



Community and Economic Development

LACEY CITY COUNCIL

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NOTICE OF SITE PLAN REVIEW DECISION

Case Number: 24-0221 – Martin Way Commercial

Applicant: JSA Civil, LLC
111 Tumwater Boulevard SE, Ste C210
Tumwater, WA 98501

Contact: Nick Wheeler

Description of Proposal: JSA Civil is proposing three commercial structures totaling 12,358 SF on a 1.37-acre parcel, with associated parking, landscaping, stormwater facilities, and utilities.

Location of Proposal: 8501 Martin Way East, Lacey, Washington. The parcel number is 11812330101 and is located in Lacey, Thurston County, Washington.

Date of Decision: October 2, 2024

Decision: The Lacey Site Plan Review Committee has **APPROVED** the site plan and application subject to the attached conditions and findings of fact.

Expiration Date of Approval: April 2, 2026. Approval of the site plan shall be effective for 18 months from the date of approval. A request for one six-month extension may be granted if requested in writing 30 days prior to the original expiration date.

Appeal Deadline: October 16, 2024. The decision of the Committee is final unless a written notice of appeal is filed with the Planning Department at Lacey City Hall prior to 5:00 p.m. on the above date. The applicant, public agencies and/or departments or persons of record who believe they have been negatively impacted may make an appeal. The timely filing of an appeal shall stay the effective date of the Committee's decision until the appeal is adjudicated by the Hearings Examiner.

Project Review Team:

Planning Department:	Sarah Bartz	(360) 491-5642
Public Works Department:	Tom Stiles	(360) 491-5600
Building and Fire Codes:	Terry McDaniel	(360) 491-5642

Each submittal shall be made directly to the appropriate department. The applicant or applicant's representative is responsible for tracking the project through the permitting process.

The complete case file, including findings, conclusions, and conditions of approval, is available for review at Lacey City Hall in the Community Development Department, between 8:00 am and 5:00 pm, Monday through Friday. Please contact Sarah Bartz, Assistant Planner at the above-listed telephone number to arrange for a review of these items.

Conditions of Approval:

Community and Economic Development:

Planning

1. The project shall develop in substantial conformance with the materials/plans submitted on July 12, 2024 and August 12, 2024, except as modified by the conditions below.
2. All requirements of the Mitigated Determination of Nonsignificance issued on September 11, 2024 shall be satisfied.
3. Prior to building permit submittals, the developer shall receive Commercial Design Review approval from the City of Lacey for each structure onsite. The site and building design shall be in conformance with all applicable sections of Chapter 14.23 of the Lacey Municipal Code. A Design Review application and supporting materials shall be approved prior to submitting building application materials.
4. A revised site plan shall be submitted with the Design Review application and shall incorporate the following sections of Chapter 14.23: Pedestrian Plazas 14.23.086 (2); Blank Wall Limitations 14.23.086 (4); Primary Building Entrance 14.23.086 (5); and Circulation for Key Intersections 14.23.086 (D).
5. The site development coverage bonus outline in 16.23.060 (F) is granted once the required design elements for a Pedestrian Plaza 14.23.086 (2) are incorporated. The revised site plan shall illustrate the included improvements.
6. A revised site plan shall include location and details of required bike racks 16.72.050 (C).
7. Each individual Tenant Improvement (TI) permit shall be reviewed by Planning to assess compliance with the design review elements required by the Commercial Design Review approval.

