



Community and Economic Development

LACEY CITY COUNCIL

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NOTICE OF SITE PLAN REVIEW DECISION

Case Number: 25-0016

Applicant: Lemay Pacific Disposal

Contact: Sitts & Hill Engineers, Inc, David Fillmore
(253)474-9449

Description of Proposal: Construction of a 4,730 square foot addition to an existing building. The prefabricated metal building addition will include a new three-bay shop.

Location of Proposal: 2930 Hogum Bay Rd NE; Assessor's parcel 61360000200. located in a portion of Section 2, Township 18N, Range 1W, W.M.

Date of Decision: March 27, 2025

Decision: The Lacey Site Plan Review Committee has APPROVED the site plan and application subject to the attached conditions and findings of fact.

Expiration Date of Approval: September 27, 2026 Approval of the site plan shall be effective for 18 months from the date of approval. A request for one six-month extension may be granted if requested in writing 30 days prior to the original expiration date.

Appeal Deadline: April 10, 2025 The decision of the Committee is final unless a written notice of appeal is filed with the Planning Department at Lacey City Hall prior to 5:00 p.m. on the above date. The applicant, public agencies and/or departments or persons of record who believe they have been negatively impacted may make an appeal. The timely filing of an appeal shall stay the effective date of the Committee's decision until the appeal is adjudicated by the Hearings Examiner.

Project Review Team:

- Planning Department: Samra Seymour (360) 491-5642
Public Works Department: Tom Stiles (360) 491-5600
Building Department: Kevin Bossard (360) 491-5642
Fire Codes: Asher Cabe (360) 491-5642

Each submittal shall be made directly to the appropriate department. The applicant or applicant's representative is responsible for tracking the project through the permitting process.

The complete case file, including findings, conclusions, and conditions of approval, is available for review at <https://cityoflacey.org/projects/lemay-shop-addition-project-25-0016/>

Conditions of Approval That Must Be Met Prior to Issuance of Building Permit:

**Planning Department:**

1. The project shall develop in substantial conformance with the plans submitted on January 20, 2025 except as modified by the conditions below.
2. Prior to building permit issuance, the applicant shall submit a revised site plan showing the location(s) of the required tree tract(s), consistent with the Sound Urban Forestry tree report dated October 18, 2024.

**Building Department:**

3. The applicant shall address the specific comments related to plans submitted with the land use application, which are attached to this decision as Attachment A.
4. The building permit shall be subject to the ICC codes adopted by the City of Lacey at the time of building permit submittal.

**Department of Public Works:**

Water

5. If the existing domestic meter is not equipped with a Reduced Pressure Backflow Assembly device, one shall be installed with the proposed improvements.

Sewer

6. The proposed building shall not be located over existing utility easements. As shown on the proposed site plan, the existing sewer main and easement shown in the location of the proposed building shall be abandoned and relinquished.

Stormwater

7. Roof and re-graded hardscape stormwater shall be directed to the existing treatment and infiltration facilities as detailed in the approved drainage report.
8. Prior to building permit issuance, the applicant shall provide documentation confirming the existing water quality treatment and infiltration facilities are fully functional, maintained in good condition, and retain their original design capacity.

Transportation

9. The traffic mitigation identified as of March 19, 2025 is \$8,704.41 and will mitigate off site traffic impacts for this project. The actual fee will be determined at the date of payment for issuance of building permits, water meters, or other approval process. The fees increase annually in an amount equal to the increase in the engineering News Record Construction Cost Index over a date one year earlier. (LMC 14.21)
10. The applicant shall address the specific comments related to plans submitted with the land use application, which are attached to this decision as Attachment B.

**General Findings:**

The Committee's review of the site plan is based upon the following findings of fact:

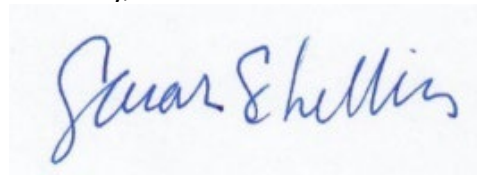
1. The subject parcel is located at 2930 Hogum Bay Rd NE; Assessor's parcel 61360000200; Lacey, Washington.
2. The subject proposal is to construct a 4,730 square foot addition to an existing building. The prefabricated metal building addition will include a new three-bay shop as shown on the submitted site plan.
3. The subject property is zoned Light Industrial. The proposal is an allowed use in the Light Industrial zone. Title 16 (the City's Zoning Ordinance) of the Lacey Municipal Code specifies requirements applicable to the development of the subject property.
4. The notice of application and project materials were routed for review to internal and external agencies for comment and posted on the City of Lacey website. The notice of application was published in The Olympian on February 19, 2025.
5. No public comments were received during the 14-day comment period.
6. Comments were received from the City of Lacey Plans Examiner (Attachment A). The International Building and Fire Codes adopted by the City of Lacey have specific requirements applicable to development of the subject property.
7. Comments were received from the City of Lacey Public Works Development Review Engineer and contain requirements relating to utility system improvements. The applicable comments have been made a condition of approval. The full comments are attached to this decision as Attachment B.
8. As this proposal is commercial in nature, this proposal is required to meet the site and building design provisions contained in LMC 14.23 "Design Review", specifically LMC 14.23.083 "Industrial Design Guidelines".

