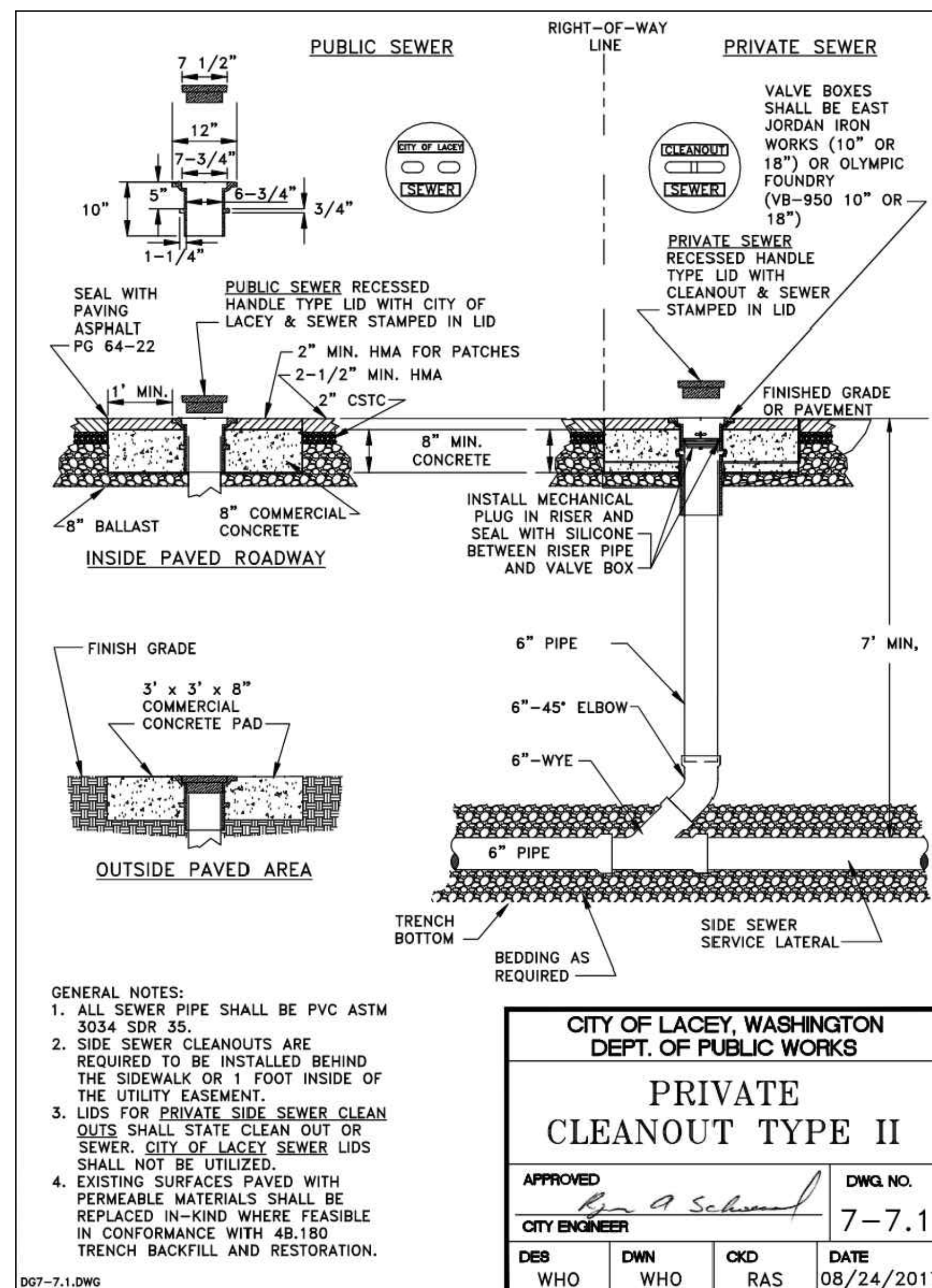
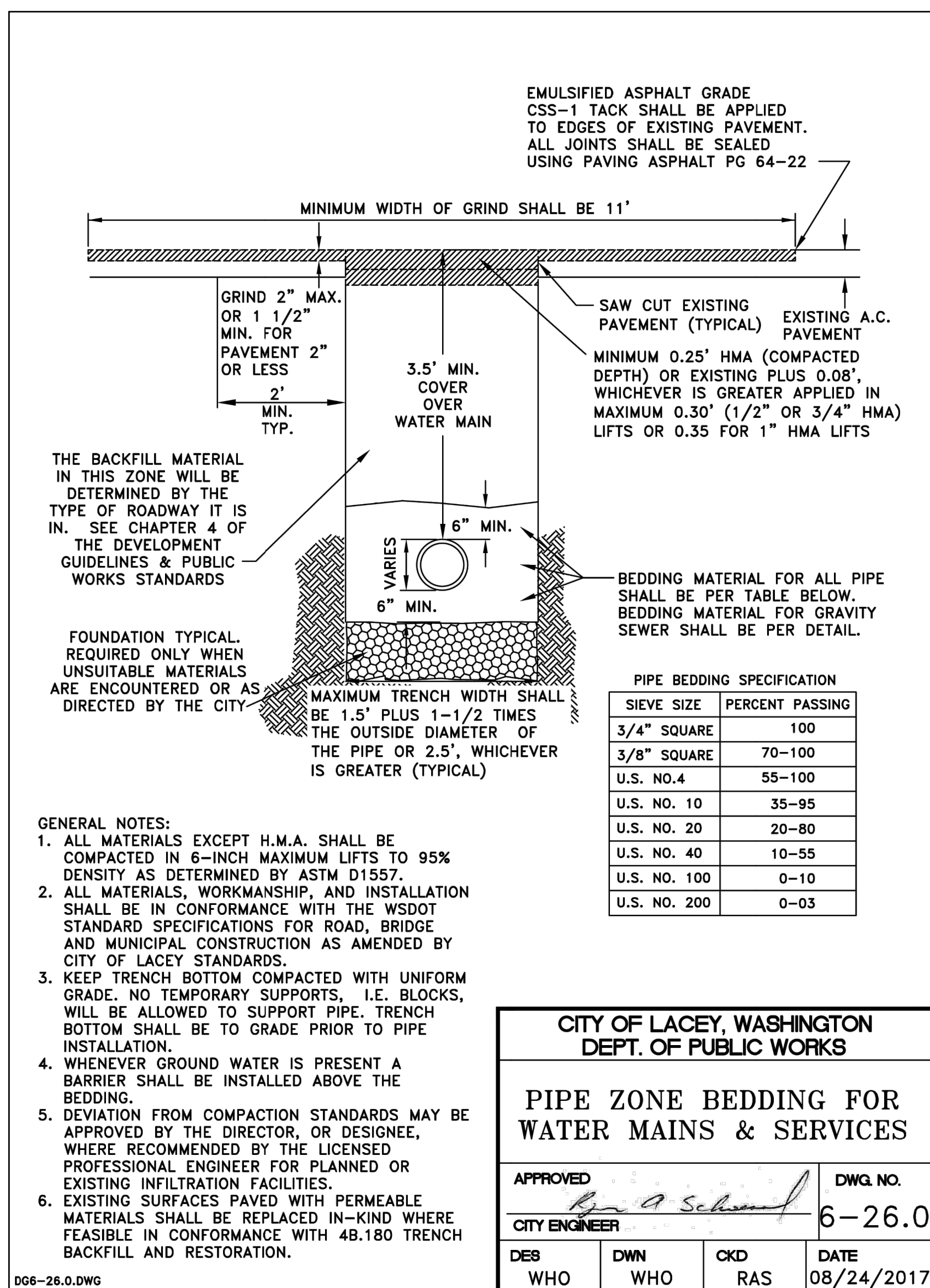
DATE: 3/13/2024

PROJECT NO. DKCO-01

SHEET NO. 7 of 8

REFERENCE NO. C4.1

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Save Date: 3/13/2024 11:37 AM By: Tony Callahan File Path: \\BROG001-Studio\39040CAD\Sheets\DEV\UUT-BROG001.dwg