8. The Sound Urban Forestry, LLC memo dated September 4, 2024 regarding tree tract area, tree preservation, species, and protection fencing shall be addressed during Commercial Design Review. Revised site and landscaping plans with tree information/calculations is required. Revisions will be sent to Sound Urban Forestry, LLC for a second review.
9. The landscape plans shall be revised to address and incorporate required Design Review Elements of 14.23.086.
10. Landscape revisions submitted with the required Commercial Design Review material shall show details on the refuse container screening 16.23.050 (C).
11. A separate irrigation plan must also be submitted showing the location of all irrigation lines, location of sprinkler heads, and approximate coverage areas. **The plans must include a note stating that: “The property owner is responsible for maintaining all plants in a healthy growing condition for the life of the project”.** All requirements of Chapter 16.80 of the Zoning Code shall be satisfied. (LMC 16.80)
12. The following note shall be shown on the site and landscape plans for the project:
“The tree tract is designated in accordance with LMC 14.32 and shall be dedicated to the growing, protection, and preservation of trees in perpetuity. No tree removal in the tree tract, without the prior written authorization of the City of Lacey, is allowed”.
13. Grading plans shall be designed to consider tree retention on the site (see Condition #8). Prior to any site clearing and/or construction activities occurring all tree protection fencing shall be placed around the perimeter or the tree protection and tree tract areas, and around any individual trees selected to be retained. Tree protection fencing shall be shown on the grading plans for the proposed project. Sound Urban Forestry, LLC will review and approved tree protection fencing.
14. A note shall be placed on the face of the landscaping and irrigation plans stating that:
“Any irrigation lines placed within tree protection zones established for the project must be installed in such a manner as to not cause damage to the root protection zone, such as by cutting roots, digging trenches, operation of machinery, etc. Special care must be taken (hand digging trenches, designing lines to stay out of these areas where possible, etc.) to ensure damage to the trees does not occur. In the event damage to these areas does occur, the city may require, at their discretion, replacement of the comparable landscape value of the trees damaged or other means to make up that loss”. (LMC 16.80)
15. If Certificate of Occupancy/Final Inspection is requested prior to the installation of the approved landscaping and irrigation, a detailed estimate from a landscape installer must be submitted to the Planning Department. The estimate should include all costs

associated with installing landscaping and irrigation as called out on the approved plans, including labor. A financial security must be provided to the CED Department in the amount of 150 percent of the above-mentioned landscape estimate. The City shall release this financial security once the landscaping for the project is installed and approved by the CED Department. (LMC 16.80)

16. Prior to Certificate of Occupancy, a landscape maintenance bond, or other financial security devise, shall be submitted to the CED Department. The bond shall be in the amount of 20% of the value of the vegetative improvements and shall be held for a minimum period of two years. The two-year period starts at the completion of planting; however, for Type I landscaping, the period shall be three years. (LMC 16.80)
17. A sign permit shall be issued by the City of Lacey prior to the installation of any signs on the subject site. (LMC 16.75)
18. All applicable requirements of the City Zoning Code shall be satisfied.
19. The applicant/developer shall be responsible for obtaining all applicable permits required for the project. For example, these may include a General Construction Stormwater Permit (Ecology), ORCAA Notice of Construction, WDFW HPA approval, and/or any others. These permits may require additional review time from the appropriate agencies.

Building & Fire

Fire Code Comments

20. One fire hydrant shall be installed, tested and approved prior to building permit issuance. (LMC 14.07.501.4.) Fire hydrants shall be provided every 330 feet unless the fire flow is greater than 1,500 gpm then it shall be every 300 feet in accordance with IFC table (C102.1) and (LMC 14.07) for the building. Fire hydrants shall be placed no closer than 40 feet from the building or structure protected unless approved by the Fire Code Official.
21. The required fire-flow for any buildings shall be no less than **1,500 gpm** for 3 hours in accordance with IFC Appendix B. Said fire-flow is based on square footage/ building construction type, including a 50% credit for the installation of automatic fire sprinkler systems. (IFC section 507.1 LMC 14.07.015). The initial calculation is always based on type 5b wood framed construction as a worst-case scenario for fire flow. **Note: The Fire Code Specialist and City of Lacey Water System Engineer will determine fire flow based on construction type. As stated above we start with a “worst case scenario” fire flow and a larger water main size and can come down from that based on construction type and building size.**