9. The adopted City of Lacey Development Guidelines, as well as Title 12 and Title 13 of the Lacey Municipal Code, set forth specific street and utility improvements applicable to the subject property.
10. As conditioned, adequate measures have been made to provide street and utility improvements in accordance with the City of Lacey Development Guidelines and Public Works Standards and Titles 12 and 13 of the Lacey Municipal Code.
11. As conditioned, adequate measures have been made to provide potable water for consumption and fire control to this development in accordance with the City of Lacey Development Guidelines and Public Works Standards, the City of Lacey Coordinated Water System plan and the International Fire Code.
12. As conditioned, adequate measures have been made to provide sanitary sewer services in accordance with the City of Lacey Development Guidelines and Public Works Standards and the City of Lacey Comprehensive Sewer Plan.
13. As conditioned, adequate measures have been made for storm water control in accordance with the City of Lacey Development Guidelines and Public Works Standards and the City of Lacey Stormwater Design Manual.
14. The transportation impacts do not require a Traffic Impact Analysis because this project will generate fewer than 50 PM peak hour trips. Trip generation was calculated based on 4,730 square foot building expansion. According to the information submitted and the methods prescribed in the Development Guidelines & Public Works Standards for Traffic Impact Analysis, this project will generate 4 new trips during the PM peak hour. The trips generated from this project will have an adverse impact on the City of Lacey transportation network. A distribution, approved by the City of Lacey's Public Works Department, was used in determining offsite traffic impacts and required mitigation. The project will pay traffic mitigation fees to the City of Lacey to mitigate offsite impacts. These fees are collected according to LMC 14.21 under the authority of the Local Transportation Act (RCW 39.92). The mitigation collected will fund designated transportation improvement projects. The mitigation fee will be determined at the date of payment for issuance of the building permit. An estimate of total mitigation fees was determined to be \$8,704.41.
15. As conditioned, this proposal is consistent with LMC 14.21 "Traffic Mitigation and Concurrency" and its impacts to the public road system will be mitigated.
16. The Lacey cross connection control program has specific requirements applicable to the development of the subject property.

17. As conditioned, this proposal will meet the intent of the Lacey Cross Connection Control Program.
18. Sound Urban Forestry prepared a Tree Review Report for the subject site, dated October 18, 2023. This report identifies four existing tree buffer areas. The proposed project does not require tree removal. Buffer Areas A and C are recommended for the required tree tracts.
19. The City of Lacey has provisions in Title 14 of the Lacey Municipal code for the protection and preservation of trees and vegetation.
20. As conditioned, this proposal is in accordance with the Tree and Vegetation Protection and Preservation ordinance.
21. At the time of processing this application, adequate sanitary sewer and domestic water capacity are available. However, utility capacity is reduced as other parcels of property are connected to the services. Therefore, approval of this application does not guarantee the availability of utility services. Such assurance will not be given until all applicable connection fees are paid and accepted by the City.
22. All public agency and citizen comments received have been considered and addressed through conditions of approval, where appropriate.
23. As conditioned, this proposal will not be detrimental to the public's health safety and general welfare.

Should you have any further questions, please feel free to contact Samra Seymour, Senior Planner at (360) 491-5642 or [samra.seymour@cityoflacey.org](mailto:samra.seymour@cityoflacey.org).

Sincerely,

A handwritten signature in blue ink that reads "Sarah Schelling". The signature is written in a cursive, flowing style.