NO.	DATE	REVISION DESCRIPTION
1		



PERMIT SET

STUDIO 39 APARTMENTS
DAVE KNITTLE
UTILITY DETAILS
420 GOLF CLUB RD SE
LACEY, WA



CHECKED BY: D. HARRIS
DESIGNED BY: T. CALLAHAN
DRAWN BY: J. SANTOS

HORIZ. DATUM: NAD83/91
VERT. DATUM: NGVD29

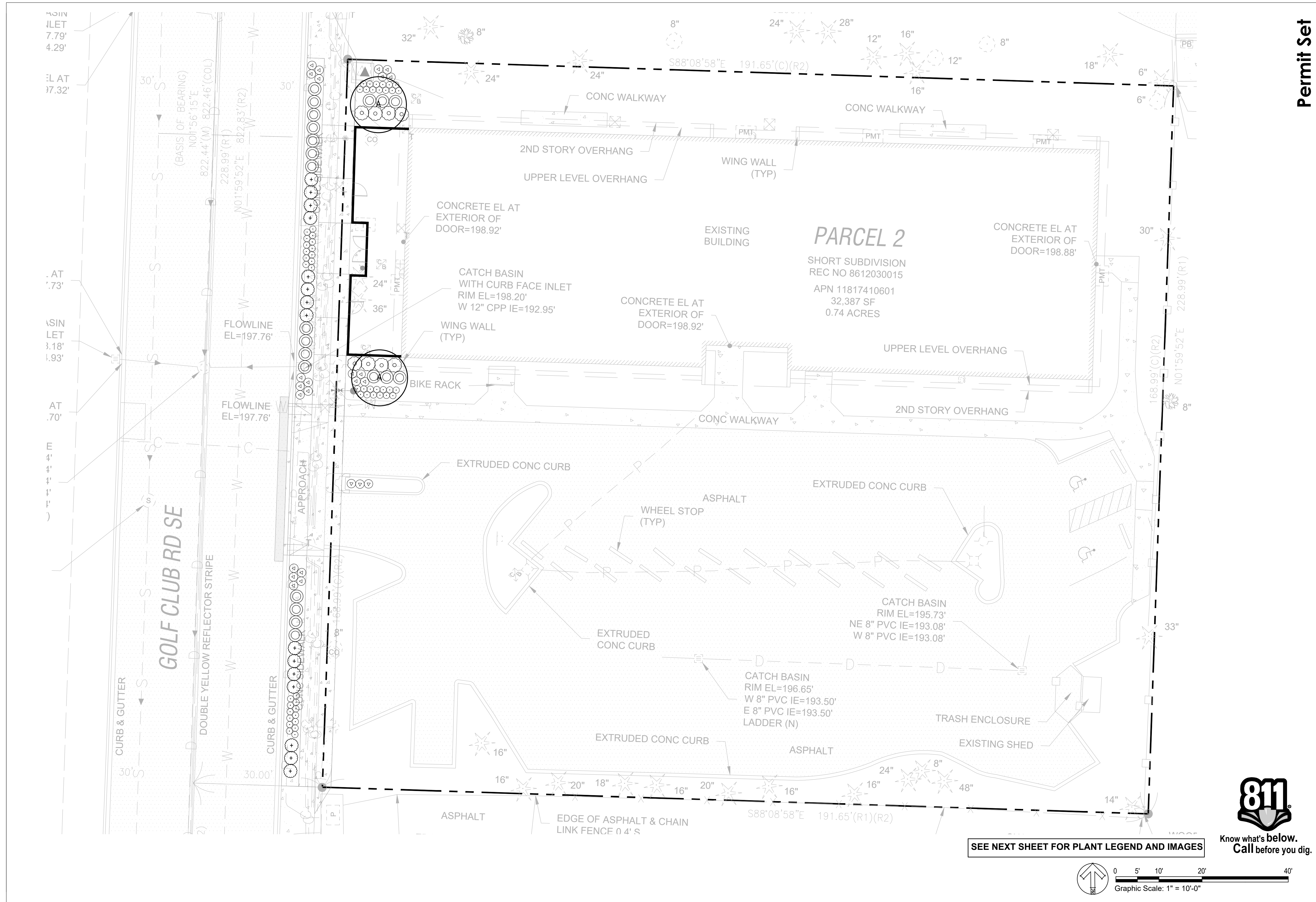
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PROJECT NO. DKCO-01

SHEET NO. 8 of 8

REFERENCE NO. C4.2

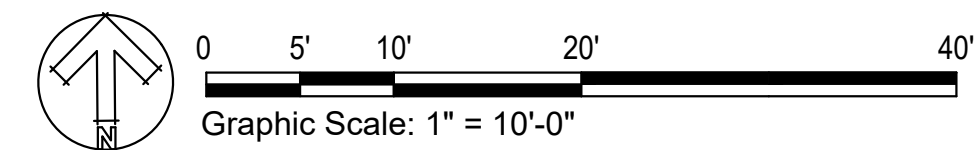
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PARCEL 2

SHORT SUBDIVISION
 REC NO 8612030015
 APN 11817410601
 32,387 SF
 0.74 ACRES

SEE NEXT SHEET FOR PLANT LEGEND AND IMAGES



811
 Know what's below.
 Call before you dig.

Permit Set

LYON
 Landscape Architects
 2111 South C Street, Tacoma, WA 98402
 253-678-4173 | Eric@LyonLA.com

REVIEW SET
 NOT FOR CONSTRUCTION
 ERIC J. WILLIAMS
 CERTIFICATE NO. 775

DRAWING SET:
 REVISIONS:
 REV 1:
 REV 2:
 REV 3:
 PROJECT ADDRESS:

Studio 39 Apartment Building
 420 Golf Club Road SE
 Lacey, WA 98503

DESIGN: EJW
 DRAWN: EJW
 CHECKED: MJL
 DATE: March 14, 2024
 PROJECT: Studio 39 Apartments
 NUMBER: LLA0486.24

SCALE: 1" = 10'-0"
 TITLE:
Landscape Plan

SHEET:

L1.00

TREES PLANTED WITHIN 6 FEET OF CURBS OR SIDEWALK MUST HAVE A ROOT BARRIER

PLANT LEGEND

QTY	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
TREES			
2	PRUNUS 'AMANOGAWA'	AMANOGAWA FLOWERING CHERRY	2" CALIPER, SPACING PER PLAN
SHRUBS			
15	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	MIN. 18" HT., 4' O.C. SPACING
8	WEIGELA FLORIDA 'ALEXANDRA'	WINE AND ROSES WEIGALA	MIN. 18" HT., 3' O.C. SPACING
21	PENNISETUM SETACEUM 'RUBRUM'	KELSEY DOGWOOD	MIN. 18" HT., 3' O.C. SPACING
GROUNDCOVERS			
52	ARCTOSTAPHYLOS UVA-URSI	VANCOUVER JADE KINNIKINICK	1 GALLON, 18" O.C. SPACING
25	GAULTHERIA SHALLON	DWARF PURPLE FOUNTAIN GRASS	1 GALLON, 24" O.C. SPACING

LANDSCAPE NOTES AND SOIL QUALITY

- LANDSCAPE AREAS SHOULD BE DEEP-TILLED TO A DEPTH OF AT LEAST TWELVE (12) INCHES TO FACILITATE DEEP WATER PENETRATION AND SOIL OXYGENATION. PROVIDE SOIL AMENDMENTS ENCOURAGED TO IMPROVE WATER DRAINAGE, MOISTURE PENETRATION OR WATER-HOLDING CAPACITY. FOR ALL NEWLY LANDSCAPED AREAS ORGANIC MATTER SHOULD BE INCORPORATED TO A DEPTH OF FOUR (4) TO SIX (6) INCHES TO FACILITATE DEEP WATER PENETRATION AND SOIL OXYGENATION.
- CONTRACTOR SHALL PROVIDE 9" DEPTH IMPORTED TOPSOIL AT ALL LANDSCAPE PLANTING AREAS.
- IMPORTED TOPSOIL SHALL BE 3-WAY MIX.
- CONTRACTOR SHALL PROVIDE 2" DEPTH FINE COMPOST MULCH THROUGHOUT LANDSCAPE PLANTING AREAS.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF (1) ONE YEAR AFTER APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.
- TREES PLANTED FIVE FEET OR LESS FROM PAVED SURFACES SHALL BE PLANTED WITH ROOT CONTROL BARRIER.

PLANT IMAGES



AMANOGAWA FLOWERING CHERRY



KARL FOERSTER REED GRASS



WINE AND ROSES WEIGALA



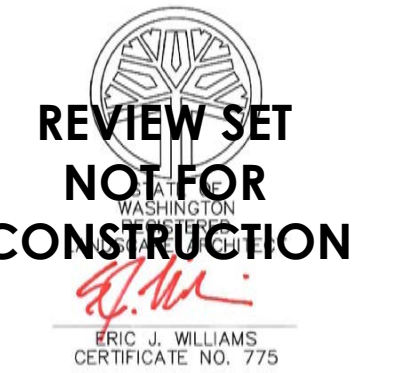
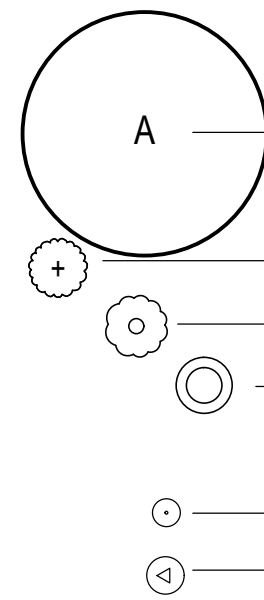
DWARF KELSEY DOGWOOD



KINNIKINICK



DWARF PURPLE FOUNTAIN GRASS



DRAWING SET:

REVISIONS:
REV 1:
REV 2:
REV 3:

PROJECT ADDRESS:

Studio 39 Apartment Building
420 Golf Club Road SE
Lacey, WA 98503

DESIGN: EJW
DRAWN: EJW
CHECKED: MJL

DATE: March 14, 2024

PROJECT: Studio 39 Apartments

NUMBER: LLA0486.24

SCALE: 1" = 10'-0"

TITLE:

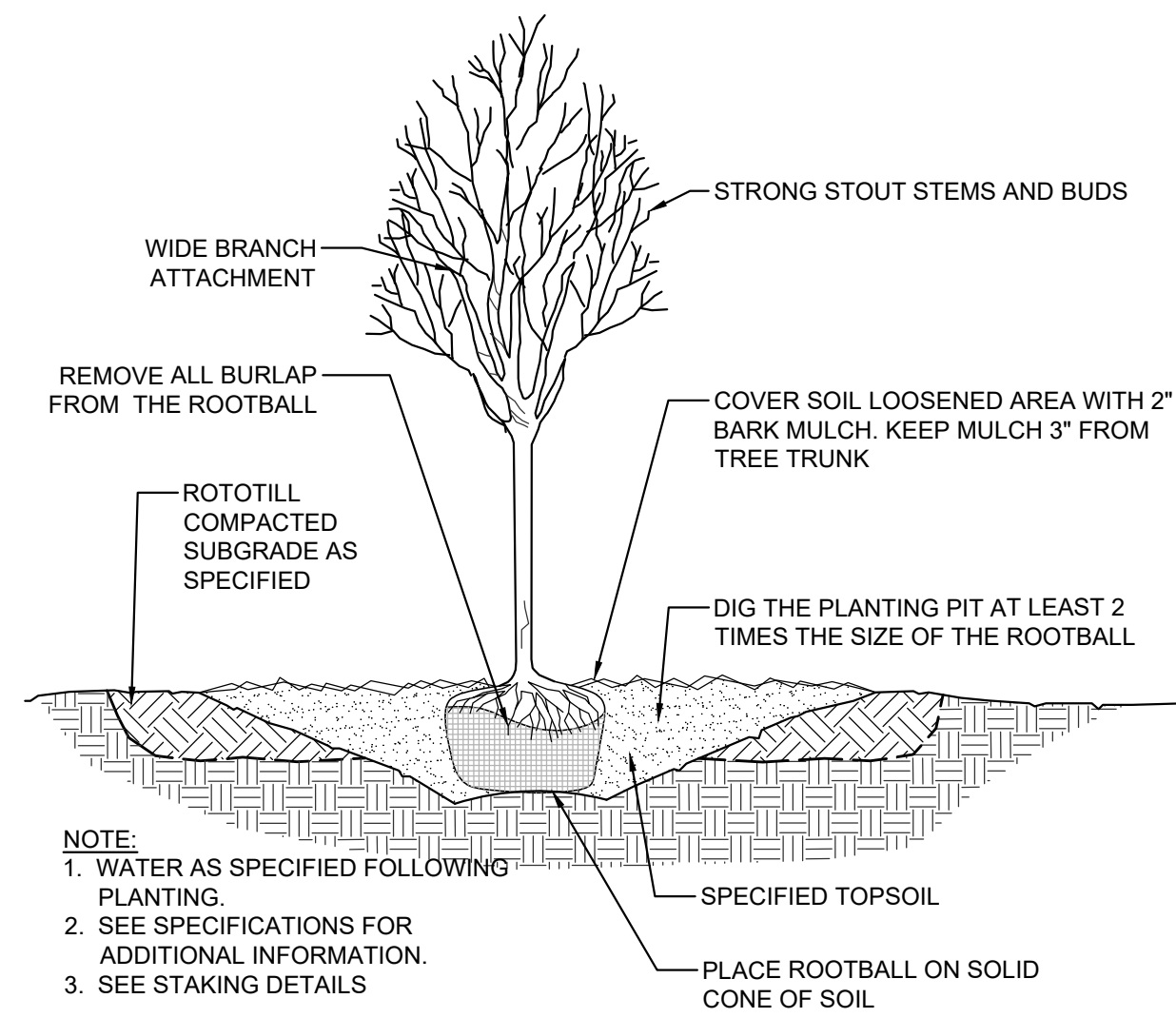
Plant Legend and Images

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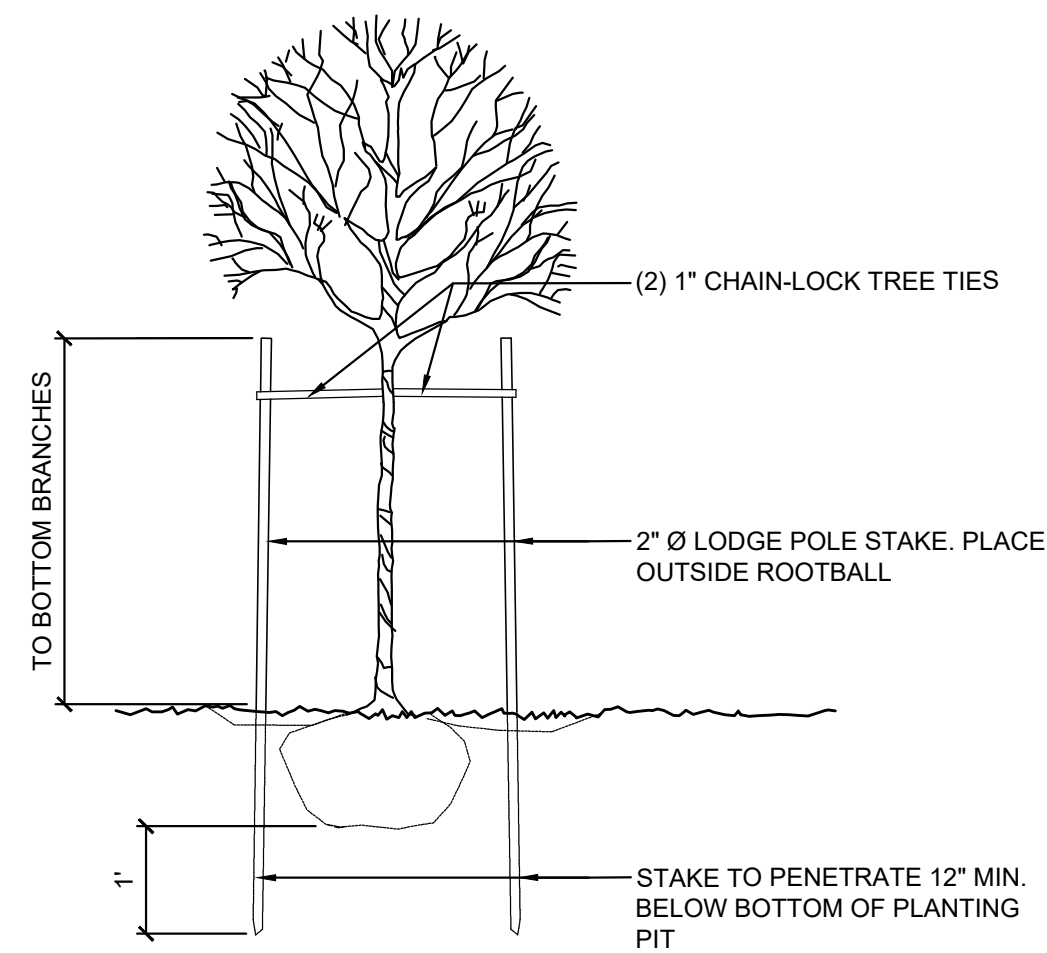
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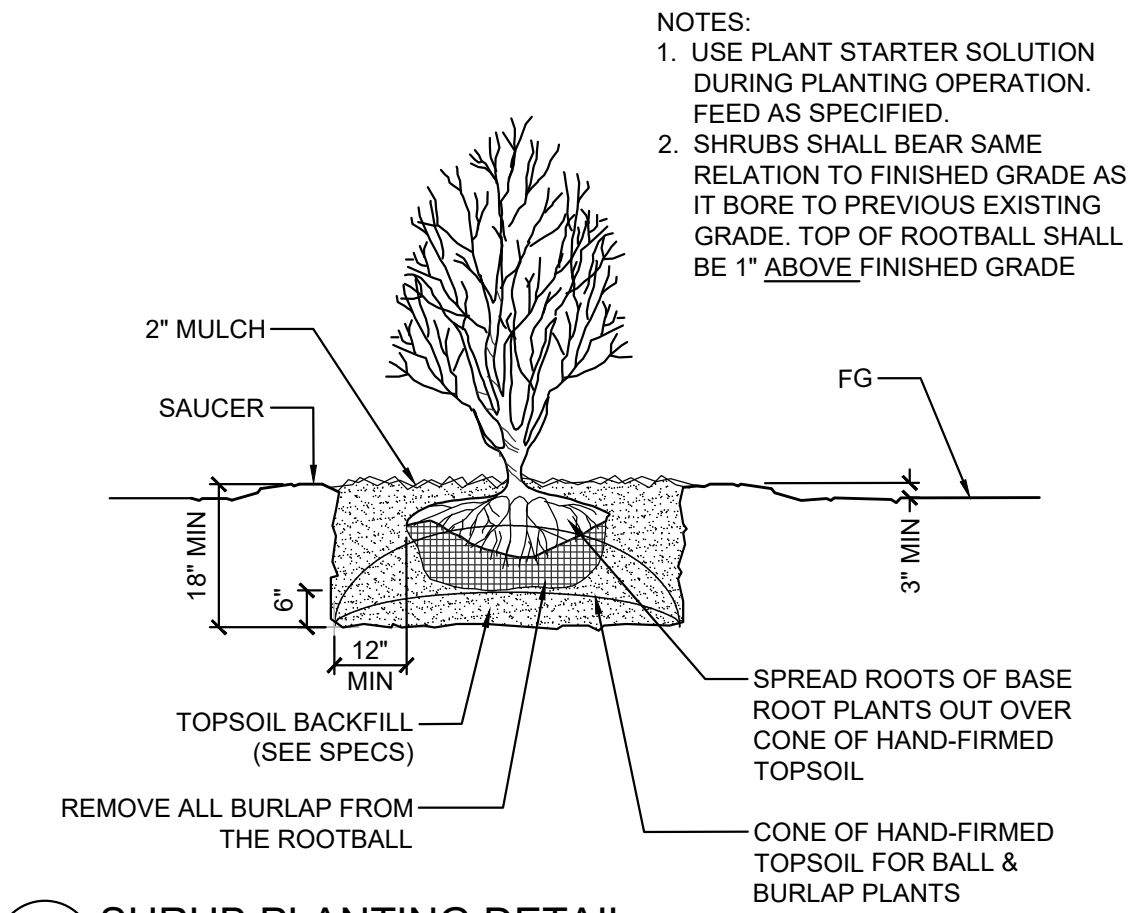
Know what's below.
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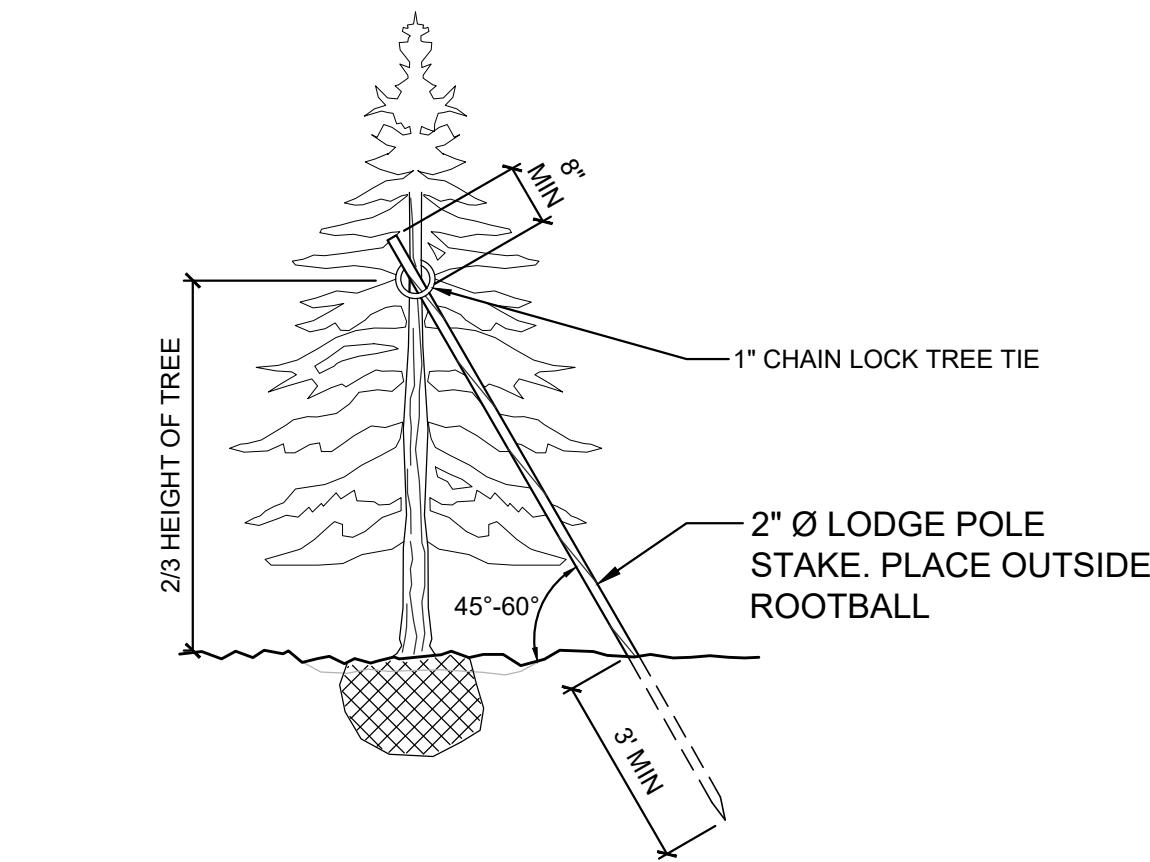
1 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS



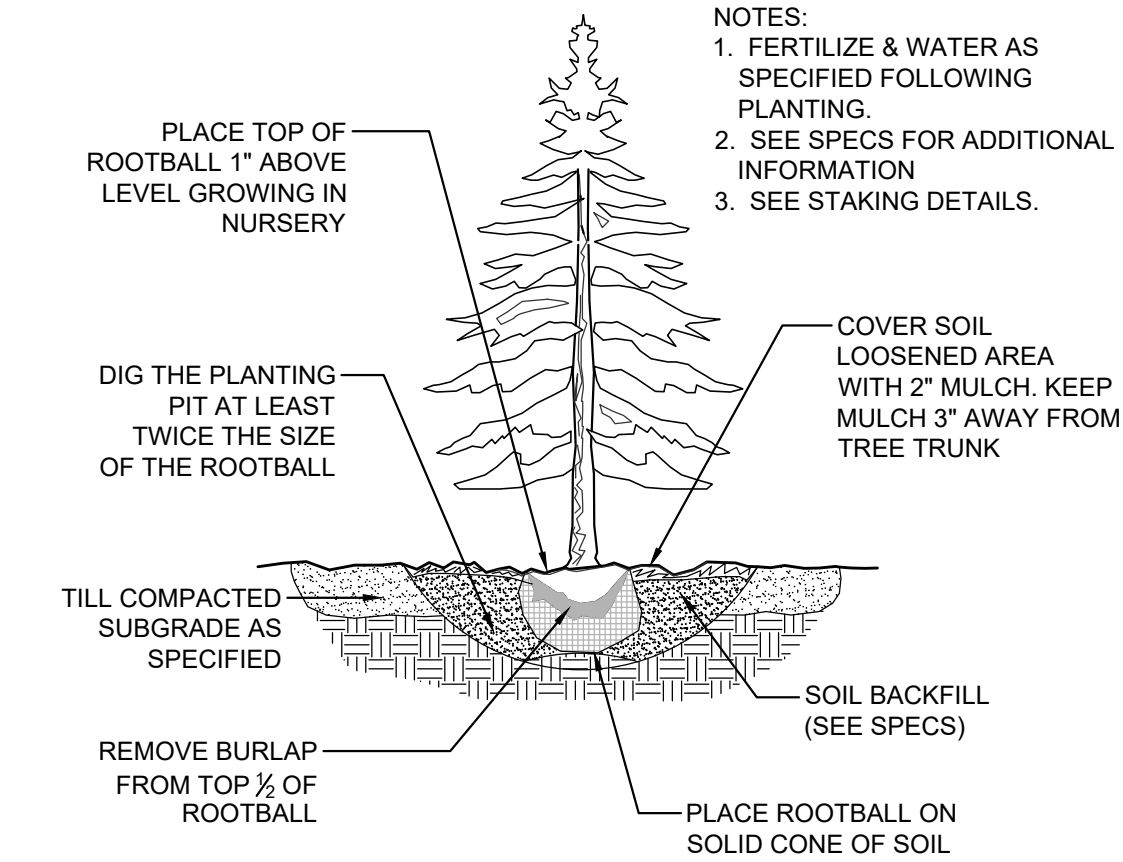
2 DECIDUOUS TREE STAKING DETAIL
SCALE: NTS



3 SHRUB PLANTING DETAIL
SCALE: NTS



4 CONIFER TREE STAKING
SCALE: NTS

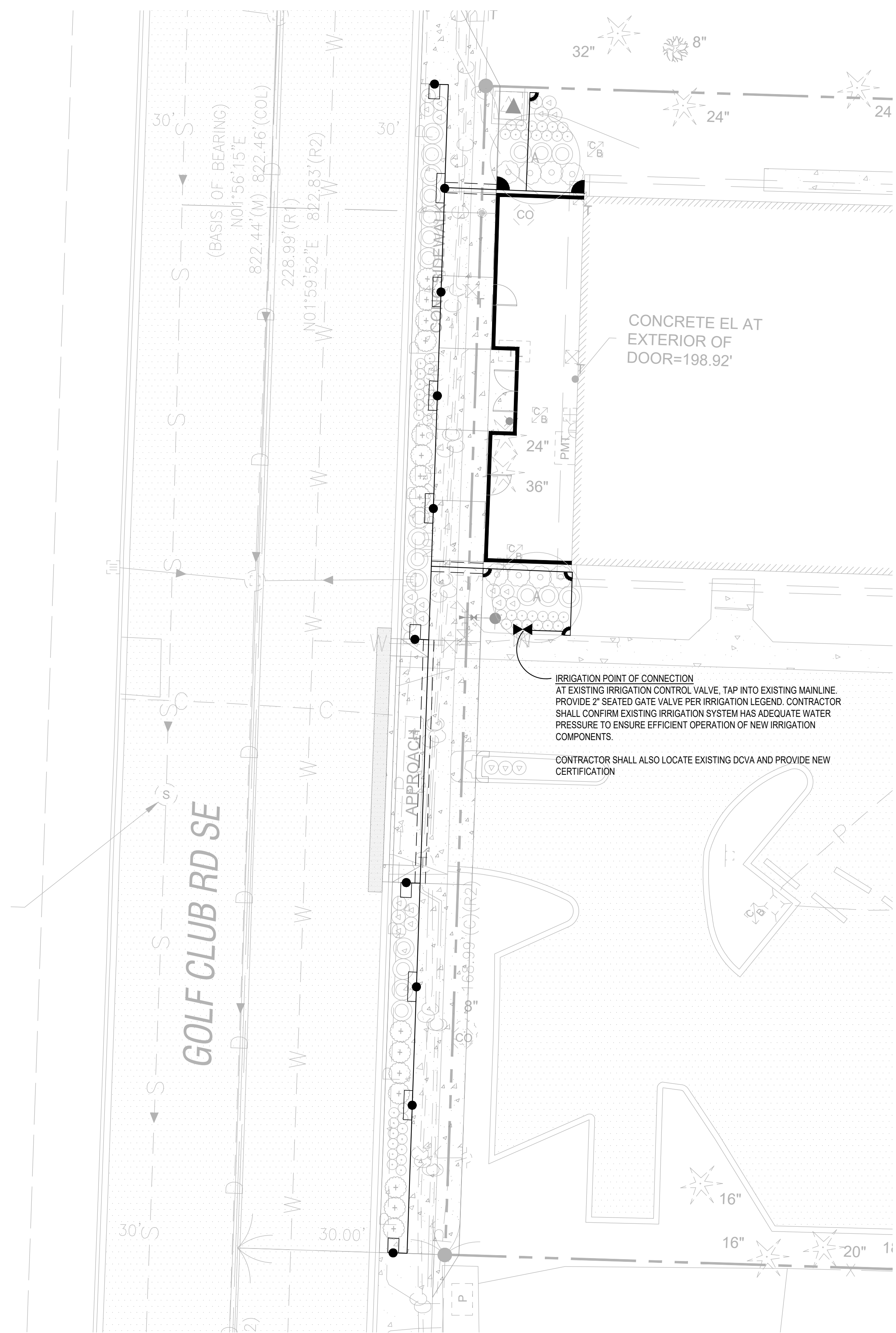


5 CONIFER PLANTING DETAIL
SCALE: NTS

NOTES:
1. USE PLANT STARTER SOLUTION DURING PLANTING OPERATION. FEED AS SPECIFIED.
2. SHRUBS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE. TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE



Know what's below.
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IRRIGATION LEGEND

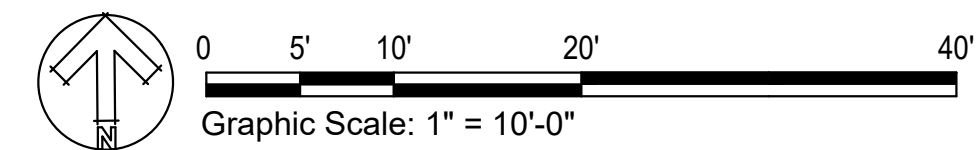
SYMBOL	MFG.	MODEL #	DESCRIPTION
DCV			NOT SHOWN - DOUBLE CHECK VALVE ASSEMBLY W/ UNIONS. CONTRACTOR TO FIELD LOCATE AND PROVIDE NEW CERTIFICATION
⌘	KENNEDY	8561ASS	2" RESILIENT SEATED GATE VALVE
C			NOT SHOWN - EXISTING IRRIGATION CONTROLLER. CONTRACTOR TO ENSURE PROPER OPERATION BEFORE, AFTER AND DURING CONSTRUCTION
—			SCHEDULE 200 PVC LATERAL LINES, SIZE TO NOT EXCEED 7 FPS @ 12" DEPTH
≡≡≡≡			CLASS 200 PVC SLEEVES @ 24" DEPTH, MIN. 4" DIAMETER, SIZE TO ACCOMMODATE MAINLINE, LATERAL LINES, WIRING

IRRIGATION HEAD SCHEDULE

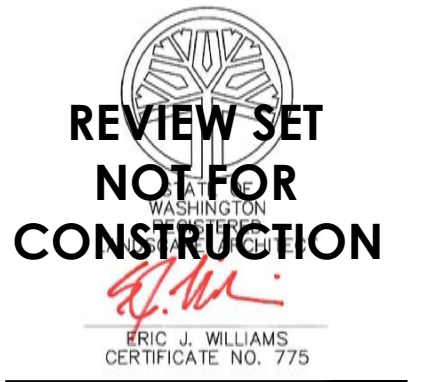
SYM.	CATALOG NUMBER	RADIUS	GPM	PSI
SPRAY HEADS				
▲	RAINBIRD 1800-MPR-10Q	10	0.39	30
▲	RAINBIRD 1800-MPR-15Q	15	0.95	30
⌘	RAINBIRD 1800-MPR-15EST	4'X15'	0.61	30
⌘	RAINBIRD 1800-MPR-15SST	4'X30'	1.21	30

IRRIGATION POINT OF CONNECTION AT EXISTING IRRIGATION CONTROL VALVE, TAP INTO EXISTING MAINLINE. PROVIDE 2" SEATED GATE VALVE PER IRRIGATION LEGEND. CONTRACTOR SHALL CONFIRM EXISTING IRRIGATION SYSTEM HAS ADEQUATE WATER PRESSURE TO ENSURE EFFICIENT OPERATION OF NEW IRRIGATION COMPONENTS.

CONTRACTOR SHALL ALSO LOCATE EXISTING DCVA AND PROVIDE NEW CERTIFICATION



Permit Set



DRAWING SET:

REVISIONS:
 REV 1:
 REV 2:
 REV 3:

PROJECT ADDRESS:

Studio 39 Apartment Building
 420 Golf Club Road SE
 Lacey, WA 98503

DESIGN: EJW
 DRAWN: EJW
 CHECKED: MJL

DATE: March 14, 2024

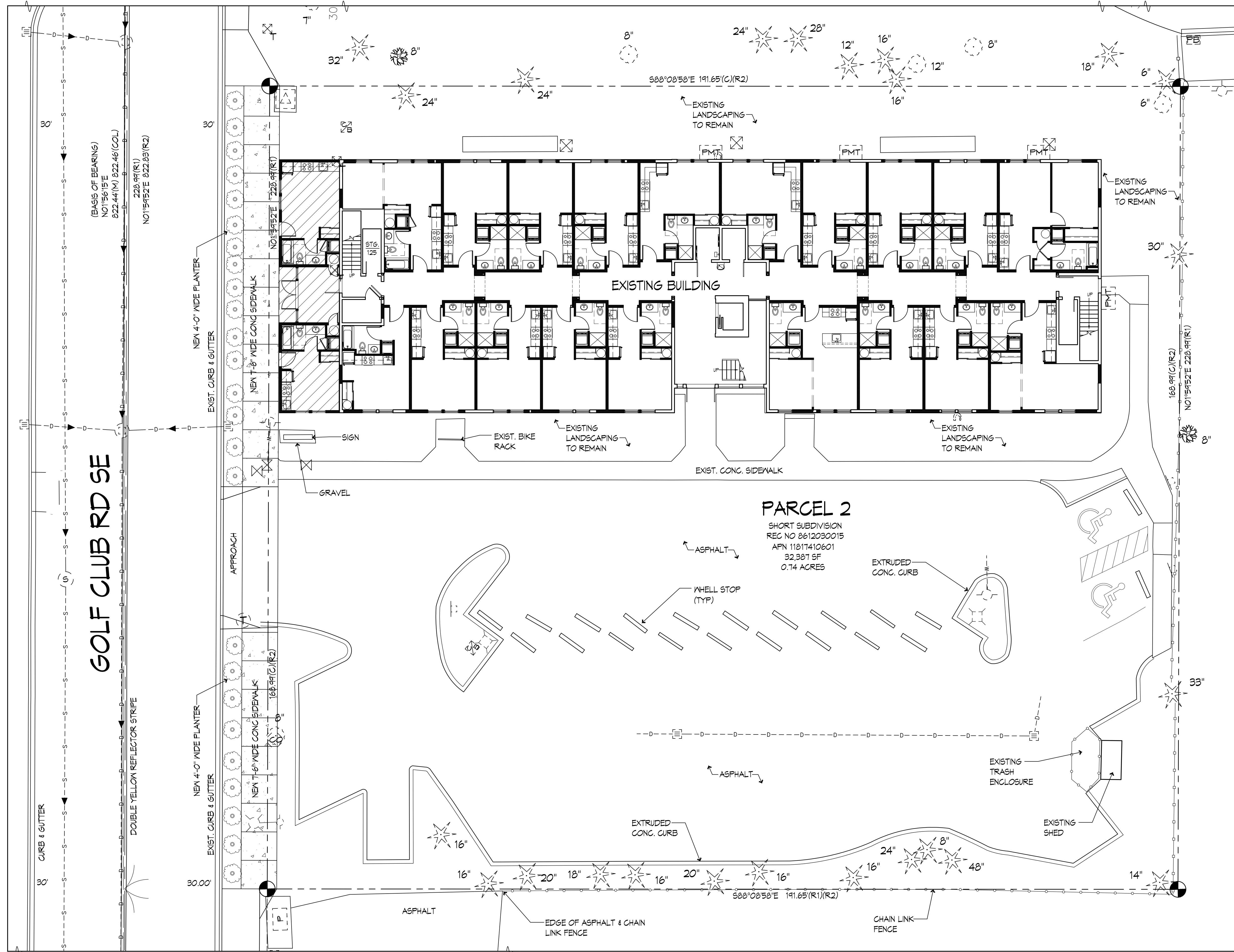
PROJECT: Studio 39 Apartments

NUMBER: LLA0486.24

SCALE: 1" = 10'-0"
 TITLE: Irrigation Plan

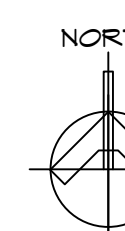
SHEET:

L2.00



1 ARCHITECTURAL SITE PLAN
SCALE: 1:10

NOTE: THIS DRAWING DOES NOT REPRESENT A SURVEY PERFORMED UNDER THE DIRECTION OF A LICENSED SURVEYOR. ANY BEARINGS AND DISTANCES SHOWN ARE APPROXIMATED AND THE BASIS OF BEARING IS ASSUMED. ANY VERTICAL DATUM SHOWN IS ALSO ASSUMED.