22. If any of the future tenants are restaurants with an occupant load of 99 or more, the buildings shall be equipped with an approved automatic sprinkler system installed in accordance with NFPA 13 (2016 Edition) standards. In addition, a fire department connection shall be installed in accordance with (LMC 14.07). The fire department connection shall be located within 40 feet of a fire hydrant. **The building shall have its own FDC line with KNOX locking caps or plugs.** **Note: Sprinkler drawings and permitting at the City of Lacey are deferred submittals and are not required at time of architectural drawings.**

23. If any of the future tenants are restaurants with an occupant load of 99 or more, A separate building permit shall be required for the installation of fire sprinkler system underground piping. The design shall be in accordance with NFPA 24 Standards (2010 Edition) and City of Lacey Public Works Design Standards. Underground sprinkler piping shall be designed only by a Washington State Level III Certified contractor. Plans and specifications shall be submitted to the City of Lacey Building Department for review and approval prior to installation. Fire sprinkler system underground lead-in piping shall be installed only by a Washington State Level "U" Certified contractor. The submitted plans shall be accompanied by the level "U" certification of the installing contractor installing the underground piping. LMC 14.07.015; WAC 212-80-030 **Please note: Fire sprinkler underground drawings are required to be submitted prior to above ground sprinkler drawings. This is a separate permit submittal than the Civil set submitted to the City of Lacey Public Works Department. We ask for 2 sets of overall water plans only for submittal documents.**

24. If any of the future tenants are restaurants with an occupant load of 99 or more, an approved addressable fire alarm system with supervised monitoring shall be provided throughout the buildings in accordance with the City of Lacey Municipal Code (LMC 17.07) and NFPA 72 Standards (2016 Edition). **Note: Fire alarm drawings and permitting at the City of Lacey are deferred submittals and not required at architectural submittal.**

25. An approved 20-foot-wide all-weather surface fire apparatus access roads shall be provided to within 150-feet of all exterior portions of the buildings at ground level to meet hose lay. Said fire apparatus access road shall be located not less than 10-feet from the building. (IFC Section 503.1) The fire access road shall be able to handle imposed loads of 75,000 lbs. A 26-foot-wide fire access road shall be provided on one entire side of the building if the building is greater than 30 feet at the eve. (IFC Appendix D) The aerial access road does not include a public right of way. **Note: A temporary fire access road shall be provided at time of vertical permit issuance. The fire access road shall be approved by an engineer to handle the loads of fire apparatus. (LMC 14.07)**

26. An approved fire department turnaround may be required if the fire department access road has a dead end in excess of 150 feet. (IFC 503.2.5)
27. Approved 16" minimum address numbers shall be provided on the building in a location facing the fire apparatus access roadway. The address numbers shall contrast the buildings color. (IFC Section 505.1; LMC 14.07.015)
28. An approved Fire Department and Police Department key-box shall be provided on the gate in accordance with (IFC Section 506) and (LMC 14.07). Said fire department and police department key-box shall be installed in a location approved by the City of Lacey Fire Code Official. Said key-box shall contain keys necessary for fire department and police department access the site for emergency service operations. Go to [knoxbox.com](https://www.knoxbox.com) for City of Lacey key boxes for Lacey Fire District #3 and Lacey Police Department. Upon completion of the key-box installation, the City of Lacey Fire Code Specialist shall install the necessary keys and cover. (IFC Section 506).
29. Approved fire lane marking shall be provided where necessary to discourage obstructions by the parking of private vehicles. Upon completion of final road surfaces and curbing construction, the City of Lacey Fire Code Official shall perform a site inspection to determine locations where fire lane marking will be necessary to discourage the parking of private vehicles. Said fire lane marking, where applicable, shall be provided and approved prior to final occupancy approval. IFC Section D-103.6; LMC 14.07.015
30. Fire extinguishers shall be provided every 75 feet or on each landing in accordance with (LMC 14.07) fire extinguishers shall be the 2a10bc type.
31. Please note we are under the International Fire Code 2021 Edition and all NFPA code requirements of the most recent year published.
32. The City of Lacey Fire Code Official shall conduct the necessary inspections or witness required tests to ascertain compliance with applicable fire codes. The applicant shall contact the City of Lacey Building Department, at (360) 491-5642, to schedule the required inspection or to request witness of required tests. At least 24 hours shall be allowed for scheduling. (IFC Section 106.2)