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Sarah Schelling, AICP  
Current Planning and Economic Development Manager

**cc:**

Rick Walk, City Manager  
Vanessa Dolbee, Community and Economic Development Director

Tom Stiles, Development Review Engineer  
Martin Hoppe, Transportation Engineer  
Terry McDaniel, Building Official  
Dylan Call, Stormwater  
Scott Egger, Director of Public Works  
Permit Technicians  
File

Attachments: Attachment A, Comments from Kevin Bossard, Plans Examiner  
Attachment B, Comments from Tom Stiles, Development Review Engineer  
Attachment C, Comments from Samra Seymour, Senior Planner



## Site Plan Review Building and Fire Comments

*Date: 2/20/25*

*Case# 25- 0016*

*Applicant: Lemay*

*Project: Shop Building Addition*

*Location: 2910 Hogum Bay Rd*

*Notes By: Kevin Bossard*

*Planner: Samra Seymour*

### ***FIRE CODE COMMENTS:***

#### ***Timing of Installations/Fire Hydrant Requirements:***

1. *One fire hydrant shall be installed, tested and approved prior to building permit issuance. (LMC 14.07.501.4.) Fire hydrants shall be provided every 330 feet unless the fire flow is greater than **1,500 gpm** then it shall be every 300 feet in accordance with IFC table (C102.1) and (LMC 14.07) for the building. Fire hydrants shall be placed no closer than 40 feet from the building or structure protected unless approved by the Fire Code Official.*

#### ***Fire Flow Requirements:***

2. *The required fire-flow for the building shall be not less than **2,500 gpm** for 3hours in accordance with IFC Appendix B. Said fire-flow is based on square footage/ building construction type, including a 50% credit for the installation of automatic fire sprinkler systems. (IFC section 507.1 LMC 14.07.015). The initial calculation is always based on type 5b wood framed construction as a worst-case scenario for fire flow. **Note: The Fire Code Specialist and City of Lacey Water System Engineer will determine fire flow based on construction type. As stated above we start with a “worst case scenario” fire flow and a larger water main size and can come down from that based on construction type and building size.***

#### ***Sprinkler System Requirements:***

3. *The purposed building shall be equipped with an approved automatic sprinkler system and shall be installed in accordance with NFPA 13 (2016 Edition) standards. In*

addition, a fire department connection shall be installed in accordance with (LMC 14.07) a fire department connection shall be located within 40 feet of a fire hydrant. Any building greater than 7,500 Sq. Ft. requires a sprinkler system in accordance with (LMC 14.07) **The buildings shall have their own FDC line with KNOX locking caps or plugs.** **Note: Sprinkler drawings and permitting at the City of Lacey are differed submittals and are not required at time of architectural drawings.**

**Fire Sprinkler Underground Piping Requirements:**

4. A separate building permit shall be required for the installation of fire sprinkler system underground piping. The design shall be in accordance with NFPA 24 Standards (2010 Edition) and City of Lacey Public Works Design Standards. Underground sprinkler piping shall be designed only by a Washington State Level III Certified contractor. Plans and specifications shall be submitted to the City of Lacey Building Department for review and approval prior to installation. Fire sprinkler system underground lead-in piping shall be installed only by a Washington State Level "U" Certified contractor. The submitted plans shall be accompanied by the level "U" certification of the installing contractor installing the underground piping. LMC 14.07.015; WAC 212-80-030 **Please note: Fire sprinkler underground drawings are required to be submitted prior to above ground sprinkler drawings. This is a separate permit submittal than the Civil set submitted to the City of Lacey Public Works Department. We ask for 2 sets of overall water plans only for submittal documents.**

**Fire Alarm System Requirements:**

5. An approved addressable fire alarm system with supervised monitoring shall be provided throughout the buildings in accordance with the City of Lacey Municipal Code (LMC 17.07) and NFPA 72 Standards (2016 Edition). **Note: Fire alarm drawings and permitting at the City of Lacey are differed submittals and not required at architectural submittal.**

**Fire Apparatus Access Road Requirement:**

6. An approved 20-foot-wide all-weather surface fire apparatus access roads shall be provided to within 150-feet of all exterior portions of the buildings at ground level to meet hose lay. Said fire apparatus access road shall be located not less than 10-feet from the building. (IFC Section 503.1). The fire access road shall be able to handle imposed loads of 75,000 lbs. A 26-foot-wide fire access road shall be provided on one entire side of the building if the building is greater than 30 feet at the eve. (IFC Appendix D) The aerial access road does not include a public right of way. **Note: A temporary fire access road shall be provided at time of vertical permit issuance. The fire access road shall be approved by an engineer to handle the loads of fire apparatus. (LMC 14.07)**
7. An approved fire department turnaround may be required if the fire department access road has a dead end in excess of 150 feet. (IFC 503.2.5)

**General Requirements:**

8. Approved 16" minimum address numbers shall be provided on the building in a location facing the fire apparatus access roadway. The address numbers shall contrast