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**"STUDIO 39"
APARTMENT BUILDING
420 GOLF CLUB RD SE
LACEY, WA 98503**

WOODLAND DISTRICT REVIEW

CONTENTS

SITE PLAN	

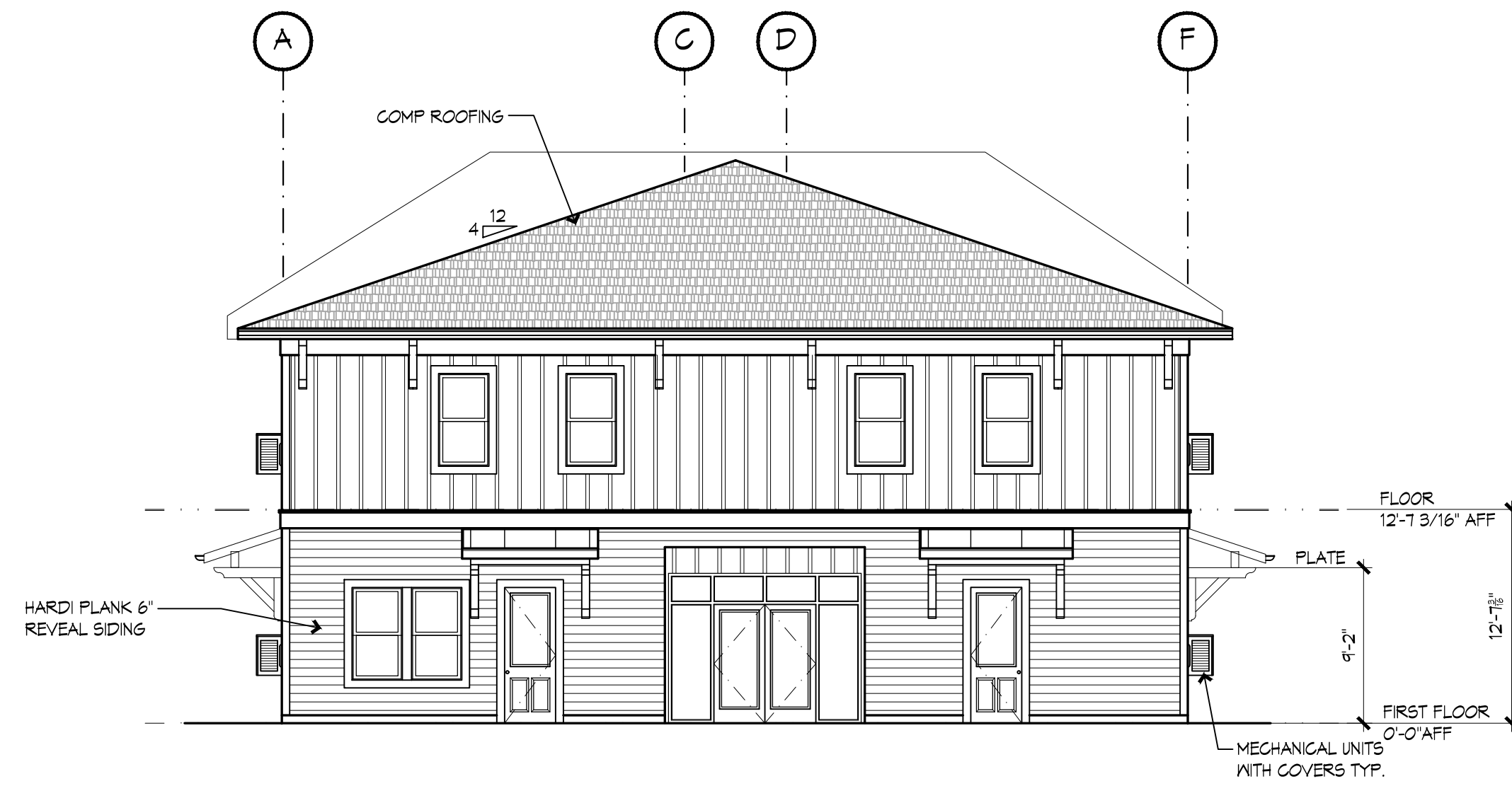
REVISIONS

NO.	DATE	ITEM

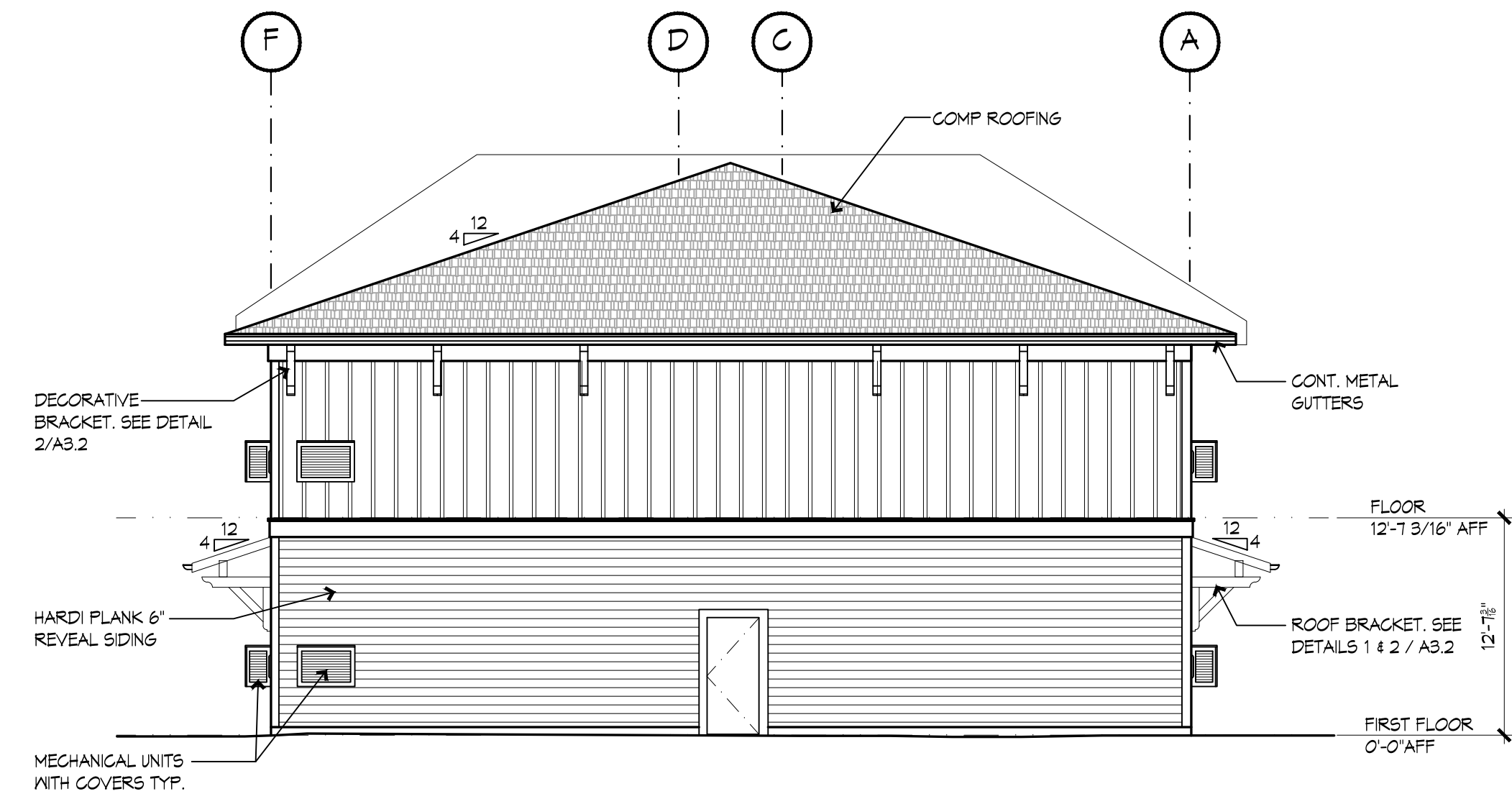
PROJECT NO: 23-001
DATE: 14 MAR 24
DRAWN BY: JB

SHEET NO:

A1.0



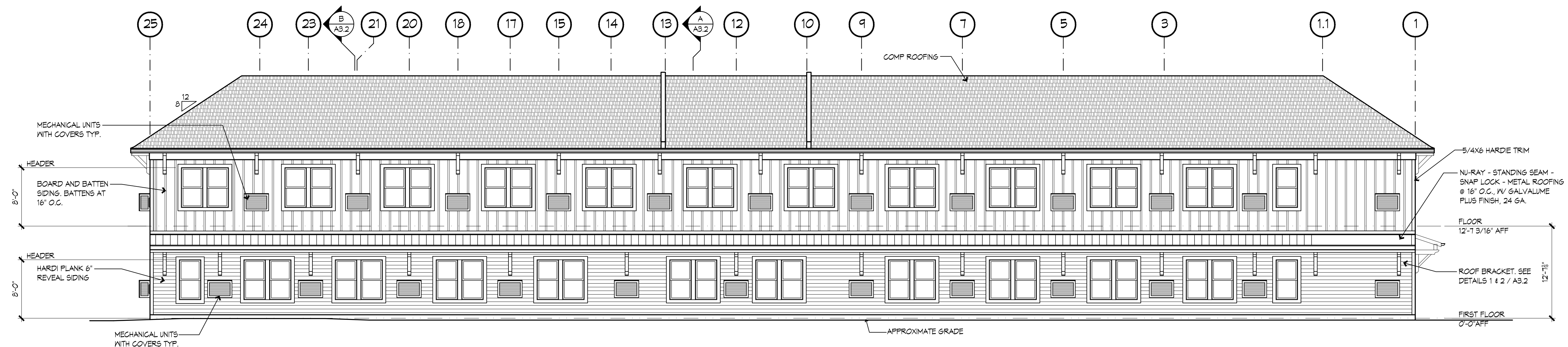
4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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"STUDIO 39"
APARTMENT BUILDING
420 GOLF CLUB RD SE
LACEY, WA 98503