Building Code Comments

33. The project shall comply with the applicable requirements of the 2021 International Building Code, 2021 International Existing Building Code, 2021 International Fire Code, the 2021 Washington State Energy Code and all other codes adopted by the City of Lacey.

34. A Washington State Licensed Architect and Engineer will be required for the project.
35. The project shall comply with the accessibility requirements of the 2017 ANSI A117.1-2017. There shall be an accessible route of travel to the public right of way. **The entire site shall have ADA connectivity.**
36. EV charging stations are required per the Lacey Municipal Code and International Building Code Section 420.1.
37. Energy calculations shall be submitted with the architectural plans. The energy calculation form can be found on the city website under Community and Economic Development Department, Building Code Division, forms and applications.
38. Addressing is assigned by Lacey Community Development Department, please contact (360) 491-5642 prior to submission of plans.
39. A grading permit is required for the proposed scope of work, prior to building permit issuance.
40. A third-party special inspection testing agreement form is required for permit issuance. The form can be found on the city website under Community and Economic Development Department, Building Code Division, forms and applications.
41. Prior to grading permit issuance, a preconstruction meeting shall be held with the Stormwater and Erosion Control Specialist. Call (360) 491-5642 to schedule.
42. Prior to the buildings going vertical, a building preconstruction meeting shall be held with the Building Official. Call (360) 491-5642 to schedule.

Public Works

Specific Water Improvements

43. To provide domestic water service to each commercial building, meet water quality and Lacey Fire requirements, appropriately sized water mains (12-inch minimum unless water modeling shows smaller mains will suffice) shall be extended throughout the proposed site. City of Lacey 2017 Development Guidelines and Public Works Standards manual (DG&PWS) 6.010.
44. The 12-inch stub currently available on Gerald Street shall be extended onsite and connected to the 12-inch main in Litt Drive.

General Water Improvements

45. For Irrigation lines located in the right-of-way, the following shall be stated on the irrigation plans and is a condition of approval: “The property owner adjacent to the public right-of-way is responsible for maintaining and locating all irrigation lines located in the public right-of-way”. (DG&PWS, Water, Irrigation 6.210).
46. In addition to all Federal and State requirements, water system improvements shall meet the requirements of the current City of Lacey City of Lacey Development Guidelines and Public Works Standards Manual, the Coordinated Water System Plan (CWSP), Department of Health (DOH), City of Lacey Water System Plan, AWWA, Department of Ecology, Thurston County Environmental Health and City of Lacey Fire Code Official’s standards. Actual main size, loop closures, and possible off-site improvements including the number and location of fire hydrants, will depend on the fire flows required and available to the site. (DG&PWS, Water 6.010)
47. Water main extensions shall be on the north/east side of the road or drive area 6 feet from the center line. (DG&PWS) 6.010, 6.020.
48. Unless approved by the City of Lacey prior to civil drawing submittal, “Dead End” water mains cannot be created with this project (DG&PWS, Water 6.020)
49. Each building shall be individually metered. A domestic water service shall be provided for each building. Also, a Reduced Pressure Backflow Assembly device shall be installed for each water service/building. (DG&PWS 6.120 F and Appendix P)
50. An irrigation meter with a Double Check Valve Assembly backflow prevention device shall be provided for all landscaped areas. (DG&PWS, Water 6.120F)
51. To assure adequate water is present for your project. Modeling of the water system shall occur. Please contact Brandon McAllister at (360) 413-4386 to coordinate the fire flow modeling.
52. If utility extensions are needed for the proposed project for roads that were paved in the last five years and the roads must be “cut”, a disruption fee will be charged in accordance with Lacey Municipal Code 12.16.055.
53. The builder/applicant/owner is required to purchase each water meter prior to the issuance of each building permit. (DG&PWS Water 6.121)