*the buildings color. (IFC Section 505.1; LMC 14.07.015)*

9. *An approved fire department and Police Department key-box shall be provided on the building in accordance with (IFC Section 506) and (LMC 14.07). Said fire department key-box shall be installed in a location approved by the City of Lacey Fire Code Official. Said key-box shall contain keys necessary for fire department and police department access to the interior of the building and any other location necessary for fire department or police department operations. Go to [knoxbox.com](http://knoxbox.com) for City of Lacey key boxes for Lacey Fire District #3 and Lacey Police Department. Upon completion of the key-box installation, the City of Lacey Fire Code Specialist shall install the necessary keys and cover. (IFC Section 506).*
10. *Approved fire lane marking shall be provided where necessary to discourage obstructions by the parking of private vehicles. Upon completion of final road surfaces and curbing construction, the City of Lacey Fire Code Official shall perform a site inspection to determine locations where fire lane marking will be necessary to discourage the parking of private vehicles. Said fire lane marking, where applicable, shall be provided and approved prior to final occupancy approval. IFC Section D-103.6; LMC 14.07.015*
11. *Fire extinguishers shall be provided every 75 feet or on each landing in accordance with (LMC 14.07) fire extinguishers shall be the 2a10bc type.*
12. *Please note we are under the International Fire Code 2018 Edition and all NFPA code requirements of the most recent year published (2021 Codes in effect March 15<sup>th</sup> 2024)*

**Required Fire Inspections:**

13. *The City of Lacey fire code official shall conduct the necessary inspections or witness required tests to ascertain compliance with applicable fire codes. The applicant shall contact the City of Lacey Building Department, at (360) 491-5642, to schedule the required inspection or to request witness of required tests. At least 24 hours shall be allowed for scheduling. (IFC Section 106.2)*

**BUILDING CODE COMMENTS:**

1. *The proposed project shall comply with the applicable requirements of the 2021 International Building Code, 2021 International Fire Code, the 2021 Washington State Energy Code, 2021 Uniform Plumbing Code and all other codes adopted by the City of Lacey.*
2. *A Foundation only permit can be issued to help the applicant continue to work while plans are in review.*
3. *The proposed project shall comply with the accessibility requirements of the 2017 ICC A117.1-2017. There shall be an accessible route of travel to the public right of way. The entire site shall have ADA connectivity.*

4. *A grading permit is required for the proposed scope of work prior to building permit issuance.*
5. *Energy calculations shall be submitted with the architectural plans. The energy calculation form can be found on The City of Lacey website under Community and Economic Development Building Code Division forms.*
6. *A third-party special inspection testing agreement form is required for permit issuance. The form can be found on the city website under Community and Economic Development Building Code Division forms.*
7. *Prior to grading permit issuance, a preconstruction meeting shall be scheduled with Dylan Call @ 360-491-5642 or [Dcall@ci.lacey.wa.us](mailto:Dcall@ci.lacey.wa.us)*
8. *Prior to the buildings going vertical a building preconstruction meeting shall be scheduled with Kevin Bossard @ 360-438-2636 or [kevin.bossard@cityoflacey.org](mailto:kevin.bossard@cityoflacey.org)*
9. *A Washington State Licensed Architect and Engineer will be required for the project.*
10. *Addressing is assigned by Lacey Community Development please contact 360-491-5642*

***Additional information all applicants should know:***

- *MEPs are not deferred submittal and shall be submitted with the building permit application.*
- *How will connectivity to the existing building be accomplished with the building being prefabricated?*
- *EV Stalls maybe required in accordance with IBC section 420.*
- *ADA bathroom Stalls will be required in accordance with IBC Chapter 11.*

***General note: It appears this addition will require extension or a new fire sprinkler and fire alarm system. Please keep that in mind moving forward with the project.***

*Please understand that the above noted items are only preliminary comments based on the information received. I can be reached at (360)-491-5642 for any assistance.*

Respectfully



Kevin Bossard  
Commercial Plans Examiner | CFM  
[Kevin.bossard@cityoflacey.org](mailto:Kevin.bossard@cityoflacey.org)  
360-438-2636

**CITY OF LACEY  
DEVELOPMENT REVIEW  
PUBLIC WORKS DIVISION  
SITE PLAN REVIEW CONDITIONS**



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**CASE NUMBER:** 25-0016

**COMMENTS DATE:** March 4, 2023

**OWNER:** Lemay Pacific Disposal

**APPLICANT:** Sitts & Hill Engineers, Inc. - David Fillmore

**PROPOSED USE:** 4,730 sq-ft Building Addition

**PLANNER:** Samra Seymour

**NOTES BY:** Tom Stiles

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**Specific Water Improvements:**

1. This application requires the installation of a Reduced Pressure Backflow Assembly device for the existing domestic meter. If the existing domestic meter is not equipped with a Reduced Pressure Backflow Assembly device, one shall be installed with the proposed improvements. City of Lacey 2017 Development Guidelines and Public Works Standards Manual (DG&PWS) Appendix P

**General Water Improvements:**

2. In addition to all Federal and State requirements, water system improvements shall meet the requirements of the current City of Lacey City of Lacey Development Guidelines and Public Works Standards Manual, the Coordinated Water System Plan (CWSP), Department of Health (DOH), City of Lacey Water System Plan, AWWA, Department of Ecology, Thurston County Environmental Health and City of Lacey Fire Code Official's standards. Actual main size, loop closures, and possible off-site improvements including the number and location of fire hydrants, will depend on the fire flows required and available to the site. (DG&PWS, Water 6.010)
3. To assure adequate water is present for your project. Modeling of the water system shall occur. Please contact Brandon McAllister (360.413.4386) to coordinate the fire flow modeling.