WOODLAND DISTRICT REVIEW

CONTENTS

EXISTING ELEVATIONS

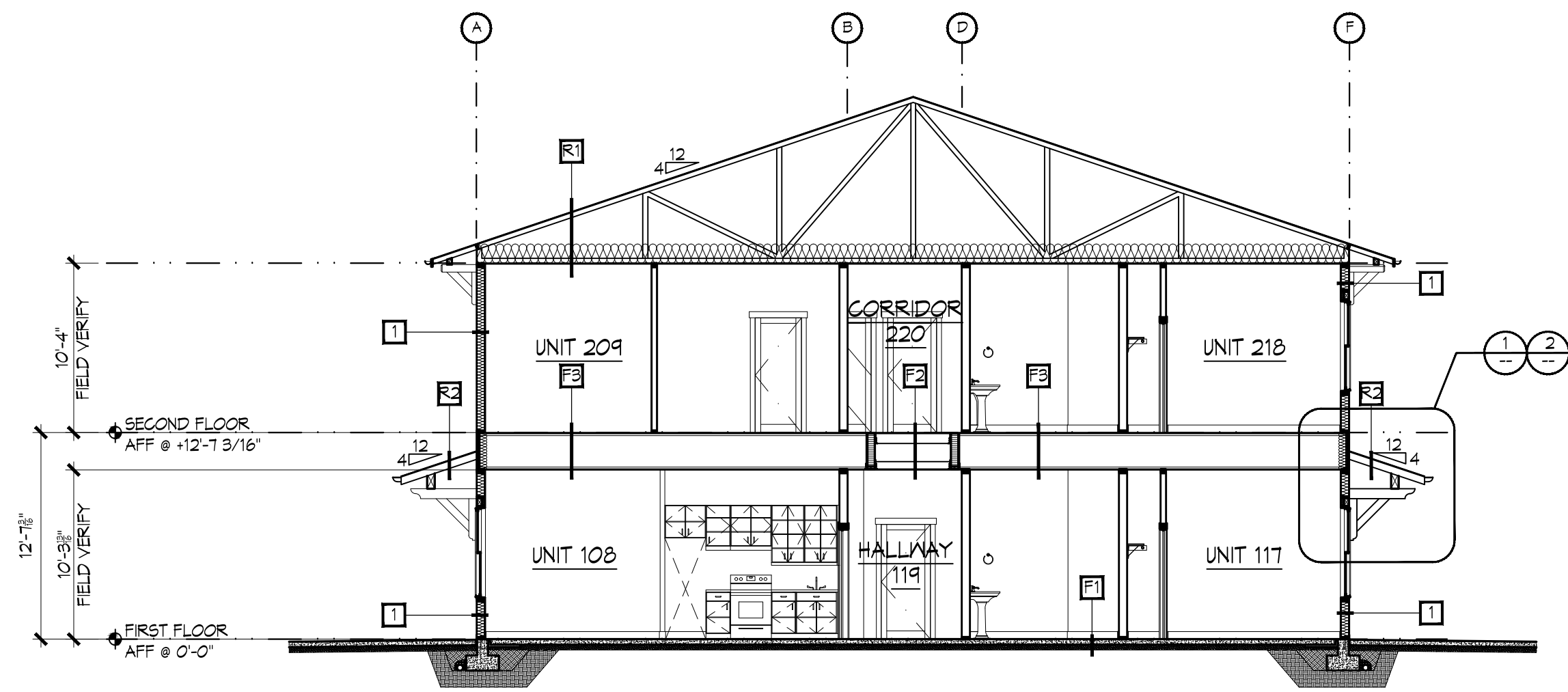
REVISIONS

NO. DATE ITEM

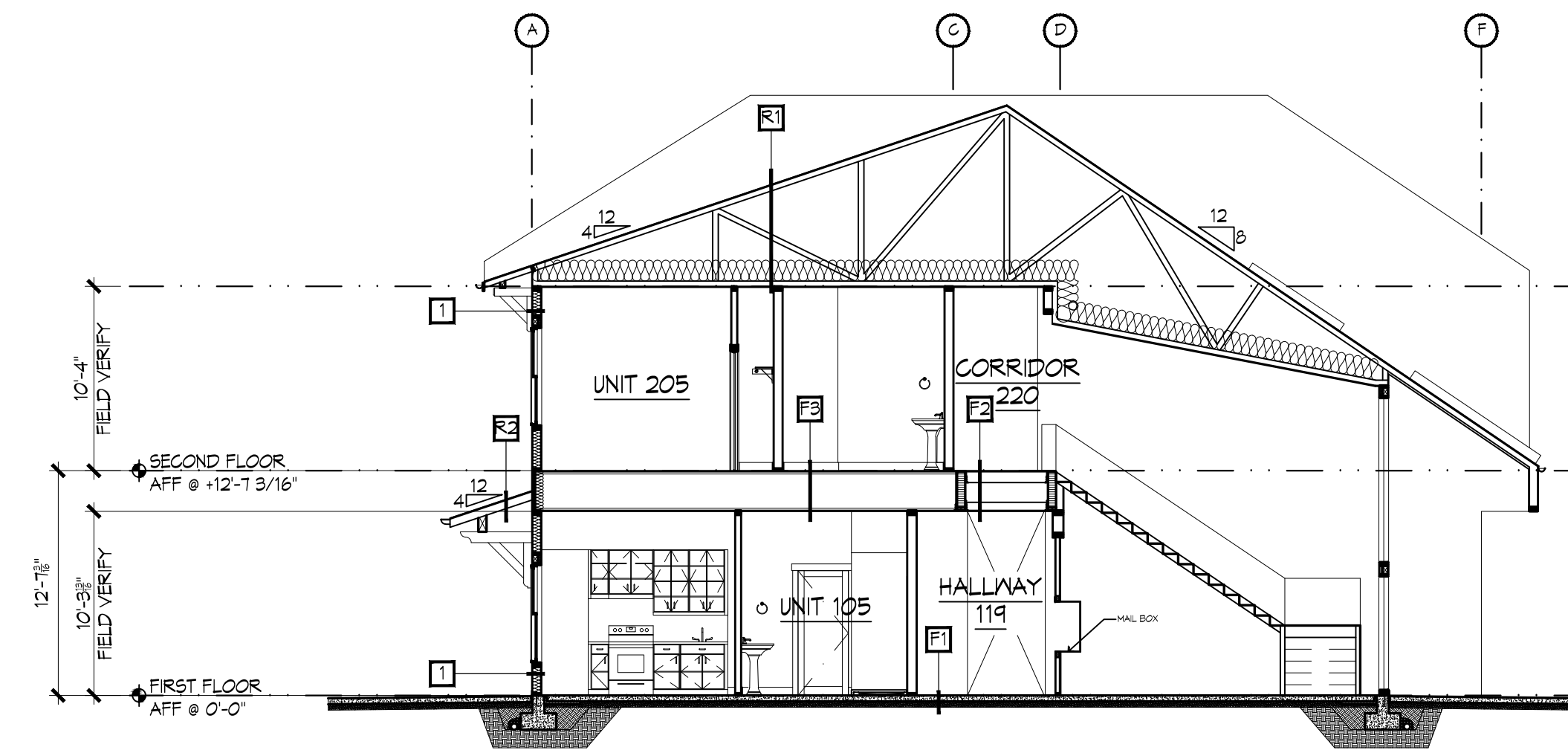
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DATE: 14 MAR 24
DRAWN BY: JB

SHEET NO:

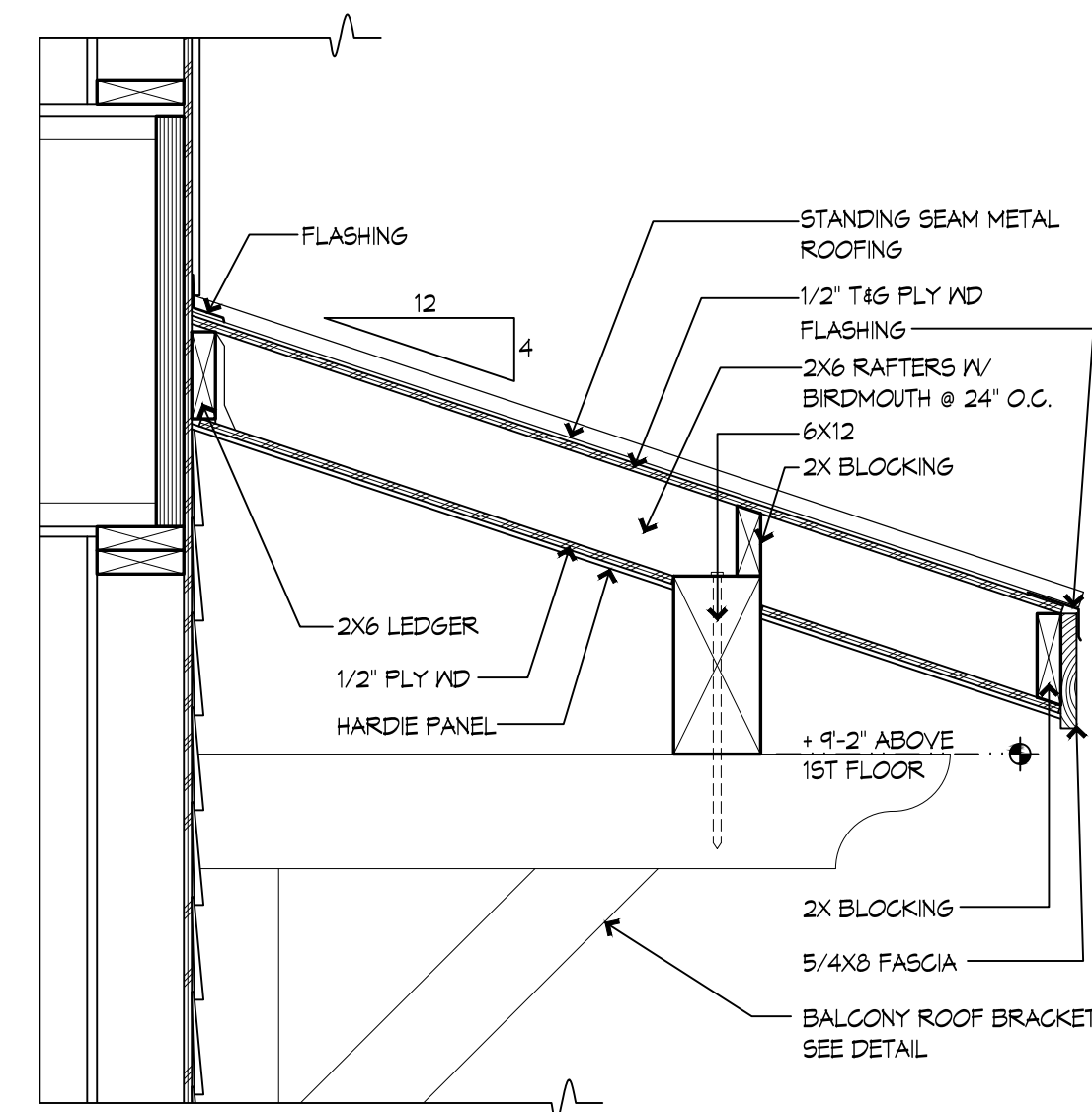
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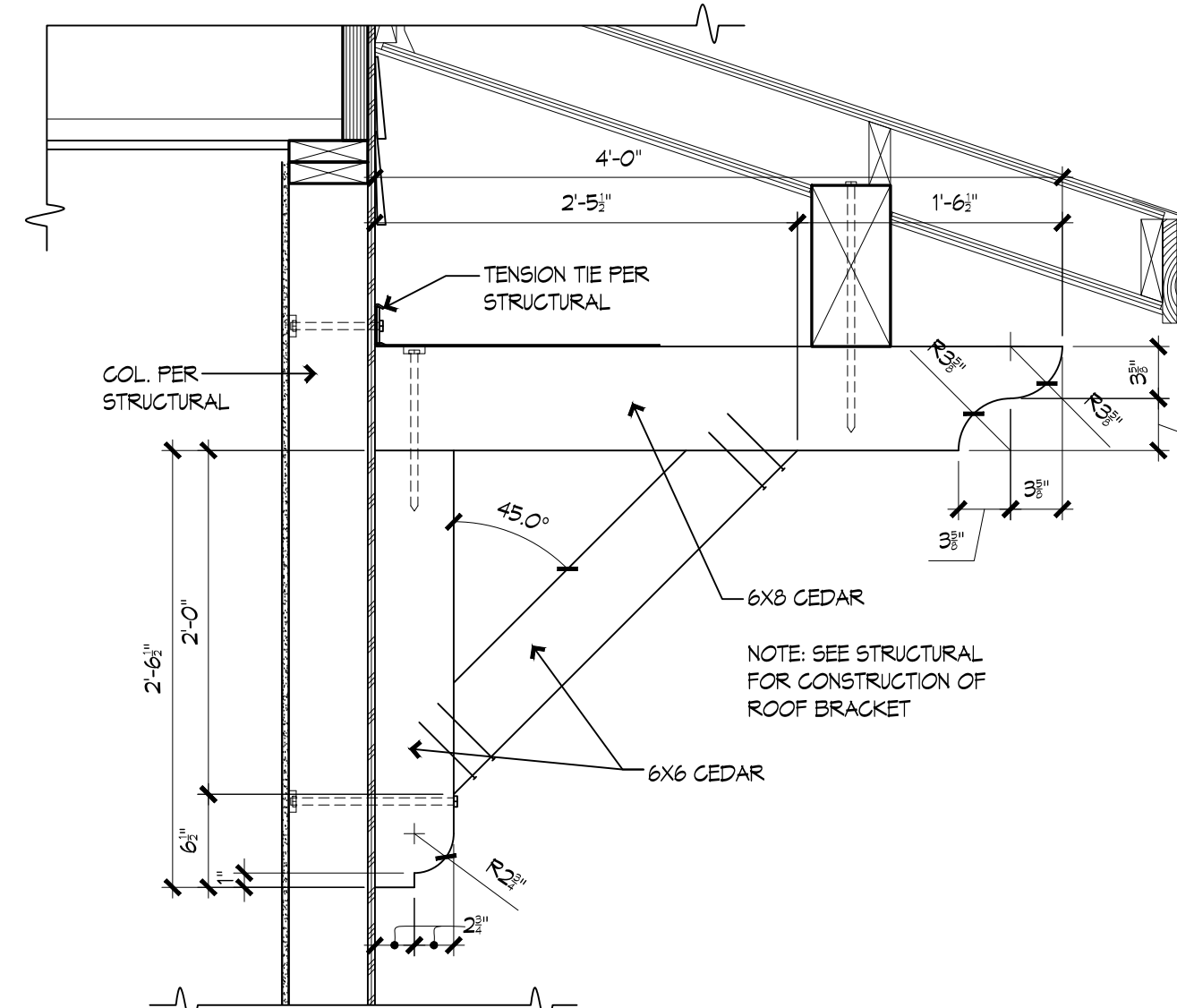
SECTION B-B
SCALE: 1/8" = 1'-0"



SECTION A-A
SCALE: 1/8" = 1'-0"



1 LOW ROOF DETAIL
SCALE: 1" = 1'-0"



2 LOW ROOF BRACKET DETAIL
SCALE: 1" = 1'-0"

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"STUDIO 39"
APARTMENT BUILDING
420 GOLF CLUB RD SE
LACEY, WA 98503

WOODLAND DISTRICT REVIEW

CONTENTS

SECTIONS

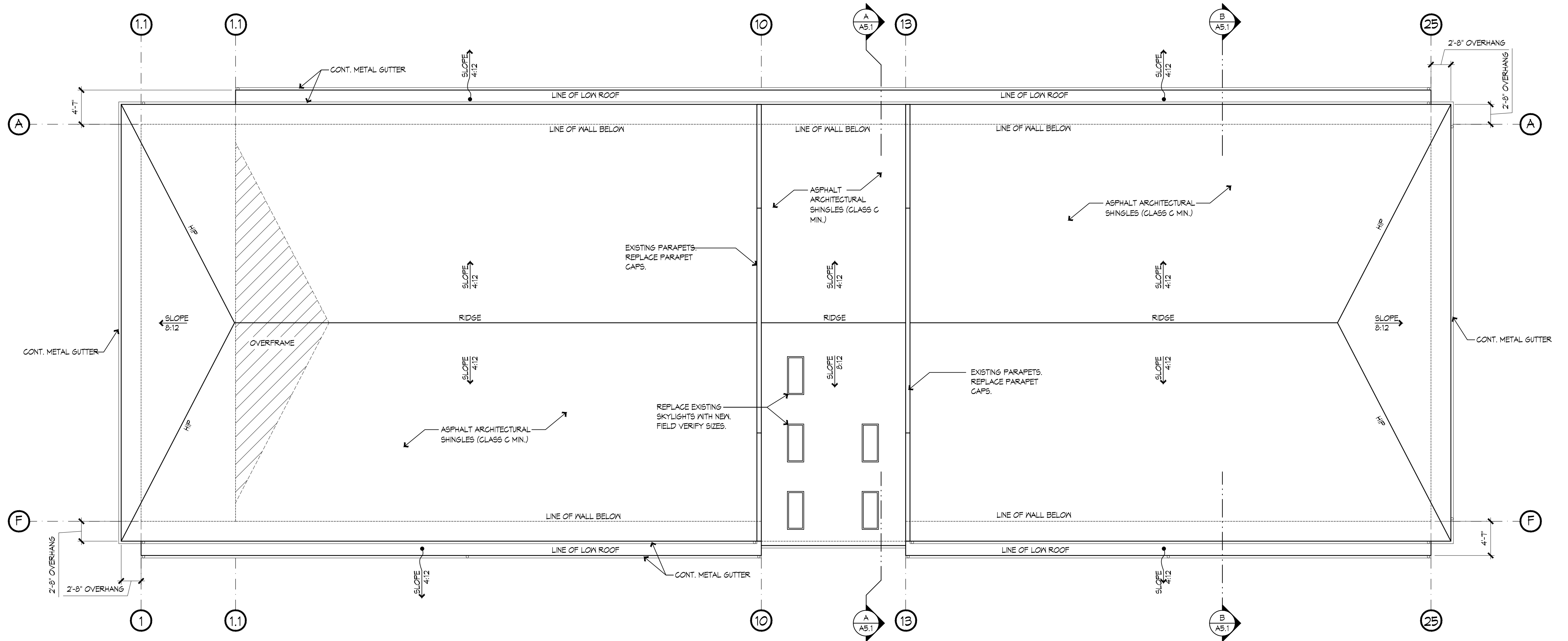
BRACKET AND ROOF DETAILS

REVISIONS

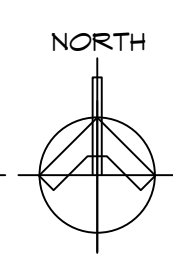
NO.	DATE	ITEM

PROJECT NO: 23-001
DATE: 14 MAR 24
DRAWN BY: JB

SHEET NO:



1 ROOF PLAN
SCALE: 1/8" = 1'-0"



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"STUDIO 39"
APARTMENT BUILDING
420 GOLF CLUB RD SE
LACEY, WA 98503

WOODLAND DISTRICT REVIEW

CONTENTS		
ROOF PLAN		
REVISIONS		
NO.	DATE	ITEM
PROJECT NO:	23-001	
DATE:	14 MAR 24	
DRAWN BY:	JB	
SHEET NO:		

A7.1