Specific Sewer Improvements

54. The existing 8-inch gravity manhole or stub located in Litt Drive shall be utilized and extended onsite to provide sewer service to each building.
55. If restaurants are desired, appropriately size grease interceptors shall be installed prior to each side sewer connecting to the sewer main.
56. Sewer laterals shall be provided for each building connecting to the public sewer main. Commercial sewer laterals shall be connected to a manhole, laterals shall not connect to manholes with an angle less than 90 degrees in relation to the outlet pipe. (DG&PWS, Sewer 7A.010)

General Sewer Improvements

57. All structures connected to water shall be connected to sanitary sewer. (DG&PWS, Sewer 7A.010) Public mains with associated appurtenances shall be installed to serve the proposed project with sewer.
58. Sewer main extensions shall be located 6-feet off the centerline of the street/drive area on the South or West side. (DG&PWS, Sewer 7A.010)
59. In addition to all Federal and State requirements, sanitary sewer improvements associated with this project shall comply with current City of Lacey Development Guidelines and Public Works Standards Manual, City of Lacey Comprehensive Sanitary Sewer Plan, Thurston County Health Department, Washington State Department of Health (DOH), the LOTT Clean Water Alliance and Department of Ecology. (DG&PWS, Sewer 7A.010 and Subdivisions and Short Plat 2-21)
60. Confirmation that the site layout satisfies maintenance vehicle requirements shall be provided. The layout must allow a 40-foot long vactor truck with an inside turning radius of 45-feet to maneuver through the site (auto-turn confirmation is required).

General Transportation Improvements

61. Access management was previously addressed with the overall site development.
Additional access points onto the site will not be permitted.
62. Traffic mitigations as determined by the Commercial Traffic Generation worksheet or Traffic Impact Analysis are required. Conditions of Lacey Municipal Code 14.21 shall be satisfied.

63. The property owner(s) adjacent to the public right-of-way is responsible for maintaining the landscaping and vegetated areas within the right-of-way including medians (weeding, pruning, irrigating, mowing, replacing, etc. of the landscaping and street trees) in a healthy and growing manner in perpetuity. If these areas are being maintained by another group or organization, then a maintenance agreement (or adequate documentation) that verifies these areas are being (and will continue to be) maintained shall be submitted to the city for review. (DG&PWS, Transportation 4G. 100D)
64. In addition to all Federal and State requirements roadway requirements, this project shall comply with current City of Lacey Development Guidelines and Public Works Standards Manual requirements for roadways.

Specific Stormwater Improvements

65. Treatment and infiltration facilities shall be constructed for stormwater associated with the site, half street stormwater associated with the frontage along Carpenter Road and adjacent properties currently discharging to the site.
66. This project is located within a Category I Critical Aquifer Recharge Area, enhanced treatment for stormwater is required (SDM 8.2 and Appendix 8B).

General Stormwater Improvements

67. In addition to all Federal and State stormwater requirements, this project shall comply with the current City of Lacey Development Guidelines and Public Works Standards Manual (DG&PWS) and the current City of Lacey Stormwater Design Manual (SDM) (LMC 14.27). Stormwater drainage and erosion control submittals shall be in conformance with the formatting and content requirements described in Chapter 3 of the Stormwater Design Manual.
68. Setbacks for stormwater infiltration shall be in conformance with Chapter 7 of the SDM.
69. A final Stormwater Site Plan, including a drainage report and drainage plans in conformance with current Stormwater Design Manual standards, shall be provided prior to final Public Works civil approval. Some key elements to be included within the report are: the project engineer's certification; descriptions of how each of the Core Requirements is being addressed; construction SWPPP; basin map; plan drawings; hydrologic modeling inputs and results (including the data files produced with the model); summary data of sub-basin areas; design calculations and facility sizing; soils report and

infiltration analysis; soil management plan; maintenance agreement/covenant; and a stormwater facilities Maintenance and Source Control Manual (SDM 2.2.1 & 3.3).