**Specific Sewer Improvements:**

4. The existing building is served by a 6-inch sewer lateral discharging to a S.T.E.P. system. With the proposed building expansion, additional sewer improvements do not appear to be needed.
5. The proposed building shall not be located over existing utility easements. As proposed on the site plan the existing sewer main and

easement shown in the location of the proposed building shall be abandoned and relinquished.

**General Sewer Improvements:**

6. In addition to all Federal and State requirements, sanitary sewer improvements associated with this project shall comply with the current City of Lacey Development Guidelines and Public Works Standards Manual, City of Lacey Comprehensive Sanitary Sewer Plan, Thurston County Health Department, Washington State Department of Health (DOH), the LOTT Clean Water Alliance and Department of Ecology. (DG&PWS, Sewer 7A.010 and Subdivisions and Short Plat 2-21)

**Specific Stormwater Improvements:**

7. Stormwater from the proposed roof area and re-graded hardscape shall be directed to existing treatment and infiltration facilities as proposed in the drainage report provided.

**Please see Doug Christenson's comments for additional specific stormwater conditions**

**General Stormwater Improvements:**

8. In addition to all Federal and State stormwater requirements, this project shall comply with the current City of Lacey Development Guidelines and Public Works Standards Manual and the current City of Lacey Stormwater Design Manual (SDM) (LMC 14.27). Stormwater drainage and erosion control submittals shall be in conformance with the formatting and content requirements described in Chapter 3 of the Stormwater Design Manual.
9. Setbacks for stormwater infiltration shall be in conformance with Chapter 7 of the SDM.
10. A final Stormwater Site Plan, including a drainage report and drainage plans in conformance with current Stormwater Design Manual standards, shall be provided prior to final Public Works civil approval. Some key elements to be included within the report are: the project engineer's certification; descriptions of how each of the Core Requirements is being addressed; construction SWPPP; basin map; plan drawings; hydrologic modeling inputs and results (including the data files produced with the model); summary data of sub-basin areas; design calculations and facility sizing; soils report and infiltration analysis; soil management plan; maintenance agreement/covenant; and a stormwater facilities Maintenance and Source Control Manual (SDM 2.2.1 & 3.3).

11. This project shall retain, disperse, and infiltrate stormwater on-site to the maximum extent feasible. Design of infiltration facilities requires site infiltration analysis, to determine wet-season soil and groundwater conditions and to establish a long-term design infiltration rate. (SDM 2.2.5 & 7.2)
12. In conformance with the City of Lacey Stormwater Design Manual, post-construction soil quality and depth (BMP T5.13) shall be incorporated into the site design and construction (SDM 2.2.5 & 7.4.1).
13. The following note shall be shown on the face of the civil engineering drawings and is a condition for approval: "Roof downspout infiltration systems shall be placed on the lot being developed and shall be sized to accommodate storm runoff per the current City of Lacey Stormwater Design Manual"

If site conditions cannot support downspout infiltration or dispersion systems, a note must be included on the civil drawings indicating that roof and foundation drains shall be tied into stormwater system with perforated stub-out connections. (SDM 2.2.5 and 7.4.10)

14. A Construction Stormwater Pollution Prevention Plan (SWPPP) shall be submitted to and approved by the City prior to beginning site work or construction of the project. A complete SWPPP consists of both a narrative report and a temporary erosion and sediment control plan drawing. Each of the 13 SWPPP Elements as identified in Chapter 5 of the City of Lacey Stormwater Design Manual shall be addressed and included in the construction SWPPP. If site conditions render any SWPPP elements unnecessary, exemptions for each element shall be clearly justified in the narrative report.
15. A Stormwater Facility Maintenance and Source Control Manual per chapter 3 of the City of Lacey Stormwater Design Manual shall be submitted to and approved by the City of Lacey. The maintenance manual shall be included with the drainage report as part of the stormwater site plan.

The maintenance manual shall be prepared as a stand-alone document for the post-development facility owner(s). The maintenance plan shall be submitted to and approved by the City prior to civil drawing approval.