70. This project shall retain, disperse, and infiltrate stormwater on-site to the maximum extent feasible. Design of infiltration facilities requires site infiltration analysis, to determine wet-season soil and groundwater conditions and to establish a long-term design infiltration rate. (SDM 2.2.5 & 7.2)
71. The following note shall be shown on the face of the civil engineering drawings and is a condition for approval: "Roof downspout infiltration systems shall be placed on the lot being developed and shall be sized to accommodate storm runoff per the current City of Lacey Stormwater Design Manual". If site conditions cannot support downspout infiltration or dispersion systems, a note must be included on the civil drawings indicating that roof and foundation drains shall be tied into stormwater system with perforated stub-out connections. (SDM 2.2.5 and 7.4.10)
72. In conformance with the SDM, post-construction soil quality and depth (BMP T5.13) shall be incorporated into the site design and construction (SDM 2.2.5 & 7.4.1).
73. A Construction Stormwater Pollution Prevention Plan (SWPPP) shall be submitted to and approved by the City prior to beginning site work or construction of the project. A complete SWPPP consists of both a narrative report and a temporary erosion and sediment control plan drawing. Each of the 13 SWPPP Elements as identified in Chapter 5 of the City of Lacey Stormwater Design Manual shall be addressed and included in the construction SWPPP. If site conditions render any SWPPP elements unnecessary, exemptions for each element shall be clearly justified in the narrative report.
74. A Stormwater Facility Maintenance and Source Control Manual per chapter 3 of the City of Lacey Stormwater Design Manual shall be submitted to and approved by the City of Lacey. The maintenance manual shall be included with the drainage report as part of the stormwater site plan. The maintenance manual shall be prepared as a stand-alone document for the post-development facility owner(s). The maintenance plan shall be submitted to and approved by the City prior to civil drawing approval.
75. From October 1 through April 30, clearing, grading, and other soil disturbing activities shall be prohibited unless shown to the satisfaction of the City of Lacey that sediment-laden runoff will be prevented from leaving the site. (SDM 5.2.3, Element #12)

General Surveying Requirements

76. Utility easements are required for all mains, water and sewer located on private property. Easements shall include fire hydrants, water meters, sewer improvements and future extensions of mains to adjacent properties. Easements and stub outs shall be provided to serve adjoining properties as determined by the City. Rather than being designated as water or sewer, all easements shall be identified as “utility” easements on the civil drawings and in the easement document. Specific requirements will be determined at the of plan review. Prior to release of approved civil drawings, all easements shall be prepared by a licensed land surveyor in the State of Washington, submitted to the City of Lacey Public Works department, reviewed and approved. (DG&PWS Chapter 3.110).
77. Landscaping within easement areas shall be limited to shrubs and other low growing vegetation without major root systems. Trees are prohibited within easement areas.
78. The City of Lacey Coordinate System is a ground scale coordinate system derived from the Washington Coordinate System, NAD 83/91. Units are expressed in feet. Data can be obtained from Lacey Public Works Department. Civil drawings shall be submitted utilizing the City of Lacey Coordinate System. (DG&PWS 3.025)
79. City of Lacey Vertical Datum has elevations referenced to the National Geodetic Vertical Datum of 1929 (NGVD29). Units are expressed in feet. A benchmark listing can be obtained from Lacey Public Works Department. Civil drawings shall be submitted utilizing the City of Lacey Vertical Datum. (DG&PWS 3.025)
80. **Civil engineering drawings submitted the City of Lacey must be on National Geodetic Vertical Datum 1929 (NGVD29). Civil drawings not on this datum will not be accepted and routed for review.**
81. Immediately adjacent to the public right-of-way a 10-foot joint utility easement area shall be dedicated to accommodate the installation of private and public utilities (2017 Development Guidelines and Public Works Standards Roadway details).
82. All improvements shall satisfy City of Lacey Development Guideline Standards in place at the time complete application is obtained (Complete application is determined by the City of Lacey Community and Economic Development Department).
83. All Public Works improvements must be designed by an engineer licensed in the State of Washington and submitted to the City of Lacey Public Works Department for review and approval. (DGPWS 3.040)