### **Specific Transportation Improvements:**

**Frontage improvements are not required for this application.**

16. Traffic mitigations as determined by the Commercial Traffic Generation worksheet are required. Conditions of Lacey Municipal Code 14.21 shall be satisfied.

**Please see Martin Hoppe's comments for additional specific transportation conditions**

**General Transportation Improvements:**

17. The following is a condition for approval: "The City of Lacey has no responsibility to build, improve, maintain, or otherwise service the private roads within or providing access to the property described with this site plan." (Lacey Municipal Code 15.32.190)
18. The following note is a condition for approval: "The owner shall be responsible for maintaining the private roads (along with associated parking areas) and planter strips (weeding, mowing, irrigation, pruning of the street trees, etc.) in a healthy and growing manner in perpetuity". (DG&PWS, Transportation 4G.100D)
19. In addition to all Federal and State requirements roadway requirements, this project shall comply with current City of Lacey Development Guidelines and Public Works Standards Manual requirements for roadways.

**General Surveying Requirements:**

20. Utility easements are required for all mains, water and sewer located on private property. Easements shall include fire hydrants, water meters, sewer improvements and future extensions of mains to adjacent properties. Easements and stub outs shall be provided to serve adjoining properties as determined by the City. Rather than being designated as water or sewer, all easements shall be identified as "utility" easements on the civil drawings and in the easement document. Specific requirements will be determined at the of plan review. Prior to release of approved civil drawings, all easements shall be prepared by a licensed land surveyor in the State of Washington, submitted to the City of Lacey Public Works department, reviewed and approved. (DG&PWS Chapter 3.110).
21. Landscaping within easement areas shall be limited to shrubs and other low growing vegetation without major root systems. Trees are prohibited within easement areas.
22. The City of Lacey Coordinate System is a ground scale coordinate system derived from the Washington Coordinate System, NAD 83/91. Units are expressed in feet. Data can be obtained from Lacey Public Works Department. Civil drawings shall be submitted utilizing the City of Lacey Coordinate System. (DG&PWS 3.025)

23. City of Lacey Vertical Datum has elevations referenced to the National Geodetic Vertical Datum of 1929 (NGVD29). Units are expressed in feet. A benchmark listing can be obtained from Lacey Public Works Department. Civil drawings shall be submitted utilizing the City of Lacey Vertical Datum. (DG&PWS 3.025)

**Civil engineering drawings submitted the City of Lacey must be on National Geodetic Vertical Datum 1929 (NGVD29). Civil drawings not on this datum will not be accepted and routed for review.**

**Other Requirements:**

24. All improvements shall satisfy City of Lacey Development Guideline Standards in place at the time complete application is obtained (Complete application is determined by the City of Lacey Community Development Department). (LMC )
25. If any part of these comments as established by existing plans, guidelines, codes and the like as established by ordinances shall be found invalid, all other parts shall remain in effect. (DG&PWS 3.035)
26. All Public Works improvements must be designed by an engineer licensed in the State of Washington and submitted to the City of Lacey Public Works Department for review and approval. (DGPWS 3.040)
27. Prior to submitting civil drawings for review, Land Use Approval must be obtained.
28. All structures associated with this site shall be connected to City of Lacey utilities (DG&PWS 6.010 and 7A.010).
29. Prior to civil drawing approval, one paper set of drawings along with a PDF copy of the drainage report and civil drawings shall be submitted to the City of Lacey Public Works department for all approved final plans. (DG&PWS Chapter 3.040,B)
30. Prior to final Public Works Construction approval, revised civil drawings in AutoCAD and PDF formats shall be submitted to the City of Lacey Public Works department for review and approval. (DG&PWS Chapter 3.040, J)
31. Certificate of Occupancy for any building will not be issued until all paperwork required for the project is submitted to the City of Lacey Public Works department, reviewed, approved and all improvements shown on the approved civil drawings are installed by the applicant and approved by the City of Lacey. (DG&PWS 4B.080)

32. Prior to Final Public Works approval of the project, a 20 percent maintenance bond or financial guarantee of the engineer's estimate or approved bid estimate shall be submitted to and approved by the City of Lacey Public Works department. The financial guarantee is required for a period of 24 months upon construction completion and approval of Public Works improvements. The financial guarantee may be released after 18 months if all conditions of approval have been satisfied. Depending on final design, the financial guarantee may apply to stormwater improvements (LMC 14.20.025).
33. Along with the civil review application and the completed, signed and stamped checklist from Chapter 3 of the Development Guidelines, please provide three sets of civil drawings (paper copies), one drainage report (paper and electronic copies) one electronic copy of the civil drawings (PDF format). These drawings shall be submitted directly to the City of Lacey Public Works Department. **Drawings submitted to other City departments will not satisfy this requirement.** (DG&PWS 3.040, B)
34. To protect the public interest on private property, utility mains located on private property shall be protected from damage. If on-site settling or other phenomenon occurs causing valve boxes, sewer manholes or other appurtenances to protrude above or settle below the driving surfaces or ground elevations, the owner will be notified and the problem shall be fixed within 30 days of notification. If the problem is not fixed within the 30-day time period, the City will correct the problem and bill the property owner. This language shall be included on the face of any binding site plan or easement documents submitted to the City.

End of Proposed Development Review Conditions of Approval

# Commercial Traffic Mitigation Fee Estimate

File/ Parcel Number: 6136000200  
 Thurston County Project Number: \_\_\_\_\_  
 Lacey PW File #: 25-0016  
 Project Description: Lemay Pacific Disposal Addition

Updated: \_\_\_\_\_  
 Updated: \_\_\_\_\_  
 Updated: \_\_\_\_\_  
 Created: 3/19/2025 CRS

ITE Land Use Code: 110  
 Land Use Name: (General Light Industrial)  
 Trip Rate: 0.65  
 Per: (1000 Sq. Feet Gross Floor Area)  
 During: (Weekday, PM Peak of Adj. Street, 1 hr. 4-6 PM)  
 Sq. Feet Gross Floor Area: 4.730  
 Total Project Trips Generated: 4  
 Internal Capture Rate:  
 Passby Rate:  
 New Trips 4  
 Traffic Analysis Zone: 566  
 Total Trips in TAZ: 208

0.33 2 & 3 Axle Truck Rate (ITE Table A.4)  
0.27 4 to 6 Axle Truck Rate (ITE Table A.4)

Account Number	Project	2024/2025 Cost per Trip	TAZ Trips @ project	Distrib. Percent	Project Trips Generated	Commercial Credit	2024/2025 Traffic Mitigation
102-0000-224.50-03	45th Avenue and College Street Improvements	\$ 446.10	3	1.4%	-	-	\$ -
102-0000-224.50-25	College Street Extension NE	\$ 1,184.05	2	1.0%	-	-	\$ -
102-0000-224.50-28	Carpenter Road Capacity /Safety Improvements Pacific to Shady Lane	\$ 1,381.39	3	1.4%	-	-	\$ -
102-0000-224.50-29	Mullen Road Capacity/Safety Improvements East of Ruddell	\$ 1,522.51	-	0.0%	-	-	\$ -
102-0000-224.50-33	Martin Way & I-5 Interchange Improvements	\$ 1,522.51	13	6.3%	-	-	\$ -
102-0000-224.50-38	Carpenter Rd from Martin Way to Britton Parkway	\$ 1,522.51	15	7.2%	-	-	\$ -
102-0000-224.50-39	Marvin Road-- Britton to Columbia Drive NE	\$ 1,522.51	19	9.1%	-	-	\$ -
102-0000-224.50-40	Rainier Road from Yelm Hwy to City Limits (near Beckonridge)	\$ 897.91	3	1.4%	-	-	\$ -
102-0000-224.50-41	Yelm Highway Improvements Ruddell Road to East City Limits	\$ 1,522.51	1	0.5%	-	-	\$ -
102-0000-224.50-42	6th Avenue / Sleater Kinney Improvements	\$ 1,522.51	1	0.5%	-	-	\$ -
102-0000-224.50-43	Golf Club Road Extension	\$ 207.25	-	0.0%	-	-	\$ -
102-0000-224.50-44	Martin Way / Hoh Street Intersection Improvements	\$ 276.33	3	1.4%	-	-	\$ -
102-0000-224.50-45	Willamette Drive / 31st Ave Intersection Improvements	\$ 345.42	16	7.7%	-	-	\$ -
102-0000-224.50-46	Hogum Bay Road Improvements	\$ 1,522.51	208	100.0%	4.0	2.0	\$ 3,045.02
102-0000-224.50-47	Carpenter Rd/Mullen Rd Intersection Improvements	\$ 402.10	-	0.0%	-	-	\$ -
102-0000-224.50-49	College Street Reconstruction -- Lacey Blvd to 37th Ave	\$ 1,522.51	6	2.9%	-	-	\$ -
102-0000-224.50-50	Marvin Road and Britton Parkway Intersection Improvements	\$ 122.00	95	45.7%	2.0	1.0	\$ 122.00
102-0000-224.50-51	31st Avenue Extension Hogum Bay to Marvin Road	\$ 1,522.51	23	11.1%	-	-	\$ -
102-0000-224.50-52	Britton Parkway and Carpenter Road Intersection Improvements	\$ 445.93	15	7.2%	-	-	\$ -
102-0000-224.50-58	Willamette Drive / Campus Glen Drive Roundabout	\$ 588.69	5	2.4%	-	-	\$ -
102-0000-224.50-53	2 & 3 Axle Truck Trip Fee	\$ 1,040.18			2.0		\$ 2,080.36
102-0000-224.50-54	4 - 6 Axle Truck Trip Fee	\$ 3,457.03			1.0		\$ 3,457.03
<b>CITY OF LACEY PROPORTIONATE SHARE MITIGATION</b>							<b>\$ 8,704.41</b>

Note: This estimate is prepared with the best available information. The City reserves the right to update this estimate at any time.