84. If any part of these comments as established by existing plans, guidelines, codes and the like as established by ordinances shall be found invalid, all other parts shall remain in effect. (DG&PWS 3.035)
85. Prior to submitting civil drawings for review, Land Use Approval must be obtained.
86. Separate pre-construction meetings shall be held for the grading permit with Community and Economic Development and with Public Works for the civil improvement plans.
87. All structures associated with this site shall be connected to City of Lacey utilities (DG&PWS 6.010 and 7A.010)
88. Prior to civil drawing approval, one paper set of drawings along with a PDF copy of the drainage report and civil drawings shall be submitted to the City of Lacey Public Works department for all approved final plans. (DG&PWS Chapter 3.040, B)
89. Prior to final Public Works Construction approval, revised civil drawings in AutoCAD and PDF formats shall be submitted to the City of Lacey Public Works department for review and approval. (DG&PWS Chapter 3.040, J)
90. Certificate of Occupancy for any building will not be issued until all paperwork required for the project is submitted to the City of Lacey Public Works department, reviewed, approved and all improvements shown on the approved civil drawings are installed by the applicant and approved by the City of Lacey. (DG&PWS 4B.080)
91. Prior to Final Public Works approval of the project, a 20 percent maintenance bond or financial guarantee of the engineer's estimate or approved bid estimate shall be submitted to and approved by the City of Lacey Public Works department. The financial guarantee is required for a period of 24 months upon construction completion and approval of Public Works improvements. The financial guarantee may be released after 18 months if all conditions of approval have been satisfied. The financial guarantee applies to sewer, stormwater and water improvements (LMC 14.20.025).
92. Along with the civil review application and the completed, signed and stamped checklist from Chapter 3 of the Development Guidelines, please provide three sets of civil drawings (paper copies), one drainage report (paper and electronic copies) one electronic copy of the civil drawings (PDF format). These drawings shall be submitted directly to the City of Lacey Public Works Department. **Drawings submitted to other City departments will not satisfy this requirement.** (DG&PWS 3.040, B)

93. To protect the public interest on private property, utility mains located on private property shall be protected from damage. If on-site settling or other phenomenon occurs causing valve boxes, sewer manholes or other appurtenances to protrude above or settle below the driving surfaces or ground elevations, the owner will be notified and the problem shall be corrected within 30 days of notification. If the problem is not corrected within the 30-day time period, the City will correct the problem and bill the property owner. This language shall be included on the face of any binding site plan or easement documents submitted to the City.
94. Prior to civil drawing approval, a Bill of Sale for water and sewer improvements being installed with this project shall be submitted to and approved by the City of Lacey Public Works department.

GENERAL FINDINGS:

The Committee's review of the site plan is based upon the following findings of fact:

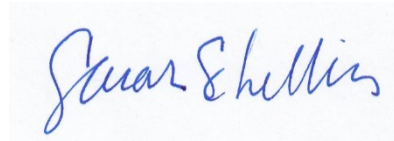
1. The subject parcel is located at 8501 Martin Way East, Lacey, Washington 98516. The Assessor's parcel number is 11812330101.
2. The subject proposal is three commercial structures totaling 12,358 SF on a 1.37-acre parcel, with associated parking, landscaping, stormwater facilities, and utilities.
3. The subject property is zoned Mixed-Use High-Density Corridor. The proposal is an allowed use in the Mixed-Use High-Density zone. Title 16 (the City's Zoning Ordinance) of the Lacey Municipal Code specifies requirements applicable to the development of the subject property.
4. The applicant has proposed exceeding development coverage with use of a pedestrian plaza. The site plan includes a pedestrian plaza located at the north east corner of the site, which meets the requirements of LMC 16.23.060F. As conditioned (#5), the pedestrian plaza will comply with the design review elements and the maximum development coverage limitation for the development is increased to 90%.
5. This proposal has been reviewed in accordance with the provisions of RCW 43.21C, State Environmental Policy Act, with mitigation applied. No significant adverse impacts to the environment were identified that cannot be mitigated. Therefore, a Mitigated Determination of Nonsignificance was issued on September 11, 2024.

6. As this proposal is commercial in nature and adjacent to a Key Multimodal Corridor and Intersection, this proposal is required to meet the site and building design provisions contained in LMC 14.23.086 “Design Requirements for Zone with Pedestrian Emphasis and Key Multimodal Corridors and Intersections”. The intent of this overlay is to provide a pedestrian-friendly site, with emphasis on how the buildings interact with the right-of-way. As conditioned (#4 and #9), the site will be in accordance with the applicable Design Review requirements.
7. The City of Lacey has provisions in Title 14 of the Lacey Municipal Code for the protection and preservation of trees and vegetation. As conditioned (#8), this proposal is in accordance with the Tree and Vegetation Protection and Preservation ordinance.
8. The City of Lacey has provisions in Title 16.80 of the Lacey Municipal Code for site landscaping. As conditioned (#9-12), this proposal is in accordance with the applicable landscaping requirements.
9. The adopted City of Lacey Development Guidelines, as well as Title 12 and Title 13 of the Lacey Municipal Code, set forth specific street and utility improvements applicable to the subject property.
10. As conditioned, adequate measures have been made to provide street and utility improvements in accordance with the City of Lacey Development Guidelines and Public Works Standards and Titles 12 and 13 of the Lacey Municipal Code.
11. As conditioned, adequate measures have been made for storm water control in accordance with the City of Lacey Development Guidelines and Public Works Standards and the City of Lacey Stormwater Design Manual.
12. As conditioned, adequate measures have been made to provide potable water for consumption and fire control to this development in accordance with the City of Lacey Development Guidelines and Public Works Standards, the City of Lacey Coordinated Water System plan and the International Fire Code.
13. As conditioned, adequate measures have been made to provide sanitary sewer services in accordance with the City of Lacey Development Guidelines and Public Works Standards and the City of Lacey Comprehensive Sewer Plan.
14. As conditioned, this proposal is consistent with LMC 14.21 “Traffic Mitigation and Concurrency” and its impacts to the public road system will be mitigated.

15. The International Building Code adopted by the City of Lacey has specific requirements applicable to development of the subject property.
16. As conditioned, this proposal is in accordance with the International Building Code and the International Fire Code.
17. At the time of processing this application, adequate sanitary sewer and domestic water capacity are available. However, utility capacity is reduced as other parcels of property are connected to the services. Therefore, approval of this application does not guarantee the availability of utility services. Such assurance will not be given until all applicable connection fees are paid and accepted by the city.
18. All public agency and citizen comments received have been considered and addressed through conditions of approval, where appropriate.
19. As conditioned, this proposal will not be detrimental to the public's health safety and general welfare.

Should you have any further questions, please contact Sarah Bartz, Assistant Planner directly at (360) 486-8741 or Sarah.Bartz@cityoflacey.org.

Sincerely,



Sarah Schelling,
Current Planning and Economic Development Manager

- c: Rick Walk, City Manager
Vanessa Dolbee, Community and Economic Development Director
Sarah Schelling, Current Planning & Economic Dev Manager
Scott Egger, Director of Public Works
Tom Stiles, Development Review Engineer
Martin Hoppe, Transportation Engineer
Terry McDaniel, Building Official / Fire Marshall
Permit Technicians