**LACEY**

Community and Economic Development

LACEY CITY COUNCIL

Mayor Andy Ryder  
Deputy Mayor Malcolm Miller  
Lenny Greenstein  
Michael Steadman  
Carolyn Cox  
Robin Vazquez  
Nicolas Dunning

CITY MANAGER

Rick Walk

3/17/2025

Project No. 25-0016 Lemay Pacific Disposal Shop Addition - Planning and Zoning Comments

1. A detailed landscaping plan shall be prepared by a licensed landscape architect, nursery person, or landscaper and submitted to the Planning Department for review and approval. The plan shall include the type, number, and location of the vegetative improvements as well as a specific time line for completion of the improvements. A separate irrigation plan must also be submitted showing the location of all irrigation lines, location of sprinkler heads, and approximate coverage areas. The plans must include a note stating that the property owner is responsible for maintaining all plants in a healthy growing condition for the life of the project. All requirements of Chapter 16.80 of the Zoning Code shall be satisfied. (LMC 16.80)
2. If Certificate of Occupancy/Final Inspection is requested prior to the installation of the approved landscaping and irrigation, a detailed estimate from a landscape installer must be submitted to the Planning Department. The estimate should include all costs associated with installing landscaping and irrigation as called out on the approved plans, including labor. (LMC 16.80)
3. If condition #2 is required, a financial security must be provided to the Planning Department in the amount of 150 percent of the above mentioned landscape estimate. The City shall release this financial security once the landscaping for the project is installed and approved by the Planning Department and a financial security is in order to ensure that all plant materials are properly maintained. This security device shall be in the amount of 20 percent of the value of the vegetative improvements and shall be held for a minimum period of two years. (LMC 16.80)
4. A note shall be placed on the face of the landscaping and irrigation plans stating that any irrigation lines placed within tree protection zones established for the project must be installed in such a manner as to not cause damage to the root protection zone, such as by cutting roots, digging trenches, operation of machinery, etc. Special care must be taken (hand digging trenches, designing lines to stay out of these areas



where possible, etc.) to ensure damage to the trees does not occur. In the event damage to these areas does occur, the city may require, at their discretion, replacement of the comparable landscape value of the trees damaged or other means to make up that loss. (LMC 16.80)

5. Existing trees, including the trees in the tree tract, shall be protected throughout all phases of construction by temporary chain link fencing on driven posts located at the edge of the critical root zone. The location of the protective fencing shall be identified on the grading plans and a detail of the fencing shall be included on the plans. The plans must include a note stating that the property owner is responsible for maintaining all plants in a healthy growing condition for the life of the project. All requirements of Chapter 16.80 of the Zoning Code shall be satisfied. (LMC 16.80)
6. Prior to the issuance of any building permits, the developer shall receive commercial design review approval from the City of Lacey. The site and building design shall be in conformance with section 14.23.082, 14.23.084, and 14.23.086 of the City of Lacey Design Review chapter. A Design Review application and supporting materials shall be submitted prior to submitting building applications. (LMC 14.23)
7. A sign permit shall be issued by the City of Lacey prior to the installation of any signs on the subject site. (LMC 16.75) \*Please note that pylon signs are prohibited. Freestanding signs must be in the monument style.
8. The following note shall be on the building, grading and land clearing permits:  
When an unanticipated discovery of protected cultural materials (e.g. bones, shell stone tools, beads, ceramics, old bottles, hearths, etc.) or human remains are discovered, the property owner or contractor will immediately stop all work, completely secure the location, and contact the Washington State Department of Archeology and Historic Preservation and other contacts as identified in the City of Lacey Standard Inadvertent Archeological and Historic Resources Discovery Plan (LMC 16.53.080).
9. The applicant/developer shall be responsible for obtaining all applicable permits required for the project. For example, these may include a General Construction Stormwater Permit (Ecology), and/or any others. These permits may require additional review time from the appropriate agencies
10. Final inspections and approvals from applicable departments, e.g. Building, Fire, and/or Public Works are required before any building may be occupied.
11. All elements of the approved design review plans must be accomplished on site. These items must be reviewed and approved by the project planner prior to issuance of a certificate of occupancy being granted by the City of Lacey.

